



## BO-KAAP MUSEUM

ERF 115963, 71 WALE STREET, CAPE TOWN

**SECTION 27 PERMIT APPLICATION - HERITAGE WESTERN CAPE**

2023-03-15

Compiled by Osmond Lange Architects & planners & Professional Team



## CONTENTS

1. INTRODUCTION . . . . .	p. 3
PURPOSE OF THE REPORT	
2. SITE LOCATION . . . . .	p. 3
3. SITE – AERIAL PHOTOS . . . . .	p. 4
4. SITE – SG DIAGRAMS . . . . .	p. 5
5. SITE DESCRIPTION . . . . .	p. 6
6. CHANGES OVER TIME . . . . .	p. 7
7. STATEMENT OF SIGNIFICANCE . . . . .	p. 9
8. BUILDING PHOTOS . . . . .	p. 10
9. RENOVATION SCOPE & REPAIR SPECIFICATION . . . . .	p. 26
10. REFERENCES . . . . .	p. 27
11. ANNEXURES . . . . .	p. 27

## **1. INTRODUCTION**

The Iziko Bo-Kaap Museum is one of the earliest homes built in the Bo-Kaap area, dating back to the mid-18th century. The museum, situated in the historic area that became home to many Muslims and freed slaves after the abolition of slavery, showcases local Islamic culture and heritage. The house was declared a National Monument in 1965 and restored in the 1970s.

In terms of IZIKO's official strategic objectives, the ensuring of maintenance and development of the facilities placed in the care of the IZIKO is a priority. Five-year Conservation Management Plans for IZIKO sites were developed in February 2019 together with a Conditions report in June 2019.

The **purpose of this report** is to outline the proposed external renovations to the historic building, which includes painting and varnishing of numerous elements and minor repair to items that are broken or require maintenance. Included in this submission is an assessment of the building conditions with proposed renovations to be done. A specification is provided for the renovations to be done.

All work proposed conforms to the Conservation Management Plan approved by Heritage Western Cape and is included in this document.

The Bo-Kaap Museum is a Grade 2 Provincial Heritage Site and requires general repair and maintenance work as outlined in the **CONDITIONS REPORT** dated September 2018 and work is to be done in accordance with the **CONSERVATION MANAGEMENT PLAN** dated February 2019.

The **CONDITIONS REPORT** is attached herewith as Annexure A  
The **CONSERVATION MANAGEMENT PLAN** is attached herewith as Annexure B

This report outlines the proposed renovation work to be done on the building and is in accordance with Section 27 of the NHRA – National Heritage Resources Act.

## **2. SITE LOCATION**

The site is in the historical Bo-Kaap, the area above Buitengracht Street, one of the original boundary roads of early Cape Town. It is on the slopes of Signal Hill and is the historical centre of Cape Malay culture in Cape Town.

The area dates from 1760 when Jan de Waal bought a block of land between Dorp and Wale Street (the land where the Bo-Kaap Museum is located). The area is characterised by the brightly coloured houses with stoeps, steep streets (some still paved with cobbles), small shops and mosques. It is also a tightly knit community.

Wale Street starts at the south end of Adderley Street, located to the east, and at the entrance to the Company Gardens. It runs westwards, past Buitengracht Street and up to the curvilinear Yusuf Drive at Pentz Street. House

The Bo-Kaap Museum, 71 Wale Street, is located on the south side of the road, in a group of ten houses between Buitengracht Street and van der Meulen Street. It is at van der Meulen Street that Wale Street narrows.

1. Front stoep
2. Courtyard
3. Staff quarters
4. East Alley
5. Wale Street
6. West Alley
7. Toilet block
8. Hall
9. Stair
10. Covered stoep.
11. Kitchen store

Refer to **Figure 2 – Page 4**



**3. SITE – AERIAL PHOTOS**



Figure 1: Aerial Photo showing site location.

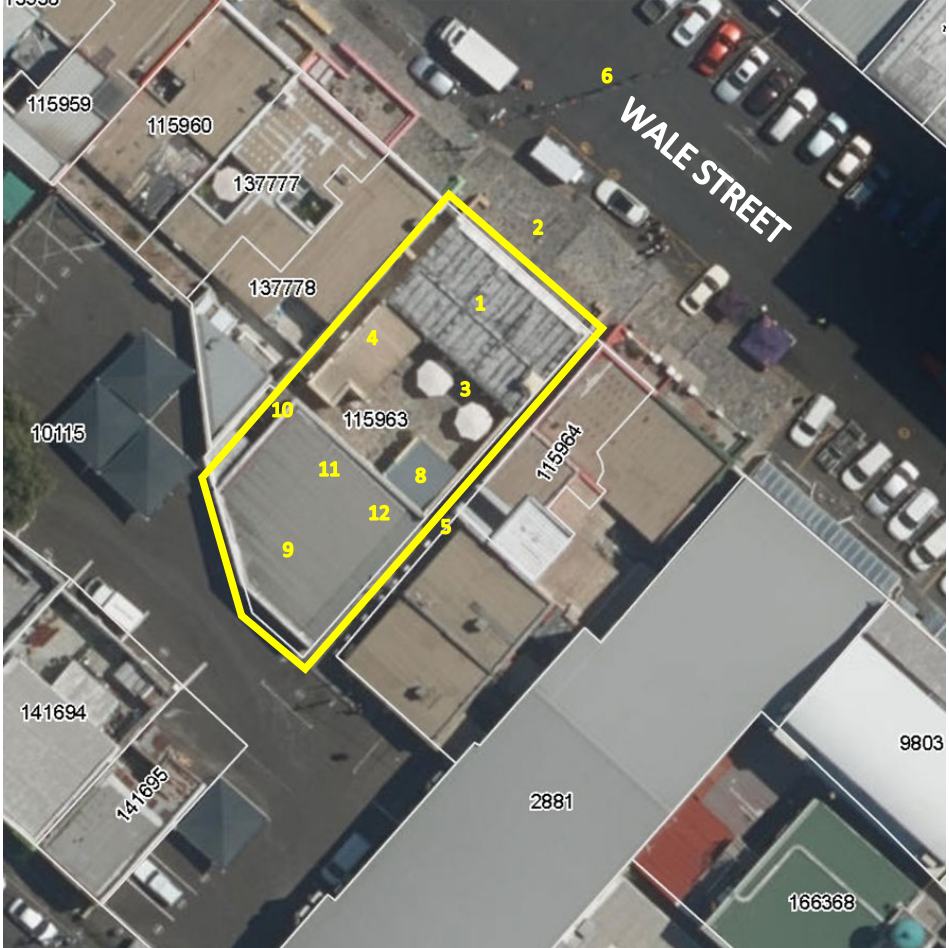


Figure 2: Aerial photo showing building parts.

# 4. SITE – SG DIAGRAMS

OFFICE COPY

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES System Lo 19°		S.G. No.
		Y	X	
	Constants	+	0,00 + 3700 000,00	4455-83
AB	14,44 311 39 30	A	+ 54 032,58 + 54 798,79	Approved <i>M. Dehning</i> Surveyor-General 11. 01. 1984
BC	32,45 41 08 00	B	+ 54 021,79 + 54 808,38	
CD	5,04 131 42 00	C	+ 54 043,14 + 54 832,82	
DE	12,20 162 41 40	D	+ 54 046,90 + 54 829,47	
EF	7,18 221 50 20	E	+ 54 050,53 + 54 817,82	
FG	0,59 311 33 10	F	+ 54 045,74 + 54 812,47	
GA	18,97 222 07 10	G	+ 54 045,30 + 54 812,86	
Note:	5 I 7 ⊕	+ 54 028,73	+ 54 780,15	
	6 I 7 ⊕	+ 54 130,31	+ 54 692,22	

The figure Axyz represents a servitude area vide Dgm. No. 4451/83  
Deed of Transfer No.

Beacon Description  
A,B,D-G - 12mm drill hole.  
C - 12mm iron peg

Scale: 400

The figure A B C D E F G  
represents 452 square metres of land, being  
Erf 115963, portion of Erf 10115 Cape Town  
situate in at Cape Town in the Municipality of Cape Town  
Administrative District of the Cape Province of Cape of Good Hope.  
Surveyed in January 1980, February, March 1982 and March, April, May 1983  
by me, *ll. Noye* Land Surveyor

This diagram is annexed to C.R.T. No. T.57263/87 dated i.f.o.	The original diagram is No. 2705/1982 annexed to Transfer/Grant No. T. 32895/86	File No. S/9390/365 S.R. No. E 1266/83 Comp. BH-7DB/Y241(978)
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Registrar of Deeds

Ref W324 Waltons Stationery Co.  
P.O. Box 11268 Cape Town

Figure 3: SG Diagram



## 5. SITE DESCRIPTION

### The Site

The property is Erf 115963, portion of Erf 10115 Cape Town. It is 452m<sup>2</sup> in extent. (See Figure 3 – Property Diagram). The shape is irregular with a small 'step' in the north-west boundary and an angled section on the southwest boundary. There is a public lane on the south-east edge. The property includes a lane on the north-west edge which extends two thirds the length of the site. This lane gives access and light to the staff kitchen. The front of the property faces Wale Street, the rear faces a panhandle cul de sac/ parking area, accessed from Dorp Street.

The various components /buildings/spaces of and on the site are shown below:

The house (1), with its front stoep (2) and the courtyard behind (3). The attached staff quarters (4) facing the courtyard. There is an east alley (5) which joins Wale Street (6) with the parking area to the south. There is a partial west alley (7).

A toilet block (8) is situated on the southeast corner of the courtyard. A community hall(9) is located at the rear of the site, on the irregular boundary and faces the courtyard on the north. It is accessed by a stair (10) on the west. A covered stoep (11) below the north edge of the hall gives access to the kitchen store (12) and toilets (8)

### Brief Description of the Building

Simple, small, typically rectangular, flat-roofed structure. It has a raised stoep with side masonry benches on the street with a central flight of stairs in line with the central entrance door and fanlight above, with 2 flanking 24 over 24 rectangular paned sash windows. The house has a unique 'wavy' moulded parapet which is distinctive enough to single this building out as a landmark in the rows of similar parapeted, and symmetrical flat-roofed, simple buildings in the Bo-Kaap.

### The Plan

There is a central entrance hall with 2 symmetrical rectangular flanking rooms with impressive sash windows facing the street. The hallway / passage space widens beyond the 2 rooms and is lit by a casement window facing the rear courtyard. There are 2 smaller rectangular rooms accessed off this space, exhibition room 2 and exhibition room 4. Exhibition room 2 connects to exhibition room 1 by means of a small opening. Exhibition room 4, the kitchen, has a large hearth and has a fan lighted door giving access to the courtyard.

The original dwelling is rectangular and has a 20th C addition attached to the southwest corner. This is accessed by steps from the courtyard. It has a door and a window facing the lane on the north-west side. The addition consists of 2 rooms,

originally the caretaker's quarters with a kitchen and bedroom. There is a smaller bathroom on the southwest. All rooms are interleading, with shuttered casement windows facing the courtyard.

A later intervention is the community hall at the rear of the site, accessed by steps from the courtyard on the west. There is a covered stoep at the courtyard level below the hall. This provides access to the ground floor kitchen on the south-east side and an elevator for disabled use on the north-west side. The elevator provides access to the community hall.

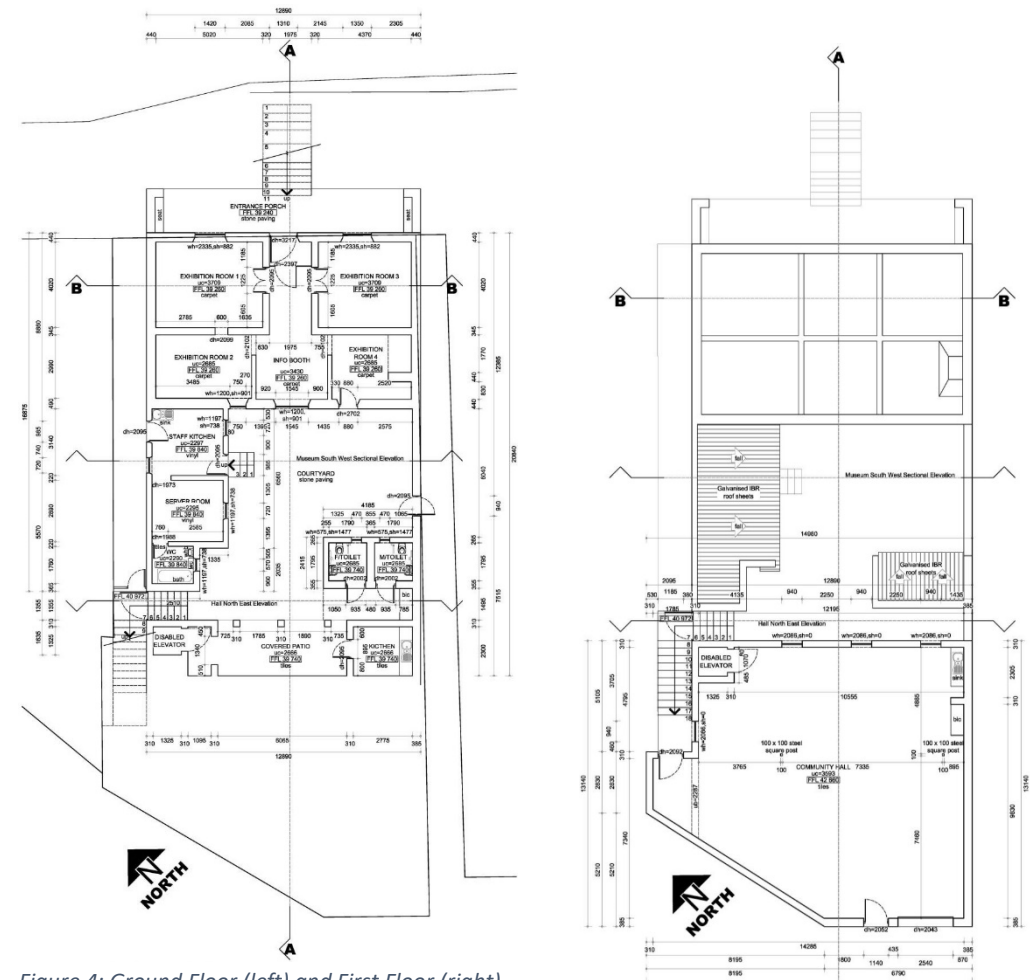


Figure 4: Ground Floor (left) and First Floor (right).

## 6. CHANGES OVER TIME

### History

The Bo-Kaap is one of the oldest residential areas in Cape Town. Its borders are generally considered to be Wale Street, Rose Street and Waterkant Street, with the fourth side extending up the slopes of Signal Hill. It is today the largest area in Cape Town having a concentration of pre-1850's architecture, a valuable tourist attraction and an asset to Cape Town. The Bo-Kaap Museum is housed in one of its oldest and best-preserved buildings.

### History of the Bo-Kaap

The suburb was originally known as Schotschekloof, from the property in Dorp Street of that name which the Governor of the Cape, Ryk Tulbagh, had granted to Alexander Coel in 1755. In 1760 the sexton of the Grootte Kerk, Jan de Waal, bought the area between Dorp and Wale streets from Coel. Between 1763 and 1768 de Waal built small "huurhuisjes" (rental houses) which he rented to his slaves, and the area became known as Walendorp. After de Waal's death in 1768, the area was divided into six portions and sold off. After 1780, with the growing Cape population, the area expanded above Buitengracht Street and more "huurhuisjes" were built in the same style. These were let to European immigrants, "free black" immigrants from Asia, and freed slaves. The first mosque at the Cape, The Auwal Mosque, was built there in 1804. Following the emancipation of slaves in 1834, many slaves took over these houses from immigrants who moved to other suburbs.

By the middle of the 19th century the district was known as the Malay Quarter, as the population, while including people of different origins and religions, had become predominantly Muslim. By then it had grown beyond Buitengracht Street and up Signal Hill, with a unique character of mainly brightly painted, narrow-stooped, flat-roofed houses accessed from cobbled streets and lanes. In 1943 the Governor General of the Cape, Dr EG Jansen, chaired a committee for the preservation of the area, because of which fifteen houses and a mosque in the area between Long and Shortmarket Streets underwent restoration. Twenty years later, houses in the adjoining streets, particularly Church Street, were also restored; and new buildings were constructed in the Bo-Kaap style. Restored homes were let to members of the Muslim community.

### History of the Bo-Kaap Museum

The Bo-Kaap Museum at 71 Wale Street is one of the oldest houses in this historic area. It is one of the original "huurhuisjes" and thus dates to the period 1763-1768. It is moreover one of the few "huurhuisjes" that survives in near original form, having even its original façade woodwork. It is also one of only two remaining houses with a "wavy parapet", common in Cape Town in the 18th C.

When the Schotschekloof area was divided into six, on the death of Jan de Waal in 1768, the portion where the museum is located was sold to Johannes Vermeulen and remained in his family until 1832. Thereafter it belonged to Bartholomeus Hendricus

Eyberg until 1894 when he was declared insolvent. The house then passed to Hadje Magmoet Effendi, a family member of the influential Imam Abu Bakr Effendi. "Effendi" is a former Turkish title of respect given to a man of high standing or education. After Abu Bakr died, the Ottoman Caliphate in Istanbul appointed a Shafi'i scholar of Ottoman descent at the Cape, Mahmud Fakih Emin Effendi, to impart religious and cultural education and resolve religious conflicts among Muslims at the Cape. Mahmud Fakih Emin Effendi lived at 71 Wale Street until his death in 1917. Thereafter the house was owned by his son, Muhammed Dervies Effendi. In 1928 Dervies built ten rooms and three toilets at the rear of the building which he leased to tenants. In March 1937 the City Council acquired the land and demolished the extra rooms at the rear of the building, as the medical officer of Health and the Acting City Engineer had both recommended in 1935 that these be either repaired or demolished. Dervies continued to live there until he died in 1940; his wife Mariam and her children remained there until the building became a museum in 1978.

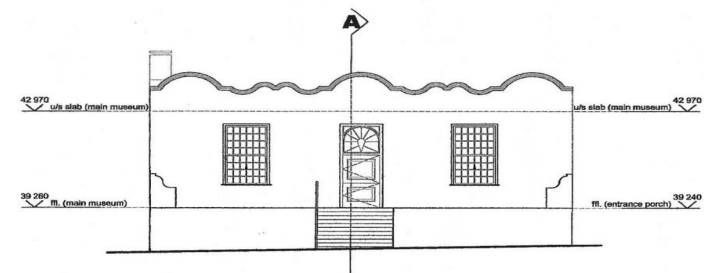


Figure 5: North-East elevation

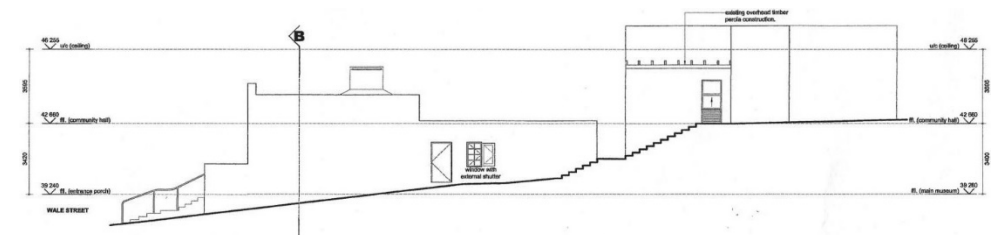


Figure 6: North-West Elevation

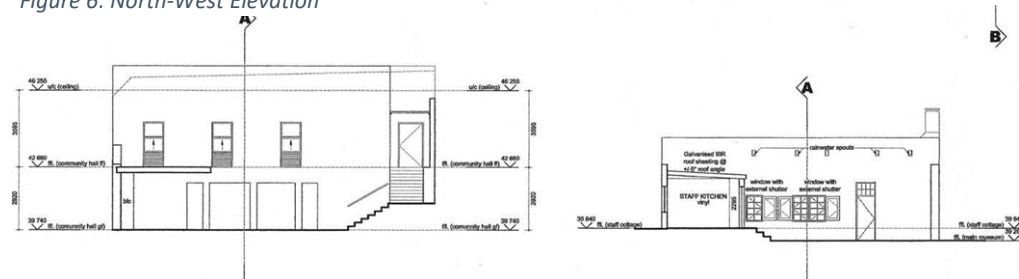


Figure 7: North-East and South-West sectional elevations

The building was declared a national monument in 1965. It underwent restoration in the 1970s, and in 1978 the Bo-Kaap Museum was established as part of the South African Cultural History Museum. Originally it depicted the typical home and lifestyle of a 19th century Cape Muslim family. Since 1999 it has been managed by Iziko Museums of South Africa, which is transforming the museum to reflect not only the culture but also the history of the Bo-Kaap and its community. The property was reduced in size to its present form in the 1940's.

### **Sources:**

FC Holm CC et al. 2018. Iziko Museums: Existing Building Condition Report, REF.

CSM/Architects/12/2015. Bo-Kaap Museum.

Fransen, Hans. 2004. The Old Buildings of the Cape. Jonathan Ball Publishers (Pty) Limited. Bo-Kaap Museum. Pamphlet, Iziko Museums.

[http://capetownhistory.com/?page\\_id=589](http://capetownhistory.com/?page_id=589)

<http://www.iziko.org.za/static/page/history-of-the-area>

<http://mypr.co.za/debating-space-history-and-heritage-the-bo-kaap-sites-seminar-at-iziko-bo-kaap-museum-wale-street-20-november-2012/>

<https://www.news.uct.ac.za/article/-2016-08-05-mistaken-identity-scholar-sheds-new-light-on-museum>



## **7. STATEMENT OF SIGNIFICANCE**

### Significance overview

Generally, the old house with the front stoep, lanes and courtyard is of very high significance. The additions on the west (staff quarters) are of high significance. The toilets, store and community hall are of medium significance.

### Historic significance

The building is 250 years old and is probably one of the oldest intact houses in Cape Town. It was built as one of several houses to be rented to slaves.

The Bo-Kaap Museum was established there in 1978 as a satellite of the SA Cultural History Museum. It was furnished as a house that depicts the lifestyle of a 19th C Muslim family.

### Architectural and aesthetic significance

It is probably the earliest example of domestic architecture in Cape Town and was the first of a type of house that comprises most of the houses in the Bo-Kaap. Its distinctive baroque 'wavy parapet' is highly notable and is one of very few examples of its kind. (146 Buitengracht and Valkenberg are two other examples).

### Cultural, social, civic and associative significance

The building is associated with slavery, the establishment of the Bo-Kaap and is a social history museum dedicated to Muslim heritage in Bo-Kaap.

### Statement of significance

The house is likely to have been built between 1763 and 1768 and is possibly the oldest surviving, generally intact, dwelling house in Cape Town. With its rare 'wavy' front parapet it is a landmark in the Bo-Kaap.

It houses a small social history museum dedicated to local Islamic history and culture.

It has very high historical, architectural, aesthetic, social and associational significance and is worthy of its Grade II status.

## **8. BUILDING PHOTOS - INTERIOR**



*Figure 8: Image shows noticeable damp damage behind front entrance door.*



*Figure 9: Image shows noticeable damp damage next to front entrance door.*



Figure 10: Image shows water damage to a wall in the East-Room (Exhibition room 3).



Figure 11: Image shows water damage to the underside of the ceiling.



*Figure 12: Image shows water damage to the walls and ceiling.*



## 9. BUILDING PHOTOS - EXTERIOR



*Figure 13: Image shows the gable end parapet waterproofing seem to be in good condition.*



*Figure 14: Image shows the waterproofing membrane over parapet to extend down over external wall.*



Figure 15: Image shows chimney wall waterproofing to be in good order.



Figure 16: Image shows the parapet waterproofing membrane where the fixing of services seems to penetrate and compromise the waterproofing.





Figure 17: Image shows the water outlets to roof in clean and good condition. Discuss the option of hopper boxes and downpipes.



Figure 18: Image shows the waterproofing membrane over parapet to extend down over external wall.



*Figure 19: Image shows compromised Torch on waterproofing to emergency outlet. Patch and service this area.*



*Figure 20: Image shows an overall view of roof indicating wear and exposed torch on membrane.*





Figure 21: Image shows an overall view of roof indicating wear and exposed torch on membrane.



Figure 22: Image shows roof to be in fair condition but visible damage to headwall flashing and retrofitted services penetrating plate and compromising water ingress can be seen.



*Figure 23: Image shows damaged sidewall flashing on angled return.*



*Figure 24: Image shows the exposed roof structure. Custom flashing to close off corner is recommended.*





*Figure 25: Image shows noticeable damaged flashing and extended sheets with rivets. New Flashing recommended.*



*Figure 26: Image shows poor application of incorrect product. New flashing recommended.*





*Figure 27: Image shows the flat roof to entrance. Vertical waterproofing in fair condition, but rather replace with new roof.*



*Figure 28: Image shows visible delamination to flat roof with wood rot below. Replace entire roof.*





*Figure 29: Image shows poor application of incorrect product. New flashing recommended.*



*Figure 30: Image shows the roof sheets have reached the end of lifespan with visible previous repairs and damage to sheets.*



*Figure 31: Image shows that the roof sheets has reached the end of lifespan with visible previous repairs and damage to sheets.*



*Figure 32: Image shows the roof sheets have a limited lifespan with visible previous repairs and damage to sheets. Replace fixing screws, fit poly closures to end of sheets.*





*Figure 33: Image shows the roof sheets have a limited lifespan with visible previous repairs and damage to sheets. Replace fixing screws, fit poly closures to end of sheets. Fit new flashings to head and sidewalls.*



*Figure 34: Image shows visible damage to Rainwater goods – replace with fibre cement.*





Figure 35: Image shows roof sheets has limited lifespan with visible previous repairs and damage to sheets. Replace fixing screws, fit poly closures to end of sheets.



Figure 36: Image shows visible damage to headwall flashing and retrofitted services penetrating plate and compromising water ingress.

## 9. BUILDING PHOTOS - STREETScape



*Figure 37: Image shows the front façade of the museum with neighbouring buildings from Wale Street.*

## **10. RENOVATION SCOPE AND REPAIR SPECIFICATIONS**

### **UPGRADE AND MAINTENANCE WORK TO ROOF**

Items of repair specifications include:

#### **Exterior**

- Timber supporting structure rotten due to water ingress: Replace small ablution building roof consisting of timber board with torch membrane cover with new installation to match existing and including backed enamel finish metal 0,8 mm wall capping; overlapping with torch on membrane.
- Torch on waterproofing membrane over parapet to extend 20mm down over external wall before metal capping. Metal capping is fitted after to conserve torch on membrane.
- On Main Building roof no delamination of torch on membrane detected. Refurbish all torch on waterproofing on with two coats of bituminous aluminium paint.
- On Community Hall replace roof sheets that were cut short during construction, with roof sheets that are the correct length to reach gutter. Replace existing head and sidewall flashing with wider section to cover sheets. Repair related paint damage outside and inside.
- Rainwater goods on Community Hall in good order. A good clean and service required.
- Rainwater goods on Administration Building require new facias and seamless aluminium gutter to replace the existing asbestos.
- Ablution Facilities roof sheeting in very good condition. The flashings were compromised by previous electrical installations. Replace headwall flashing. No visible leaks to ceiling below.

#### **Interior**

- Repair resultant water damage below the leak in the community hall.



## **12. REFERENCES**

FC Holm CC et al. 2018. Iziko Museums: Existing Building Condition Report, REF.

CSM/Architects/12/2015. Bo-Kaap Museum.

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[at-iziko-bo-kaap-museum-wale-street-20-november-2012/](http://mypr.co.za/debating-space-history-and-heritage-the-bo-kaap-sites-seminar-at-iziko-bo-kaap-museum-wale-street-20-november-2012/)

[https://www.news.uct.ac.za/article/-2016-08-05-mistaken-identity-scholar-sheds-](https://www.news.uct.ac.za/article/-2016-08-05-mistaken-identity-scholar-sheds-new-light-on-museum)

[new-light-on-museum](https://www.news.uct.ac.za/article/-2016-08-05-mistaken-identity-scholar-sheds-new-light-on-museum)

## **13. ANNEXURES**

A. Existing Building Conditions Report – April 2018

B. Conservation Management Plan – July 2018

C. As-Built Drawings – September 2016

D. Roof Repair Specifications – March 2023

E. Five Year Maintenance Report – September 2018

F. Waterproofing Report – February 2023

**ANNEXURE: A – Existing Building Conditions report**

**ANNEXURE: B - Conservation Management Plan**



**ANNEXURE: C - As-Built drawings**

**ANNEXURE: D – Roof Repair Specifications**

**ANNEXURE: E – Five Year Management Plan**



**ANNEXURE: F – Waterproofing Report**