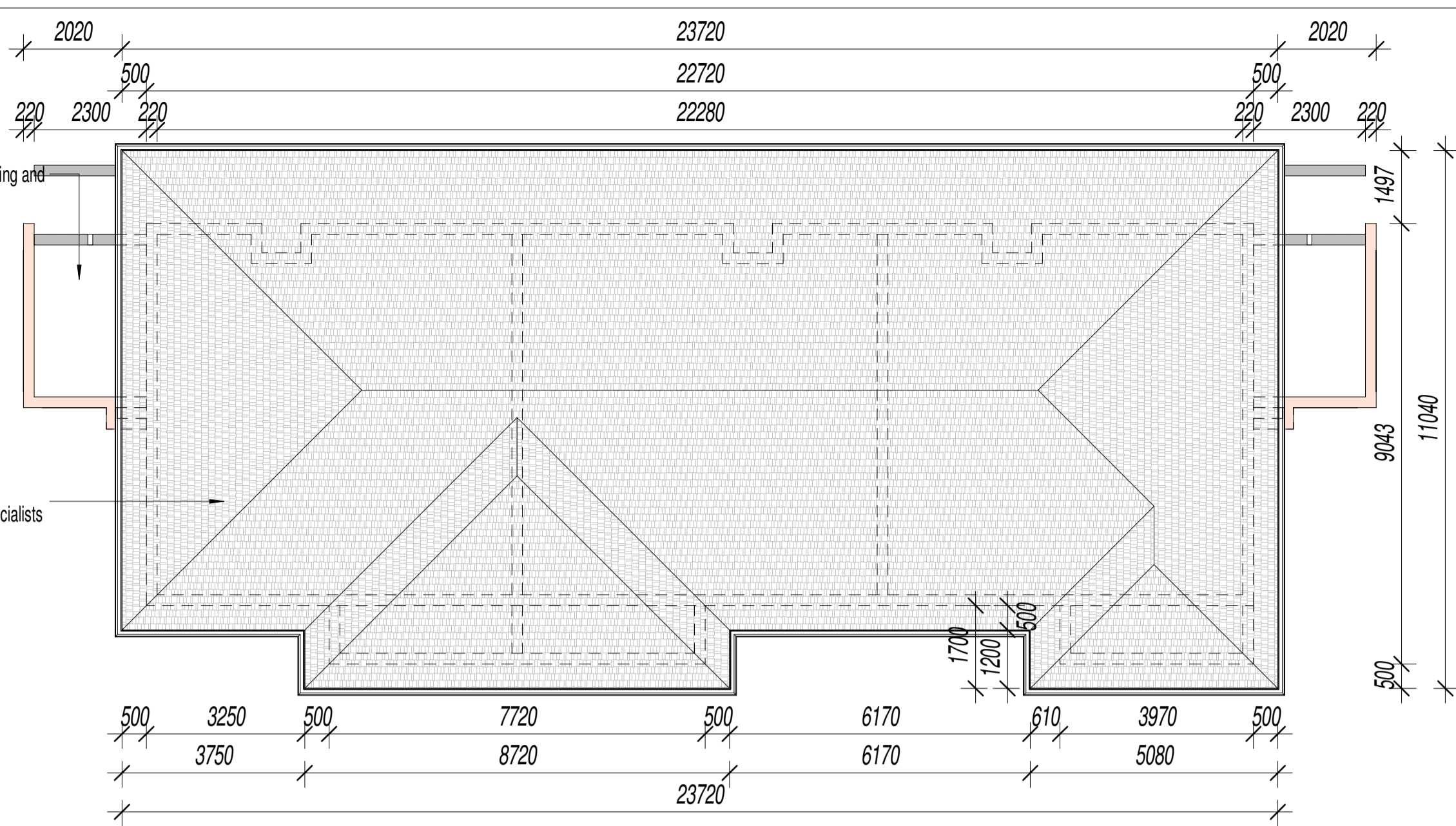


2 Section 1
1 : 50

ROOF SLAB NOTE:
New RC slab to engineers detail, with waterproofing and flashing laid by specialist.

ROOF NOTE:
Concrete roof tiles laid at a pitch 22.5°. All to specialists



1 ROOF PLAN
1 : 100

ALUMINIUM WINDOW AND DOOR SCHEDULE					
ELEVATION	REF/ CODE	LOCATION	FRAME	GLAZING / LEAF	QTY
	PT 99	Bathroom & Kitchens	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400	24
	PT 1512	Bedrooms 02	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400 Georgian Wire Frame for Fire Windows Where Specified.	12
	PT 1815	Bedrooms 01	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400 Georgian Wire Frame for Fire Windows Where Specified.	12
	SIDELIGHT 621	To Balconies	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400	12
	813x2125mm Door	Entrance Door	Standard 30mm Powder Coated Aluminium frame.	Solid Core	12
	813x2125mm Door	Bathrooms & Bedrooms	Standard 30mm Painted / Stained Timber frame.	Semi-Solid Core	36
	1800 Sliding Door	To Balconies	Standard 30mm Powder Coated Aluminium frame.	6mm Clear 'Low E' Toughened Safety glass as per NBR and SANS 10400	12

SCHEDULE OF RIGHTS	
PROPERTY DESCRIPTION	
ERF:	3379 USE ZONE:
TOWNSHIP:	DURBAN NORTH SITE AREA: 6033 sqm
TOWN PLANNING SCHEME:	ETHEKWINI TITLE DEED NO. T634/1986
AREA SCHEDULE	
SITE AREA	6033 sqm
TYPICAL UNIT AREA (EXCLD BALCONY)	58.4 sqm
TYPICAL UNIT BALCONY AREA	4.6 sqm
TOTAL TYPICAL UNIT AREA (INCLD BALCONY)	63 sqm
TYPICAL FLOOR AREA (INCLD WALKWAYS & BALCONIES)	226.6 sqm
TOTAL BLOCK AREA (12 UNITS)	906.4 sqm
ZONING INFORMATION	
DEVELOPMENT CONTROL MEASURES	
CONTROL	PERMISSABLE ACTUAL
BUILDING HEIGHT	xxx STOREY(S) 4 STOREYS
COVERAGE	xxx% xxx%
F.A.R	xxx xxx
CONSTRUCTION NOTES	

REFERENCES:
ALL LEVELS AS SHOWN ON THE DRAWINGS. GENERAL EXCAVATION WORK INCLUDING CUT AND FILL TO BE CARRIED OUT AS PERFORMING TO COMPLY WITH PART 7 OF NBR 12750 FOR FOUNDATIONS SHALL BE CARRIED OUT TO THE FINISHED GRADE.
PROVIDE ALL WIRING, CABLES, ETC. SHALL BE SECURED TO MAIN WALLS OR BEHIND FINISHED WALLS.

FOUNDATIONS:
CONCRETE FOUNDATIONS OF A STRENGTH NOT LESS THAN 18MPa AT 28 DAYS IN A 40°C CURE SHALL BE PROVIDED TO A MINIMUM DEPTH OF 1000mm BELOW FINISHED GRADE. THE BOTTOM OF THE FOUNDATION SHALL BE TO THE LEVEL OF THE FINISHED GRADE. TOP OF FOUNDATIONS TO BE A MINIMUM 100mm BELOW FINISHED GRADE LEVEL.

FLOORS:
FLOORING SURFACE SHALL BE A MINIMUM 100mm ABOVE FINISHED GRADE. CONCRETE SHALL BE 18MPa AT 28 DAYS IN A 40°C CURE. FLOORING SHALL BE FINISHED TO THE FINISHED GRADE. FLOORING SHALL BE FINISHED TO THE FINISHED GRADE. FLOORING SHALL BE FINISHED TO THE FINISHED GRADE.

ROOFING:
ROOFING SHALL BE FINISHED TO THE FINISHED GRADE. ROOFING SHALL BE FINISHED TO THE FINISHED GRADE. ROOFING SHALL BE FINISHED TO THE FINISHED GRADE.

WALLS:
WALLS SHALL BE FINISHED TO THE FINISHED GRADE. WALLS SHALL BE FINISHED TO THE FINISHED GRADE. WALLS SHALL BE FINISHED TO THE FINISHED GRADE.

DOORS:
DOORS SHALL BE FINISHED TO THE FINISHED GRADE. DOORS SHALL BE FINISHED TO THE FINISHED GRADE. DOORS SHALL BE FINISHED TO THE FINISHED GRADE.

WINDOWS:
WINDOWS SHALL BE FINISHED TO THE FINISHED GRADE. WINDOWS SHALL BE FINISHED TO THE FINISHED GRADE. WINDOWS SHALL BE FINISHED TO THE FINISHED GRADE.

GENERAL:
ALL WORK TO BE STRICTLY IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE SANS 10400 MINIMUM STANDARDS SPECIFICATIONS (REFER TO DWG NO. 100 SITE PLAN).
THE CONTRACTOR TOGETHER WITH THE LAND SURVEYOR TO SET OUT THE BUILDINGS ON SITE. CONFIRM AND VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS, PLUMBING, DEPTHS OF EXCAVATIONS AND NUMBER OF STAIRS ON SITE. WITH RELEVANT CONSULTANTS (CIVIL ENGINEERS & STRUCTURAL). ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTURAL PROFESSIONAL PRIOR TO THE COMMENCEMENT OF WORK. ONLY FIGURED DIMENSIONS ARE TO BE TAKEN.

REVISION No	DATE	DESCRIPTION
C	JUNE 2021	ISSUED FOR APPROVAL

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ARCHITECT
mPRO BUILDING PROJECTS
Tapiwa Mutanda C
(Professional Senior Architectural Technologist)
SACAP Registration Number ...PSAT 201666...
Date JUNE '21. Signature: [Signature]

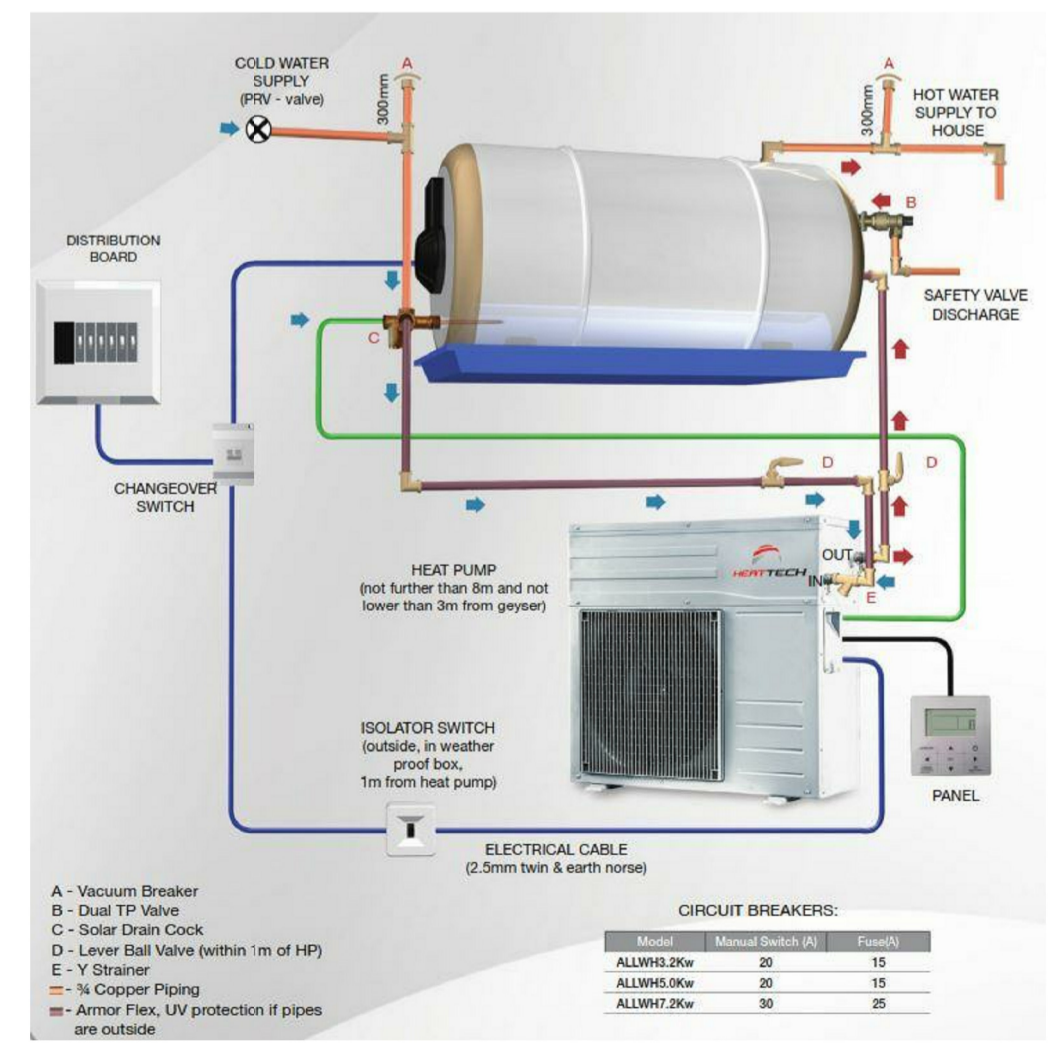
825 Lone Creek, Waterfall Office Park, 21 Mac-Mac Rd, Midrand, Gauteng
Phone: 081 217 0283 Cell: 078 744 5979. E-mail: info@mpro-group.co.za
www.mpro-group.co.za

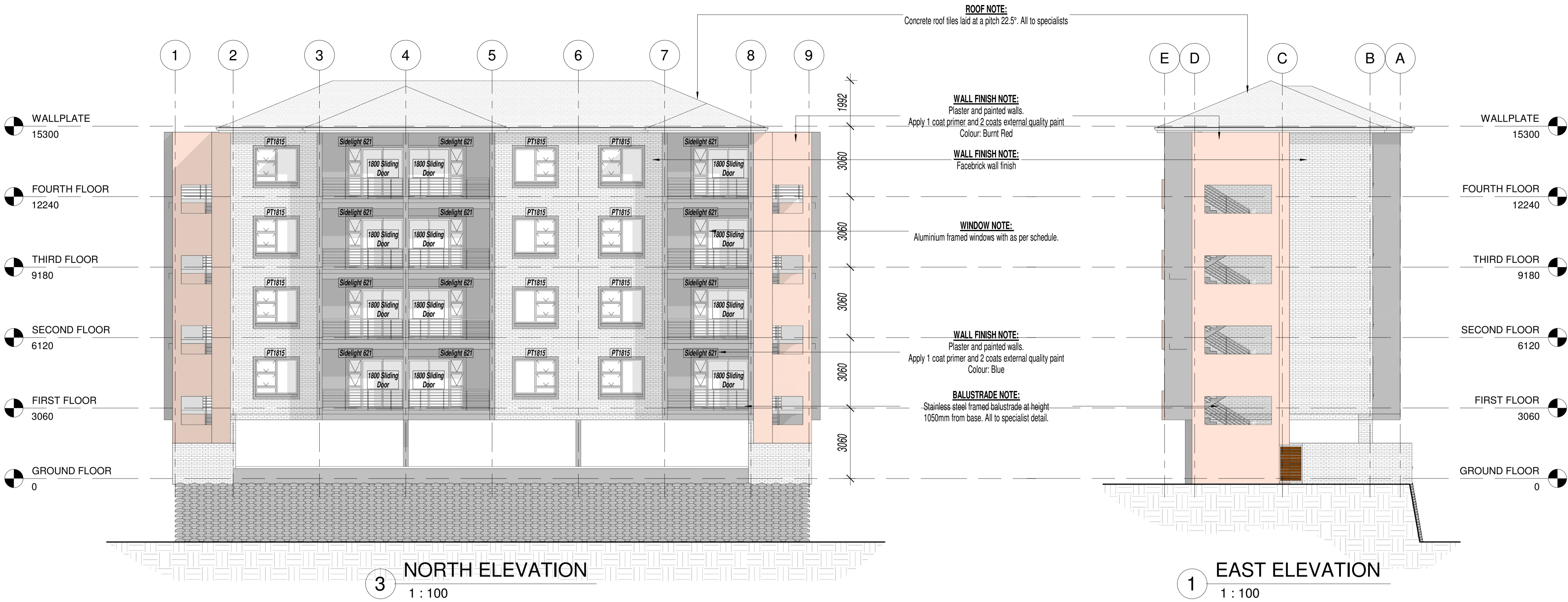
PROJECT NAME
PROPOSED RESIDENTIAL DEVELOPMENT (AVOCA HEIGHTS) ON ERF 3379 DURBAN NORTH (98 MATHERAN ROAD; AVOCA)

CLIENT NAME
NTABA HOLDINGS c/o K. RAJSAINI & K. RHADA

DRAWING DESCRIPTION
SECTION, ROOF PLAN & SCHEDULE BLOCK A1, BLOCK A2 AND BLOCK A4

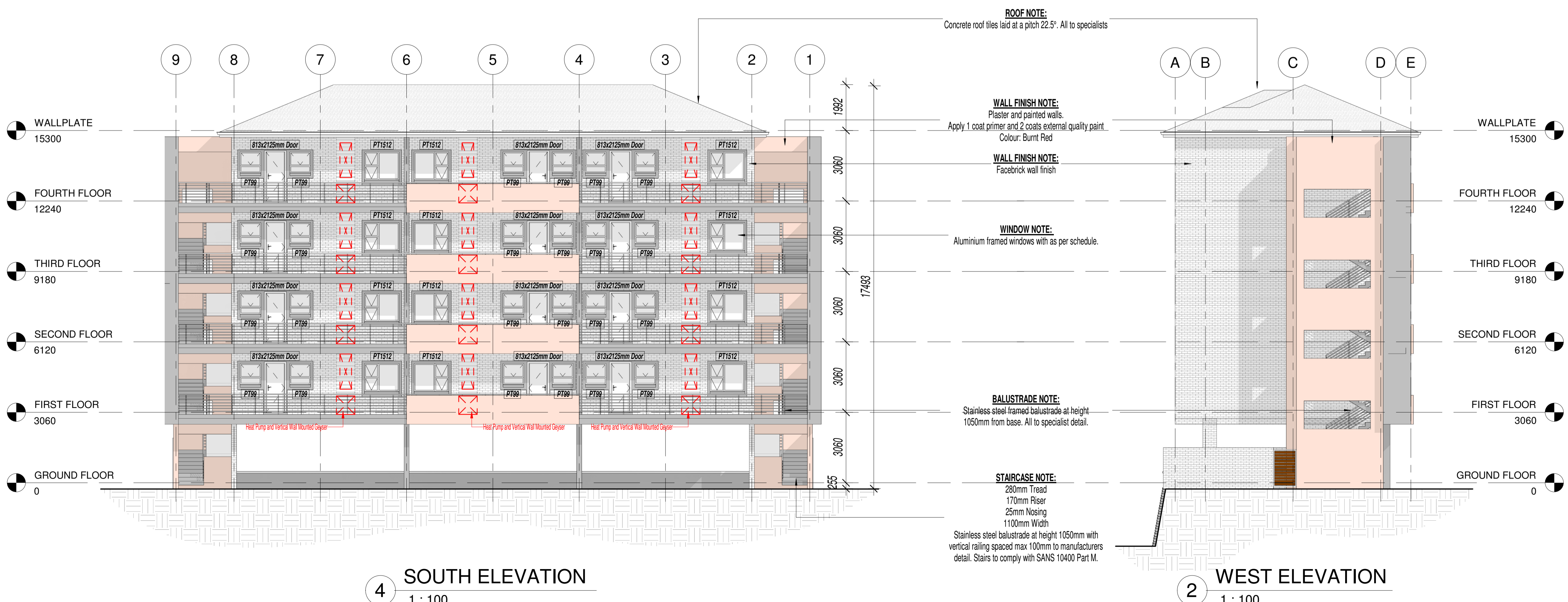
SCALE	DRAWN	DESIGNED
As Indicated	mPro Building Projects	mPro Building Projects
PROJECT No.	DRAWING No.	REVISION No.
3379_DBNRTH_20	003	C





3 NORTH ELEVATION
1 : 100

1 EAST ELEVATION
1 : 100



4 SOUTH ELEVATION
1 : 100

2 WEST ELEVATION
1 : 100

SCHEDULE OF RIGHTS			
PROPERTY DESCRIPTION			
ERF:	3379	USE ZONE:	
TOWNSHIP:	DURBAN NORTH	SITE AREA:	6033 sqm
TOWN PLANNING SCHEME:	ETHEKWINI	TITLE DEED NO.:	T634/1986
AREA SCHEDULE			
SITE AREA	6033 sqm		
TYPICAL UNIT AREA (EXCLD BALCONY)	58.4 sqm		
TYPICAL UNIT BALCONY AREA	4.6 sqm		
TOTAL TYPICAL UNIT AREA (INCLD BALCONY)	63 sqm		
TYPICAL FLOOR AREA (INCLD WALKWAYS & BALCONIES)	226.6 sqm		
TOTAL BLOCK AREA (12 UNITS)	906.4 sqm		
ZONING INFORMATION			
DEVELOPMENT CONTROL MEASURES			
CONTROL	PERMISSABLE	ACTUAL	
BUILDING HEIGHT	xxx STOREY(S)	4 STOREYS	
COVERAGE	xxx%	xxx%	
F.A.R	xxx	xxx	
CONSTRUCTION NOTES			
<p>REFERENCES: ALL LEVELS AS SHOWN ON THE DRAWINGS. GENERAL EXCAVATION WORK INCLUDING CUT AND FILL TO BE CARRIED OUT AS PERFORMING TO COMPLY WITH PART 7 OF NBR 10555. FOUNDATION WORK SHALL BE CARRIED OUT TO THE NATURAL GROUND TO THE FULL EXTENT OF THE AREA OF NEW BUILDING WORK FROM TOP OF SOIL TO A MINIMUM DEPTH OF 300mm AS REQUIRED AND SET ASIDE FOR LATER USE. PROVIDER OF ALL PIPES, CABLES, ETC. SHALL BE OBLIGATED TO MARK UP WITH RED OR BLUE BEING PASSED GROUND LEVEL.</p> <p>FOUNDATION: CONCRETE FOUNDATIONS OF A STRENGTH NOT LESS THAN 20MPa AT 28 DAYS IN A 40°C CURE SHALL BE PROVIDED TO A MINIMUM DEPTH OF 300mm FROM THE TOP OF FOUNDATIONS TO BE A MINIMUM 100mm BELOW NATURAL GROUND LEVEL.</p> <p>FLOOR: ALL FLOOR CONCRETE SURFACES BEYOND FINISH SHALL CONSIST OF 40MPa OR OTHER ACCEPTABLE MATERIAL, FREE OF CLUMP AND ORGANIC MATTER, WELL FINISHED AND NOT PROVIDING A SOIL SURFACE. ALL FLOOR FINISHES SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. THE SUBGRADE SHALL BE FOR 10 YEARS. CONCRETE SURFACES SHALL HAVE A MIN. THICKNESS OF 100mm. FRESH CONCRETE SHALL NOT BE FINISHED UNTIL THE CURING PROCESS IS COMPLETE. ALL EXTERNAL WALLS SHALL BE FINISHED WITH A MINIMUM 100mm BELOW NATURAL GROUND LEVEL. CONCRETE SURFACES SHALL BE FINISHED WITH A MINIMUM 100mm BELOW NATURAL GROUND LEVEL. CONCRETE SURFACES SHALL BE FINISHED WITH A MINIMUM 100mm BELOW NATURAL GROUND LEVEL. CONCRETE SURFACES SHALL BE FINISHED WITH A MINIMUM 100mm BELOW NATURAL GROUND LEVEL.</p> <p>ROOF: ALL ROOF CONSTRUCTION SHALL COMPLY WITH SCHEDULES No. 1 AND 2 OF PART 7 OF NBR 10555. PRINCIPAL AND SECONDARY ROOFS SHALL BE TO SPECIFICATIONS MANUFACTURERS DETAILS SHALL BE AS PER MANUFACTURERS DETAILS. ROOF CONSTRUCTION SHALL COMPLY WITH SCHEDULES No. 1 AND 2 OF PART 7 OF NBR 10555. PRINCIPAL AND SECONDARY ROOFS SHALL BE TO SPECIFICATIONS MANUFACTURERS DETAILS SHALL BE AS PER MANUFACTURERS DETAILS. ROOF CONSTRUCTION SHALL COMPLY WITH SCHEDULES No. 1 AND 2 OF PART 7 OF NBR 10555. PRINCIPAL AND SECONDARY ROOFS SHALL BE TO SPECIFICATIONS MANUFACTURERS DETAILS SHALL BE AS PER MANUFACTURERS DETAILS.</p> <p>CEILING: MIN. CEILING HEIGHT OF ANY HABITABLE ROOM SHALL BE AT LEAST 2400mm EXCEPT FOR ENTRANCE HALL, BATHROOMS, SHOWER ROOMS, LAUNDRY, W.C. OR MEZZANINE FLOORS IN ACCORDANCE WITH PART C, SCHEDULE No. 1 OF THE NBR.</p> <p>PLASTERING: INTERNAL, TONGUE COAT PLASTER SHALL BE 1 PART SAND AND 1 PART CEMENT LAD TO A MAX. THICKNESS OF 10mm. STRUCK OFF WITH A TAMBER SLEDGE. CONTRACTOR TO PROVIDE A FINISH TO THE PLASTER TO MATCH EXISTING OR AS SPECIFIED BY ARCHITECT. EXTERNAL, TONGUE COAT PLASTER SHALL BE 1 PART SAND AND 1 PART CEMENT LAD TO A MAX. THICKNESS OF 10mm. STRUCK OFF WITH A TAMBER SLEDGE. CONTRACTOR TO PROVIDE A FINISH TO THE PLASTER TO MATCH EXISTING OR AS SPECIFIED BY ARCHITECT.</p> <p>PAINTING: ALL PAINTS, STAINES, VARNISHES, ETC. SHALL BE OF AN APPROVED MANUFACTURE AND BE USED IN STRICT COMPLIANCE WITH THE MANUFACTURERS INSTRUCTIONS. INTERNAL & EXTERNAL PAINT SHALL BE TO ARCHITECTS OWNERS SPECIFICATION ON MANUFACTURER'S SUPERFICIAL COVER AND SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND PERMITTED FINISHING SCHEDULE. UNLESS OTHERWISE SPECIFIED, 1 COAT SYNTHETIC RESIN WOOD PRESERVATIVE, OILED, AND MAX WOOD PRESERVATIVE, SANDED LIGHTLY BETWEEN COATS.</p> <p>ELECTRICAL: ALL ELECTRICAL INSTALLATION SHALL BE CARRIED OUT STRICTLY IN ACCORDANCE WITH SANS 10400 THE WORKING OF PREMISES, PART 7 OF THE NBR AND AS PER DRAWINGS. SWITCHES, PLUGS AND LIGHT FITTINGS TO COMPLY WITH LABEL TO ARCHITECTS OWNERS SPEC. ALL ELECTRICAL WORK SHALL BE TO THE CCL OF THE COVER PLATE UNLESS OTHERWISE SHOWN. ALL SWITCHES SHALL BE BUILT IN AT 1000mm ABOVE FFL TO THE CCL OF THE COVER PLATE.</p> <p>GENERAL: WORKING TO SPECIALIST DETAILS. TO BE LAD TO FALLS AS SHOWN ON DRAWINGS. ALL WORKS TO BE PROVIDED WITH A SPLASH SCREEN TO A MIN. HEIGHT OF 100mm. MIN. HEIGHT OF A BALUSTRADE TO BE 1050mm TO COMPLY WITH PART M OF THE NBR.</p>			

REVISION No	DATE	DESCRIPTION
C	JUNE 2021	ISSUED FOR APPROVAL

REVISIONS

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GENERAL NOTES

ALL WORK TO BE STRICTLY IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE SANS 10400 MINIMUM STANDARDS SPECIFICATIONS (REFER TO DWG No. 100 SITE PLAN). THE CONTRACTOR TOGETHER WITH THE LAND SURVEYOR TO SET OUT THE BUILDINGS ON SITE, CONFORM AND VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS, PLUMBING, DEPTHS OF EXCAVATIONS AND NUMBER OF STAIRS ON SITE. WITH RELEVANT CONSULTANTS (CIVIL ENGINEERS & STRUCTURAL). ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTURAL PROFESSIONAL PRIOR TO THE COMMENCEMENT OF WORK. ONLY FIGURED DIMENSIONS ARE TO BE TAKEN.

ARCHITECT

Tapiwa Mutanda C
(Professional Senior Architectural Technologist)
SACAP Registration Number ...PSAT/20166...
Date JUNE '21. Signature: *[Signature]*

825 Lone Creek, Waterfall Office Park, 21 Mac-Mac Rd, Midrand, Gauteng
Phone: 081 217 0283 Cell: 078 744 5979. E-mail: info@mpro-group.co.za
www.mpro-group.co.za

PROJECT NAME

PROPOSED RESIDENTIAL DEVELOPMENT (AVOCA HEIGHTS) ON ERF 3379 DURBAN NORTH (98 MATHERAN ROAD; AVOCA)

CLIENT NAME

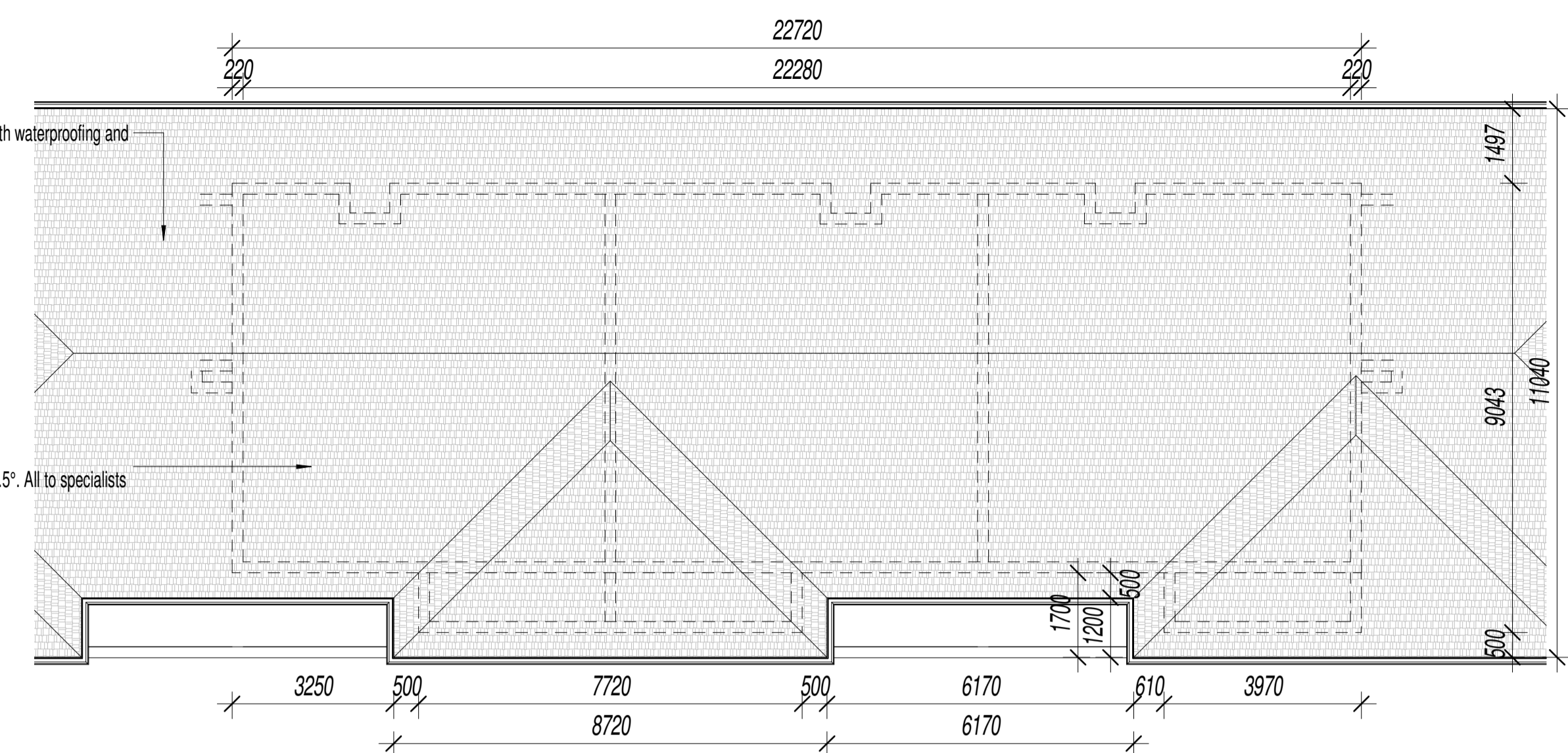
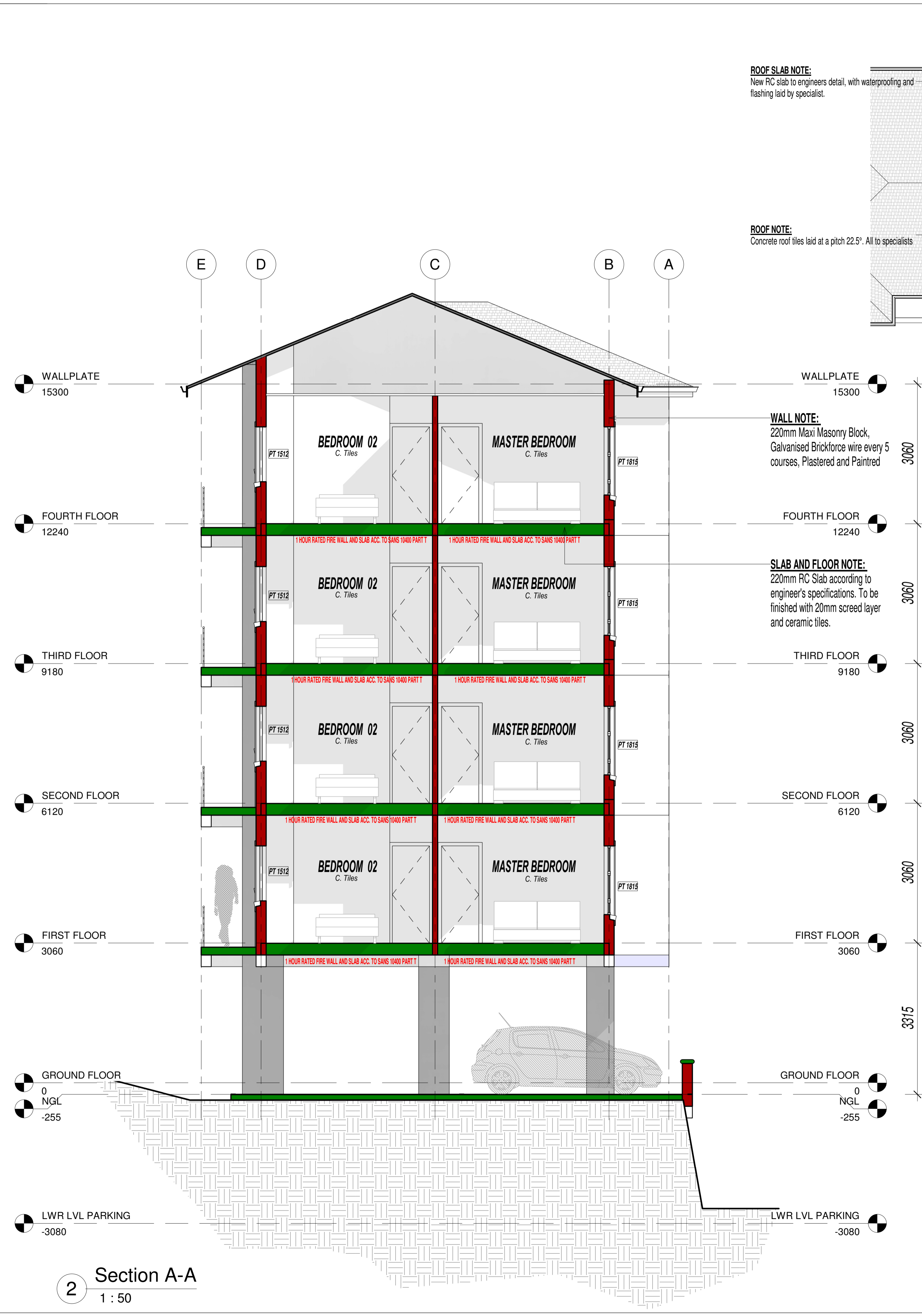
NTABA HOLDINGS c/o K. RAJSAINI & K. RHADA

DRAWING DESCRIPTION

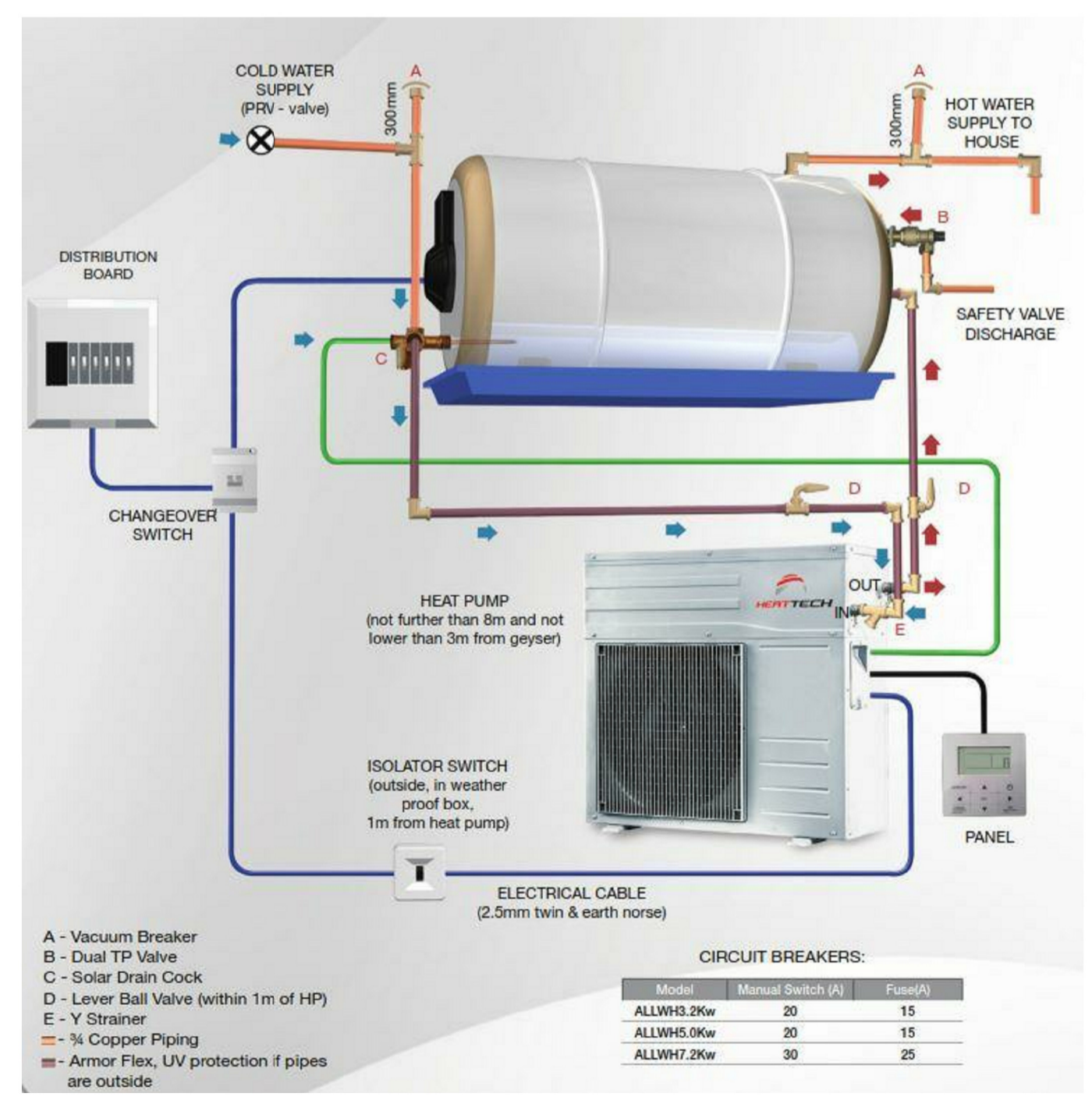
ELEVATIONS BLOCK A1, BLOCK A2 AND BLOCK A4

SCALE	DRAWN	DESIGNED
1 : 100	mPro Building Projects	mPro Building Projects

PROJECT No.	DRAWING No.	REVISION No.
3379_DBNNRTH_20	004	C



ALUMINIUM WINDOW AND DOOR SCHEDULE					
ELEVATION	REF/CODE	LOCATION	FRAME	GLAZING	QTY
	PT 99	Bathroom & Kitchens	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400	24
	PT 1512	Bedrooms 02	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400	12
	PT 1815	Bedrooms 01	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400	12
	SIDELIGHT 621	To Balconies	Standard 30mm Powder Coated Aluminium frame.	4mm Clear 'Low E' glass as per NBR and SANS 10400	12
	813x2125mm Door	Throughout	Standard 30mm Powder Coated Aluminium frame.	NA	48
	1800 Sliding Door	To Balconies	Standard 30mm Powder Coated Aluminium frame.	6mm Clear 'Low E' Toughened Safety glass as per NBR and SANS 10400	12



SCHEDULE OF RIGHTS

PROPERTY DESCRIPTION

ERF: 3379 USE ZONE: 6033 sqm
 TOWNSHIP: DURBAN NORTH SITE AREA: 6033 sqm
 TOWN PLANNING SCHEME: ETHEKWINI TITLE DEED NO. T634/1986

AREA SCHEDULE

SITE AREA: 6033 sqm
 TYPICAL UNIT AREA (EXCLD BALCONY): 58.8 sqm
 TYPICAL UNIT BALCONY AREA: 4.6 sqm
 TOTAL TYPICAL UNIT AREA (INCLD BALCONY): 63.4 sqm
 TYPICAL FLOOR AREA (INCLD WALKWAYS & BALCONIES): 226.6 sqm
 TOTAL BLOCK AREA (112 UNITS): 906.4 sqm

ZONING INFORMATION

DEVELOPMENT CONTROL MEASURES

CONTROL	PERMISSABLE	ACTUAL
BUILDING HEIGHT	xxx STOREY(S)	4 STOREYS
COVERAGE	xxx%	xxx%
F.A.R	xxx	xxx

CONSTRUCTION NOTES

RECOMMENDATIONS:
 ALL LEVELS AS SHOWN ON THE DRAWINGS. GENERAL EXCAVATION WORK INCLUDING CUT AND FILL TO BE CARRIED OUT AS PERFORMING TO COMPLY WITH PART W OF NBR TO THE FULL EXTENT OF THE AREA OF NEW BUILDING WORK PRIOR TO SOIL TO A MINIMUM DEPTH OF 300mm AS REQUIRED AND SET ASIDE FOR LATER USE. PROPOSED ALL PIPES, CABLES, ETC. SHALL BE LOCATED TO A MINIMUM DEPTH OF 450mm BELOW FINISHED GROUND LEVEL.

FOUNDATION:
 CONCRETE FOUNDATIONS OF A STRENGTH NOT LESS THAN M20 AT 10 DAYS IN A 4. CONCRETE FOUNDATIONS TO HAVE A MINIMUM THICKNESS OF NOT LESS THAN 150mm AND A MINIMUM WIDTH OF 300mm TO COMPLY WITH PART W AND X OF THE NBR. THE BOTTOM OF STOP EXCAVATION TO BE SET AT A MINIMUM OF 300mm BELOW THE LEVEL OF THE FOLLOWING FINISHED GROUND. TOP OF FOUNDATIONS TO BE A MINIMUM 150mm BELOW NATURAL GROUND LEVEL.

FLOOR:
 FILL UNDER CONCRETE SURFACE BEING ASBESTOS FREE. COMBUSTIBLE, FREE OF CLAY AND ORGANIC MATTER, WELL RAINED AND WATERED, WITH A MIN. OF 50mm AGGREGATE. 10 LAYERS OF NOT MORE THAN 100mm. NOT PROVIDING A SOIL PROTECTION OF SUBSURFACE BED SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. THE SUBGRADE SHALL BE FOR 10 YEARS.

CONCRETE SURFACE BEDS: SHALL HAVE A MIN. THICKNESS OF 75mm. FINISHING NOT LESS THAN M20 AT 10 DAYS IN A 4.5. WOODWORK/CONCRETE/PAINT LOCATED TO SPECIFIED FINISH SURFACE BEDS SHALL BE SETTING DOWN AT THE FINISH LEVEL AND ON SUBSTRATE BLACK POLYETHYLENE SHEETING LAY IN THE JOINTS PRACTICAL JOINTS TO BE MADE AND COVERED INTO EXTERNAL WALLS UNDER BRICKWORK TO COMPLY WITH PART W OF THE NBR.

ROOFING:
 ROOF SHEETING SHALL BE SECURELY ANCHORED TO SUPPORTING WALLS WITH 40mm GALVANISED HOOPROD TIED DOWN IN COURSES OF BRICKWORK OR TO ENGINEERS DETAIL. EXTERNAL CALLS ARE TO BE PLASTERED WITH 20mm MIN. DRY OVERLAY. VERTICAL 25mm MIN. BLACK POLYETHYLENE SHEETING TO ALL CHANGES IN FLOOR LEVEL.

ROOF:
 ALL ROOF CONSTRUCTION SHALL COMPLY WITH SCHEDULES 1 & 2 OF PART W OF THE NBR. PRINCIPAL ROOFING, TRUSSING AND GIRDERS SHALL BE TO SPECIALIST MANUFACTURERS DETAIL. SHALL BEAT THE SABB MARK AND SHALL BE MADE FROM 100% STRUCTURAL TIMBER. ROOF CONSTRUCTION SHALL HAVE A MINIMUM THICKNESS OF 20mm AND SHALL BEAT THE SABB MARK. ROOF TRUSSING SHALL BE MADE FROM 100% STRUCTURAL TIMBER. ROOF TRUSSING SHALL BE MADE FROM 100% STRUCTURAL TIMBER. ROOF TRUSSING SHALL BE MADE FROM 100% STRUCTURAL TIMBER. ROOF TRUSSING SHALL BE MADE FROM 100% STRUCTURAL TIMBER.

GLAZING:
 MIN. CLEAR HEIGHT OF 1900mm ABOVE FLOOR SHALL BE AT LEAST 1800mm EXCEPT FOR ENTRANCE HALL, BATHROOMS, SHOWER ROOMS, LAUNDRY, W.C. OR MEZZANINE FLOOR IN ACCORDANCE WITH PART C, SCHEDULE 11 OF THE NBR. 4mm CLEAR GLAZING TO BE USED TO UNDERGO OF ROOF STRUCTURE AT MAX. 400mm O/S. INSULATION SHALL BE 50mm POLYURETHANE OR 100mm POLYURETHANE INSULATION AS SPECIFIED IN NOTES.

PLASTERING:
 INTERNAL: TOP COAT PLASTER SHALL BE 13 PARTS SAND AND 1 PART CEMENT LAD TO A MAX. THICKNESS OF 10mm. STRUCK OFF WITH A TAMBER SLEDGE. CONTRACTOR TO PROVIDE A 10mm SAND AND 10mm POLYETHYLENE SHEETING TO BE APPLIED TO ALL EXTERNAL WALLS. EXTERNAL: TOP COAT PLASTER SHALL BE 13 PARTS SAND AND 1 PART CEMENT LAD TO A MAX. THICKNESS OF 10mm. STRUCK OFF WITH A TAMBER SLEDGE. CONTRACTOR TO PROVIDE A 10mm SAND AND 10mm POLYETHYLENE SHEETING TO BE APPLIED TO ALL EXTERNAL WALLS. EXTERNAL: TOP COAT PLASTER SHALL BE 13 PARTS SAND AND 1 PART CEMENT LAD TO A MAX. THICKNESS OF 10mm. STRUCK OFF WITH A TAMBER SLEDGE. CONTRACTOR TO PROVIDE A 10mm SAND AND 10mm POLYETHYLENE SHEETING TO BE APPLIED TO ALL EXTERNAL WALLS.

PAINTING:
 ALL EXTERNAL PAINTS, VARNISHES, ETC. SHALL BE OF AN APPROVED MANUFACTURE AND BE USED IN STRICT COMPLIANCE WITH THE MANUFACTURERS INSTRUCTIONS. INTERNAL & EXTERNAL PAINT SHALL BE TO ARCHITECT'S SPECIFICATION ON WINDOW FRAMES, SURFACES TO COVER, AND SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND PERMITTED FINISHING SCHEDULE.

ELECTRICAL:
 ALL ELECTRICAL INSTALLATION SHALL BE CARRIED OUT STRICTLY IN ACCORDANCE WITH SANS 10400:2012 THE WIRING OF PREMISES. PART W OF THE NBR AND AS PER DRAWINGS. SWITCHES, PLUGS AND LIGHT FITTINGS TO COMPLY WITH LABEL TO ARCHITECT'S SPECIFICATION. ALL WIRING SHALL BE AT 200mm ABOVE FFL TO THE CCL OF THE COVER PLATE UNLESS OTHERWISE SHOWN. ALL LIGHT SWITCHES SHALL BE BUILT IN AT 1500mm ABOVE FFL TO THE CCL OF THE COVER PLATE.

GENERAL:
 SHOW WORKING DETAILS TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH SANS 10400:2012 THE WIRING OF PREMISES. PART W OF THE NBR AND AS PER DRAWINGS. ALL DIMENSIONS TO BE PROVIDED WITH A 30mm TOLERANCE TO THE MIN. HEIGHT OF 150mm. MIN. HEIGHT OF A BALUSTRADE TO BE 1000mm TO COMPLY WITH PART W OF THE NBR.

REVISION No	DATE	DESCRIPTION
B	AUG 2022	ISSUED FOR COSTING

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GENERAL NOTES

ALL WORK TO BE STRICTLY IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE SANS 10400 MINIMUM STANDARDS SPECIFICATIONS (REFER TO DWG NO. 100 SITE PLAN). THE CONTRACTOR, TOGETHER WITH THE LAND SURVEYOR TO SET OUT THE BUILDINGS ON SITE. CONFIRM AND VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS, PLUMBING, DEPTHS OF EXCAVATIONS AND NUMBER OF STAIRS ON SITE. WITH RELEVANT CONSULTANTS (CIVIL ENGINEERS & STRUCTURAL). ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTURAL PROFESSIONAL PRIOR TO THE COMMENCEMENT OF WORK. ONLY FIGURED DIMENSIONS ARE TO BE TAKEN.

ARCHITECT

mpro BUILDING PROJECTS

Tapiwa Mutanda C
 (Professional Senior Architectural Technologist)
 SACAP Registration Number: 1004112064
 Date: Feb 21, Signature: *[Signature]*

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 Phone: 081 217 0283 Cell: 078 744 5979. E-mail: info@mpro-group.co.za
 www.mpro-group.co.za

PROJECT NAME
PROPOSED RESIDENTIAL DEVELOPMENT (AVOCA HEIGHTS) ON ERF 3379 DURBAN NORTH (99 MATHERAN ROAD; AVOCA)

CLIENT NAME
NTABA HOLDINGS c/o K. RAJSAINI & K. RHADA

DRAWING DESCRIPTION
ROOF PLAN AND WINDOW SCHEDULE BLOCK A1, BLOCK A2 AND BLOCK A4

SCALE	DRAWN	DESIGNED
As Indicated	mPro Building Projects	mPro Building Projects

PROJECT No.	DRAWING No.	REVISION No.
3379_DBNNRTH_20	003	B