

BLOCK NAME	FLOORPRINT	BLOCK AREA	NUMBER OF UNITS
BLOCK A1	261.63 sqm	1046.52 sqm	12 units
BLOCK A2	261.632 sqm	1046.52 sqm	12 units
BLOCK A3	249.34 sqm	997.36 sqm	12 units
BLOCK A4	249.34 sqm	997.36 sqm	12 units
BLOCK B1	439.25 sqm	1 757 sqm	20 units
BLOCK C	332.102 sqm	1328.40 sqm	16 units
BLOCK C1	339.84 sqm	1359.36 sqm	16 units
TOTAL	1933.13 sqm	7732.52 sqm	100 units

C	AUGUST 2022	ISSUED FOR APPROVAL
REVISION No	DATE :	DESCRIPTION:
REVISIONS		
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GENERAL NOTES
 ALL WORK TO BE STRICTLY IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE SANS 10400 MINIMUM STANDARDS SPECIFICATIONS REFER TO DWG NO. 100-SITE PLAN.
 THE CONTRACTOR, TOGETHER WITH THE LAND SURVEYOR TO SET OUT THE BUILDINGS ON SITE, CONFIRM AND VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS, PLININGS, DEPTHS OF EXCAVATIONS AND NUMBER OF STEPS ON SITE, WITH RELEVANT CONSULTANTS (CIVIL ENGINEERS & STRUCTURAL). ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTURAL PROFESSIONAL PRIOR TO THE COMMENCEMENT OF WORK, ONLY FIGURED DIMENSIONS ARE TO BE TAKEN.

mPro Building Projects
 Tapiwa Mutanda C
 (Professional Senior Architectural Technologist)
 SACAP Registration Number: 194720669
 Date: 2022/08/10 | Signature: [Signature]

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 The Workspace, 1 Maxwell drive, Sunninghill (Johannesburg) GP
 Phone: 081 217 0283 Cell: 078 744 5979. E-mail: info@mprobuild.co.za
 www.mprobuild.co.za

PROJECT NAME
PROPOSED RESIDENTIAL DEVELOPMENT (AVOCA HEIGHTS) ON ERF 3379, DURBAN NORTH

CLIENT NAME
RAJSAIN & RHADA KALIPERSHAD

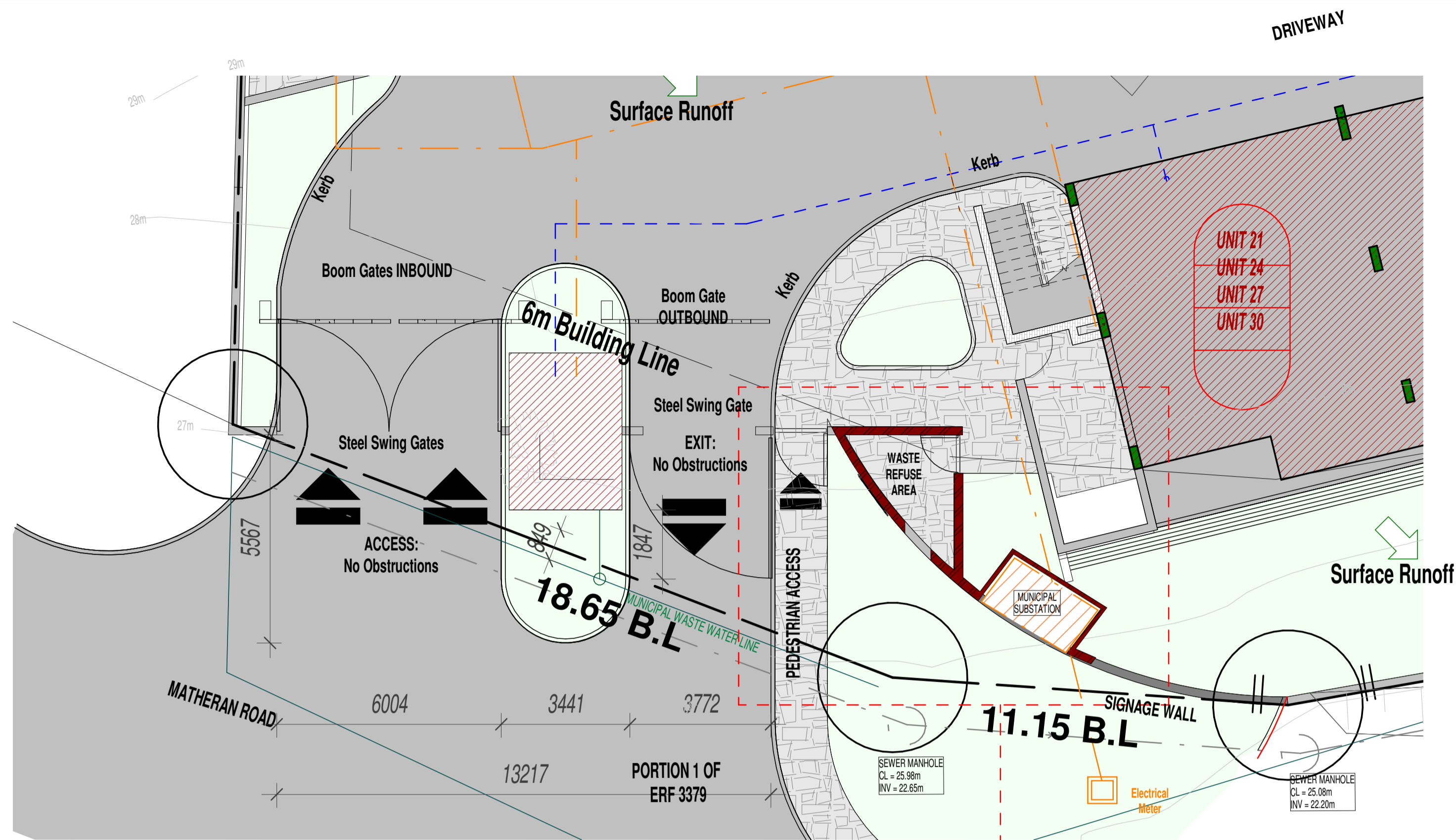
DRAWING DESCRIPTION
SDP PARKING

SCALE	DRAWN	DESIGNED
1 : 150	mPro Building Projects	mPro Building Projects

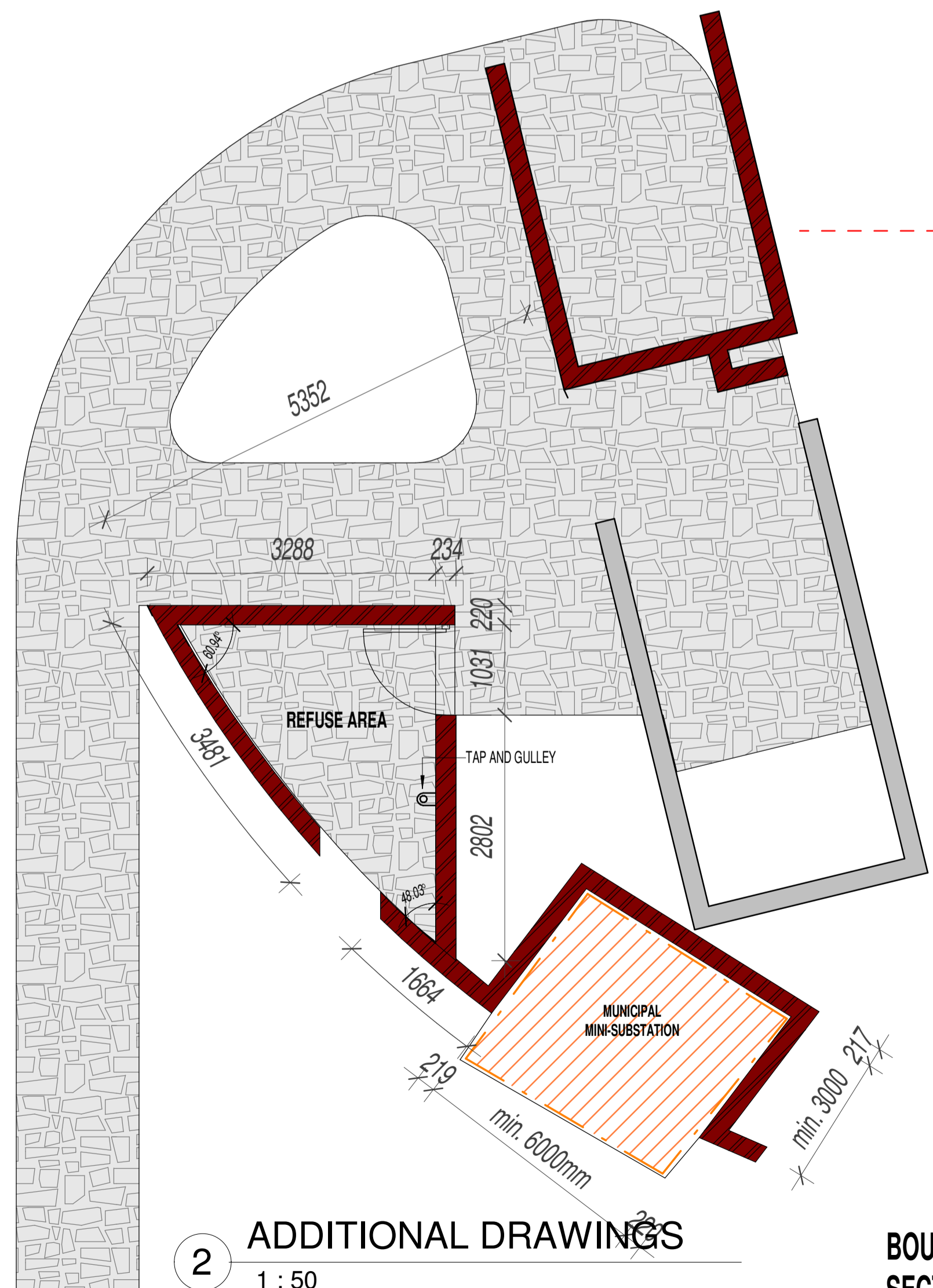
PROJECT No	DRAWING No	REVISION No
AVOCA HEIGHTS	000	C

- 60 LOWER LEVEL PARKING BAYS
- 130 GROUND LEVEL PARKING BAYS
- 10 SHADE NETTING PARKING BAYS

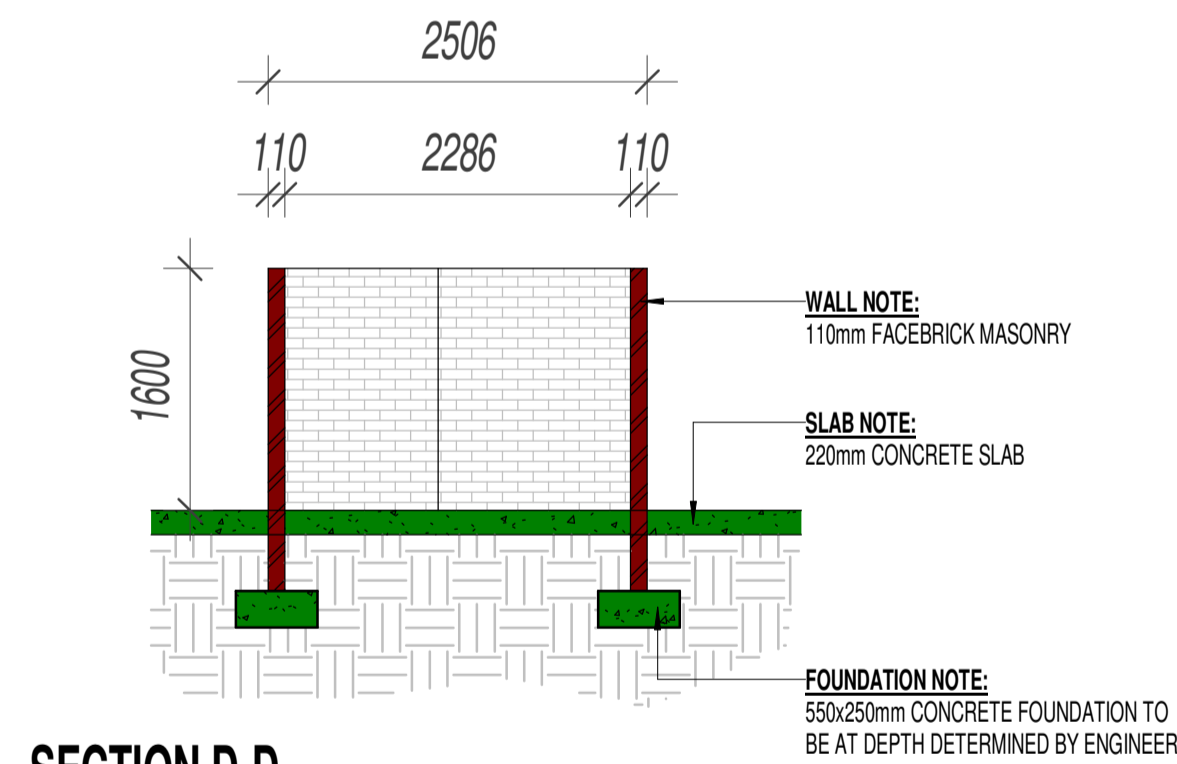
1 SDP PARKING
 1 : 150



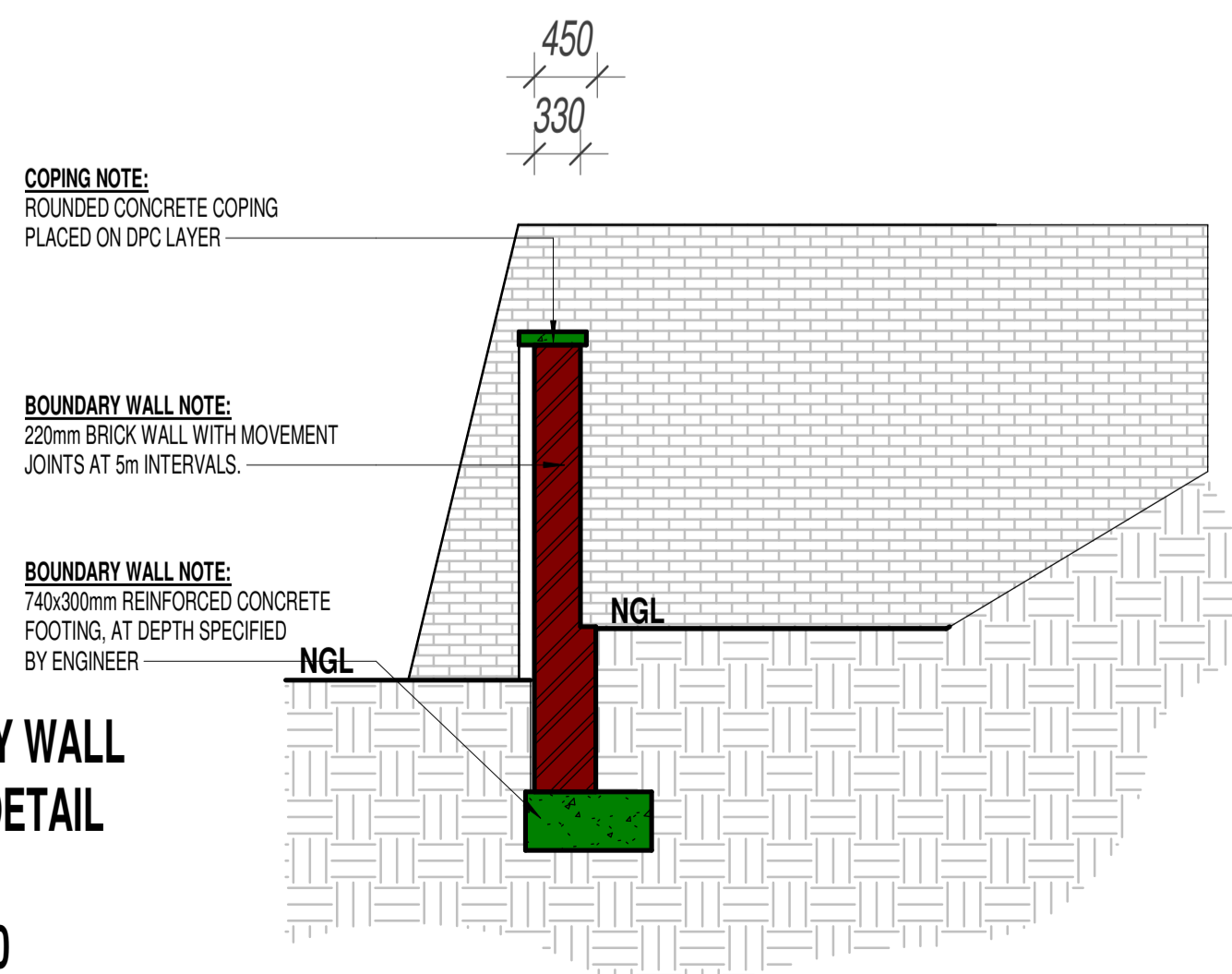
1 FRONT BUILDING WORK
1 : 100



2 ADDITIONAL DRAWINGS
1 : 50



SECTION D-D



BOUNDARY WALL SECTION DETAIL

SCALE 1:50

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AREA SCHEDULE	
SITE AREA	6 033 sqm
AREA OF SINGLE UNIT (INCL. BALCONY)	63 sqm
TOTAL AREA OF UNITS	6 300 sqm
AREA OF W/WAY, STAIRS AND AMENITIES	1 146.27 sqm
TOTAL BUILT AREA	7 179.2 sqm

TOWN PLANNING REG.		
REGULATIONS	PERMISSABLE	ACTUAL
COVERAGE	50%	39.03%
F.A.R.	1.20	1.19
PARKING	150 @ 1,5 bays per unit	216 @ 2,16 bays per unit

- 45 LOWER GROUND LEVEL PARKING BAYS
- 102 UPPER GROUND LEVEL PARKING BAYS
- 21 SHADE NETTING PARKING BAYS
- 63 ADDITIONAL TANDEM PARKING BAYS
- 231 TOTAL PARKING BAYS

REVISION No	DATE :	DESCRIPTION:

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Tapiwa Mutanda C
(Professional Senior Architectural Technologist)
SACAP Registration Number: *PSAT 20664*
Date: *2020/10/01* Signature: *[Signature]*

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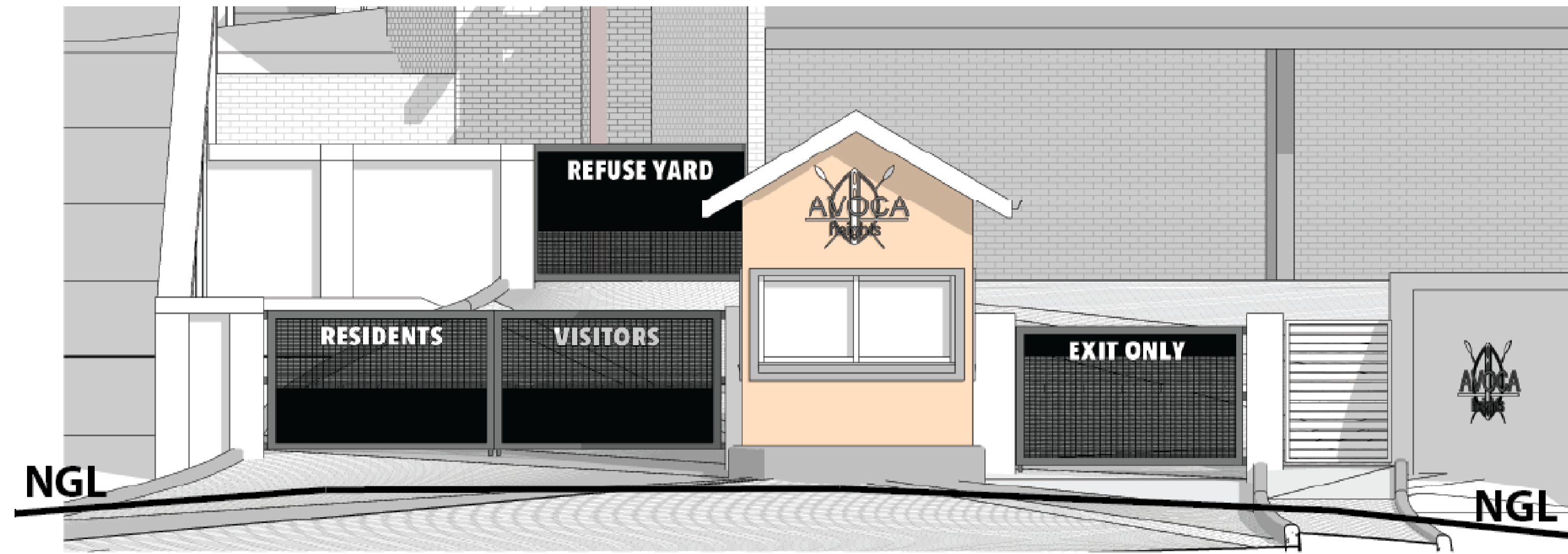
PROJECT NAME
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CLIENT NAME
RAJSAIN & RHADA KALIPERSHAD

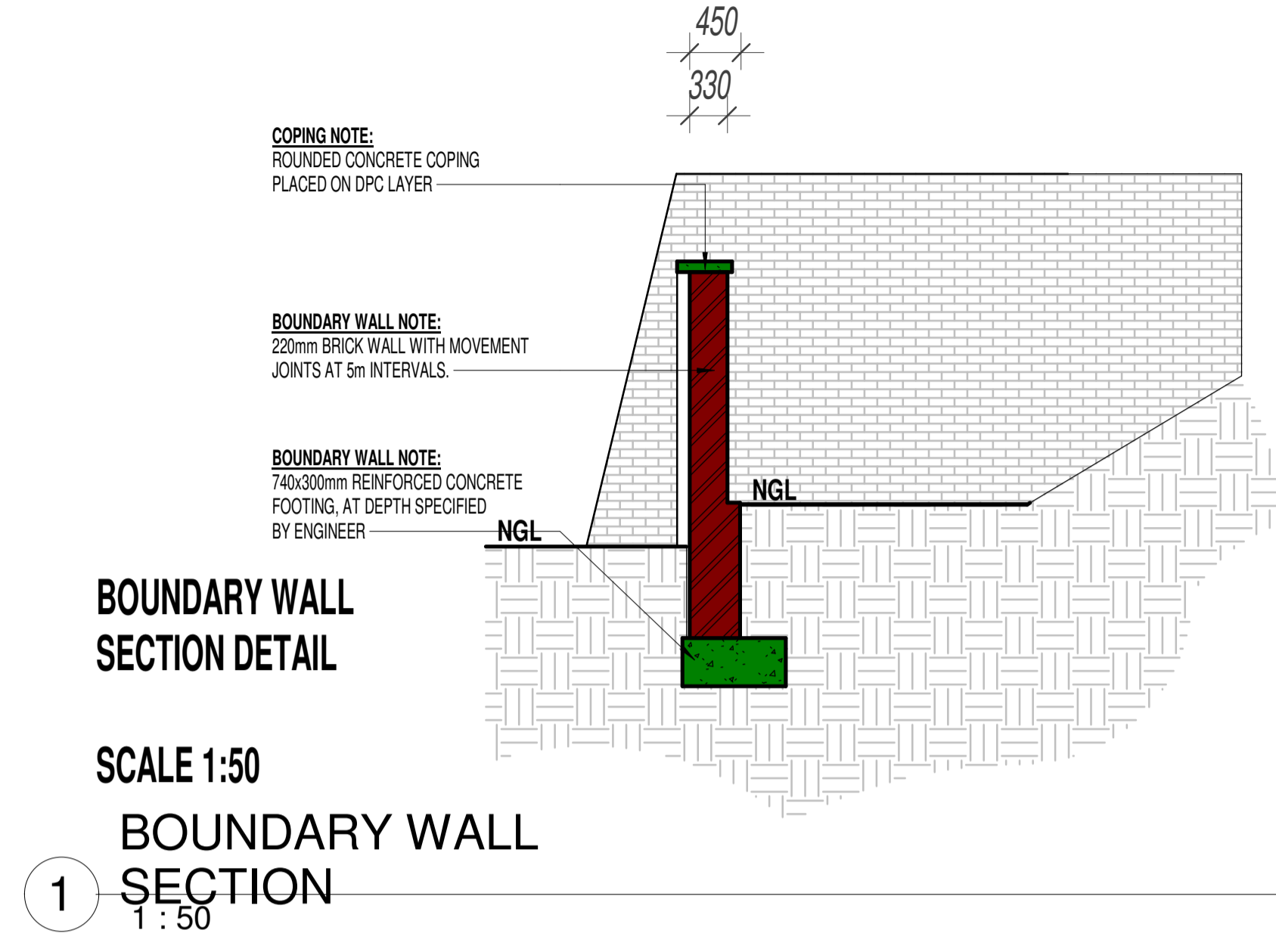
DRAWING DESCRIPTION
FRONT GATE DETAILING

SCALE	DRAWN	DESIGNED
As indicated	Designer	Author

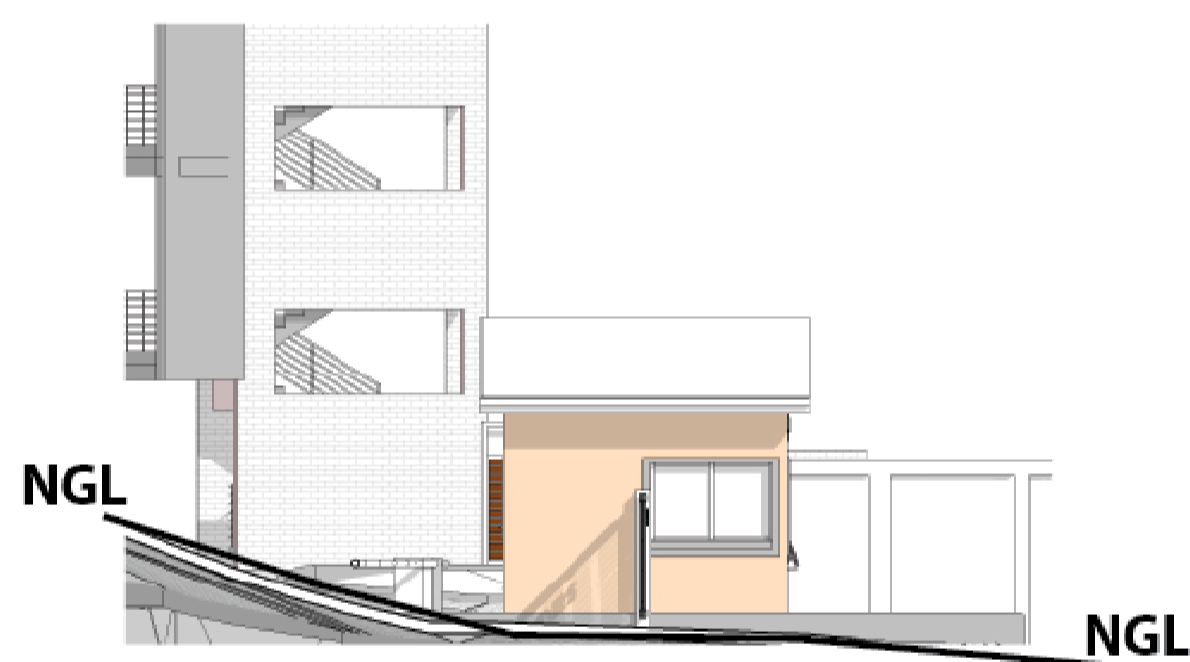
PROJECT No.	DRAWING No.	REVISION No.
AVOCA HEIGHTS	004	



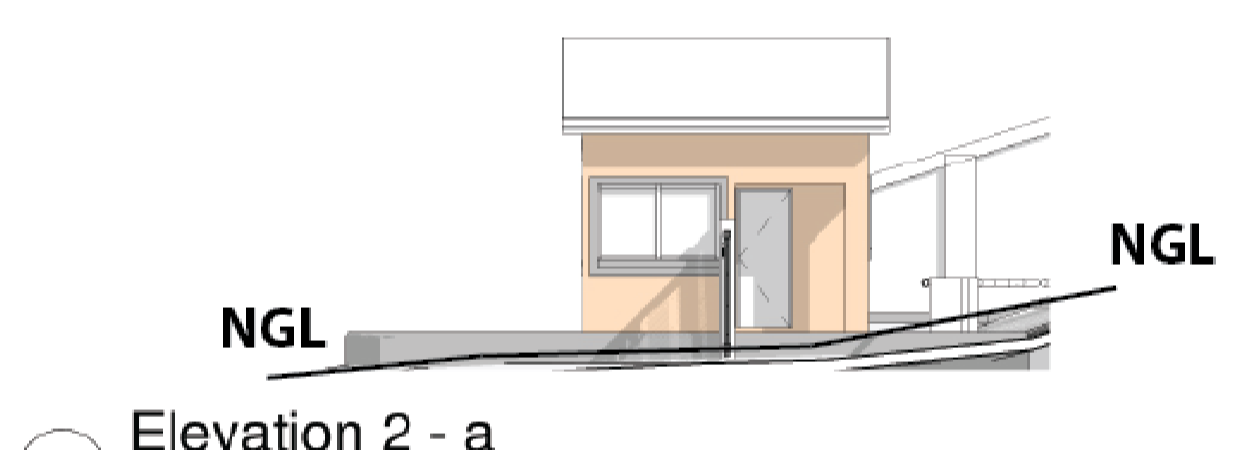
2 Front Guard House Elevation
1 : 50



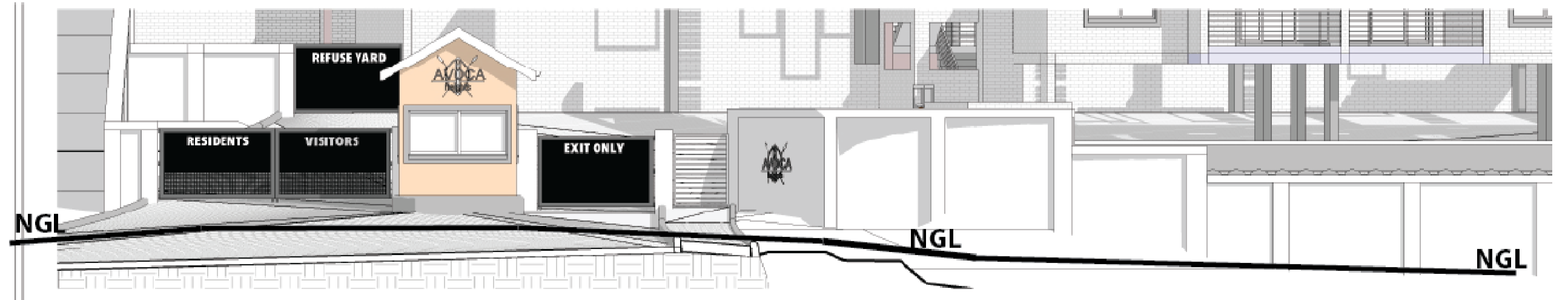
1 BOUNDARY WALL SECTION
SCALE 1:50



3 Elevation 1 - a
1 : 100



4 Elevation 2 - a
1 : 100



5 Boundary Wall Elevation
1 : 100

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- KEY:**
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REVISIONS	REVISION No	DATE :	DESCRIPTION:

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mPro Building Projects
 Tapiwa Mutanda C
 (Professional Senior Architectural Technologist)
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 Date: 20.10.2021 Signature: [Signature]

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CLIENT NAME
RAJSAIN & RHADA KALIPERSHAD

DRAWING DESCRIPTION
GUARD HOUSE ELEVATIONS

SCALE	DRAWN	DESIGNED
1 : 50	Designer	Author
PROJECT No. AVOCA HEIGHTS	DRAWING NO. 007	REVISION NO.