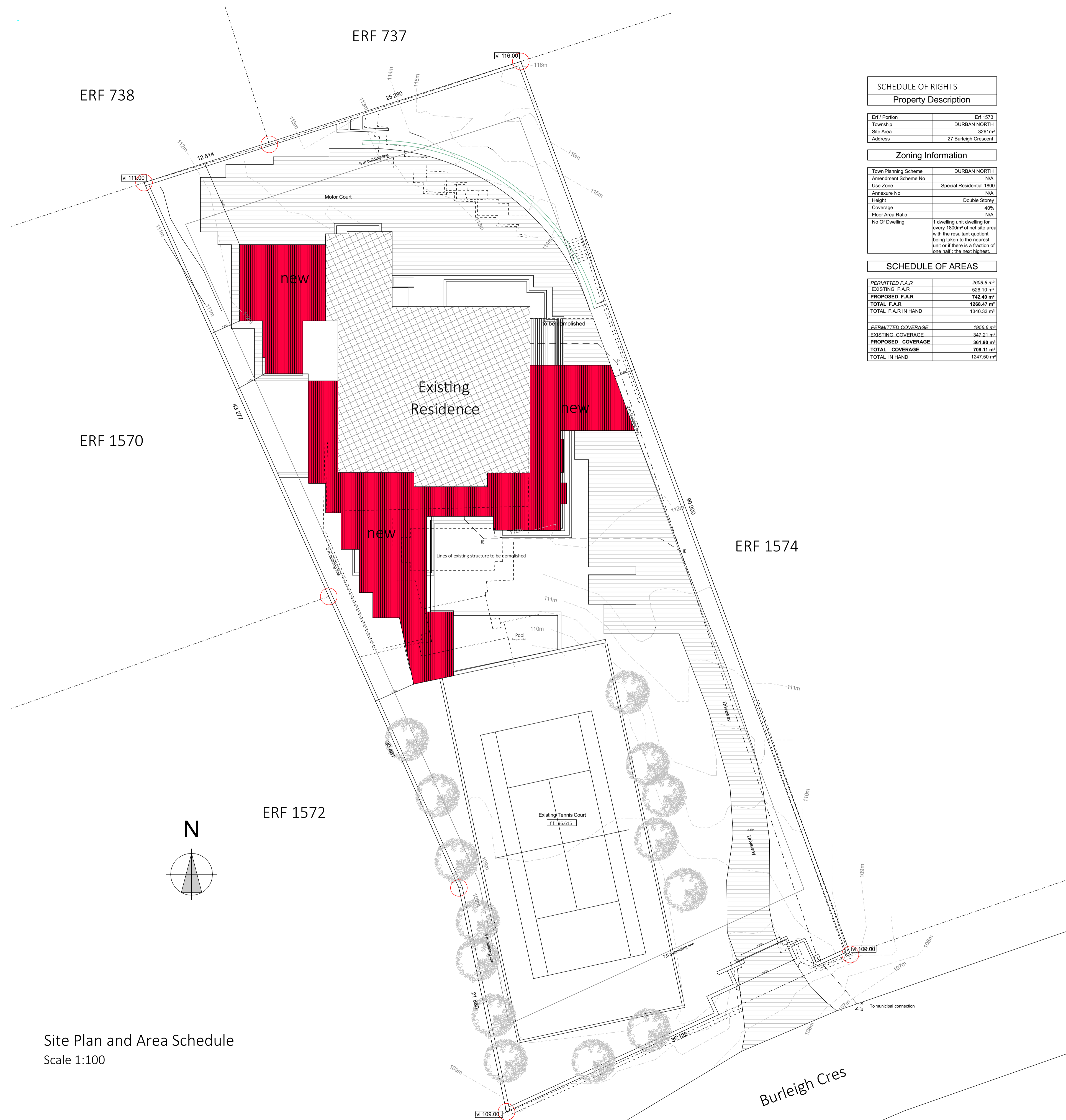


1. All dimensions & levels to be checked on site prior to commencement any work
 2. Any discrepancies to be reported to Architect prior to manufacture or commencement of work
 3. This drawing to be read in conjunction with all relevant Architectural information
 4. The Architect will not be responsible for work manufactured without measurements being taken on site.
 5. Windows + Doors to be manufactured and installed in strict accordance to manufacturer's specification



Site Plan and Area Schedule
 Scale 1:100

SCHEDULE OF RIGHTS
 Property Description

Erf / Portion	Erf 1573
Township	DURBAN NORTH
Site Area	3261m ²
Address	27 Burleigh Crescent

Zoning Information

Town Planning Scheme	DURBAN NORTH
Amendment Scheme No	N/A
Use Zone	Special Residential 1800
Amenity No	N/A
Height	Double Storey
Coverage	40%
Floor Area Ratio	N/A
No Of Dwelling	1 dwelling unit dwelling for every 1500m ² of net site area with the resultant quotient being taken to the nearest unit or if there is a fraction of one half, the next highest.

SCHEDULE OF AREAS

PERMITTED F.A.R	2608.8 m ²
EXISTING F.A.R	526.10 m ²
PROPOSED F.A.R	742.40 m ²
TOTAL F.A.R	1268.47 m ²
TOTAL F.A.R IN HAND	1340.33 m ²
PERMITTED COVERAGE	1956.6 m ²
EXISTING COVERAGE	367.21 m ²
PROPOSED COVERAGE	361.90 m ²
TOTAL COVERAGE	709.11 m ²
TOTAL IN HAND	1247.50 m ²

Client sign:

Note :-
 This drawing to be read in conjunction with Structural Eng's Drawings



Professional Signature:
 SACAP no.: PSAT 57192376

PROJECT DESCRIPTION:
 PROPOSED ADDITIONS & ALTERATIONS TO EXISTING DWELLING ON ERF 1573 DURBAN NORTH for Mr & Mrs Zondo
 ADDRESS:
 27 BURLEIGH CRESCENT

DRAWING TITLE
 SITE PLAN

DATE: MAY 2022	SCALE: AS SHOWN	DRAWN: KS
DRAWING No. 127/001		REVISION 00

ISSUED FOR APPROVAL		
ISSUED FOR INFORMATION		
ISSUED FOR SUBMISSION		
ISSUED FOR TENDER		
ISSUED FOR CONSTRUCTION		