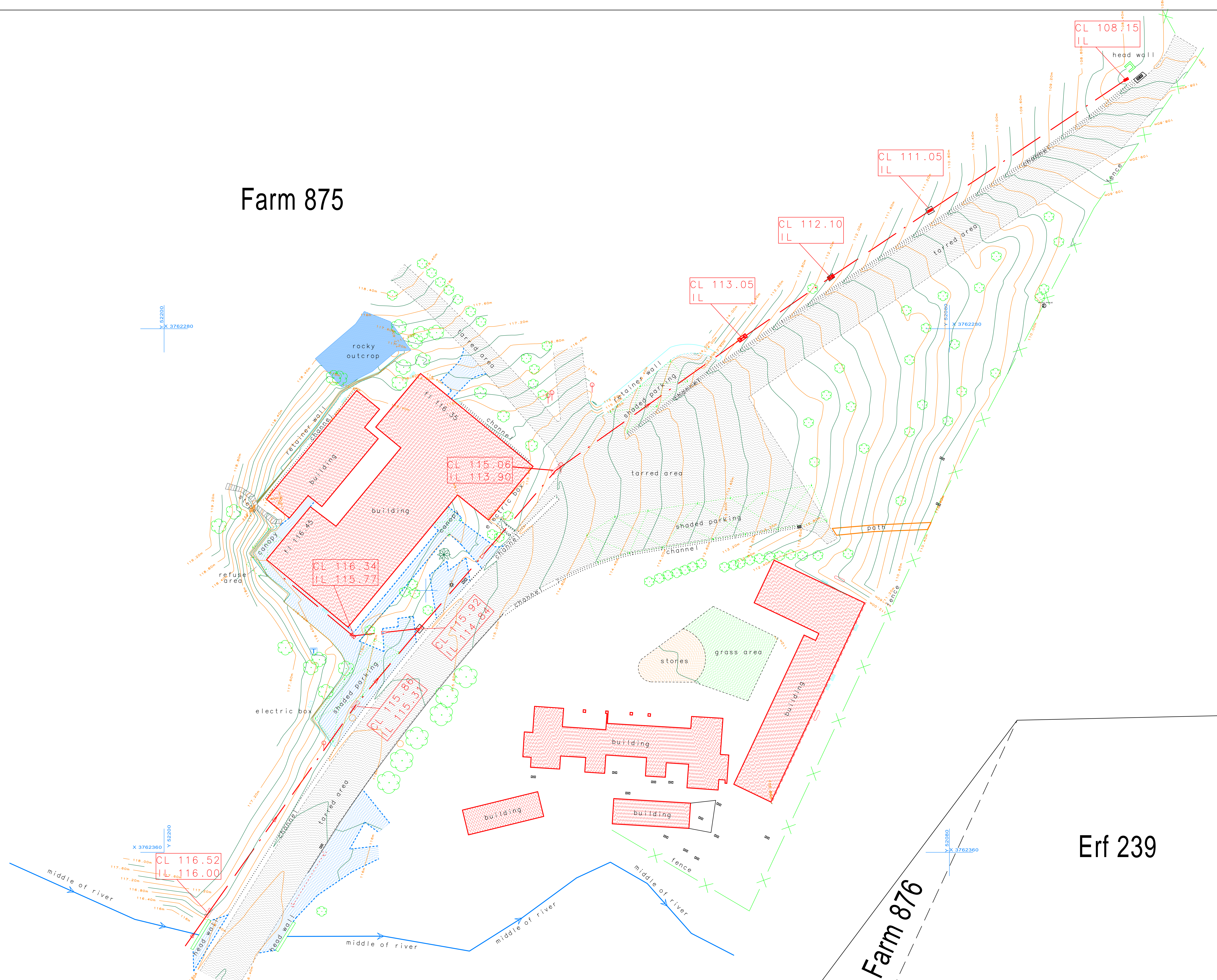
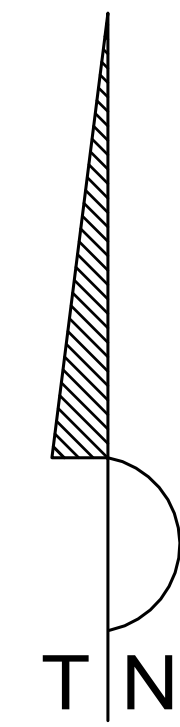


Appendix C: Facility Illustrations

- Existing site layout (April 2014)
- Detailed Development Plans (November 2015)

Farm 875



Erf 239

Farm 876

Amendments:		
No.	Date	Amendment

Notes:
 1. Not all spot heights used to generate the contours are shown on this plan. These spot heights can be supplied in ASCII format.

Legend:	
	Edge of Top
	Top of kerb
	Fence
	Sewer line
	Stormwater
	Brickpaving area
	Compressor
	Draincover
	Sewer draincover
	Lamp Pole
	Aircon unit
	Fire Hydrant
	Grid catch pit
	Double grid catch pit

Project: TOPOGRAPHIC SURVEY
 OVER FARM 875 (KIRSTENBOSCH)

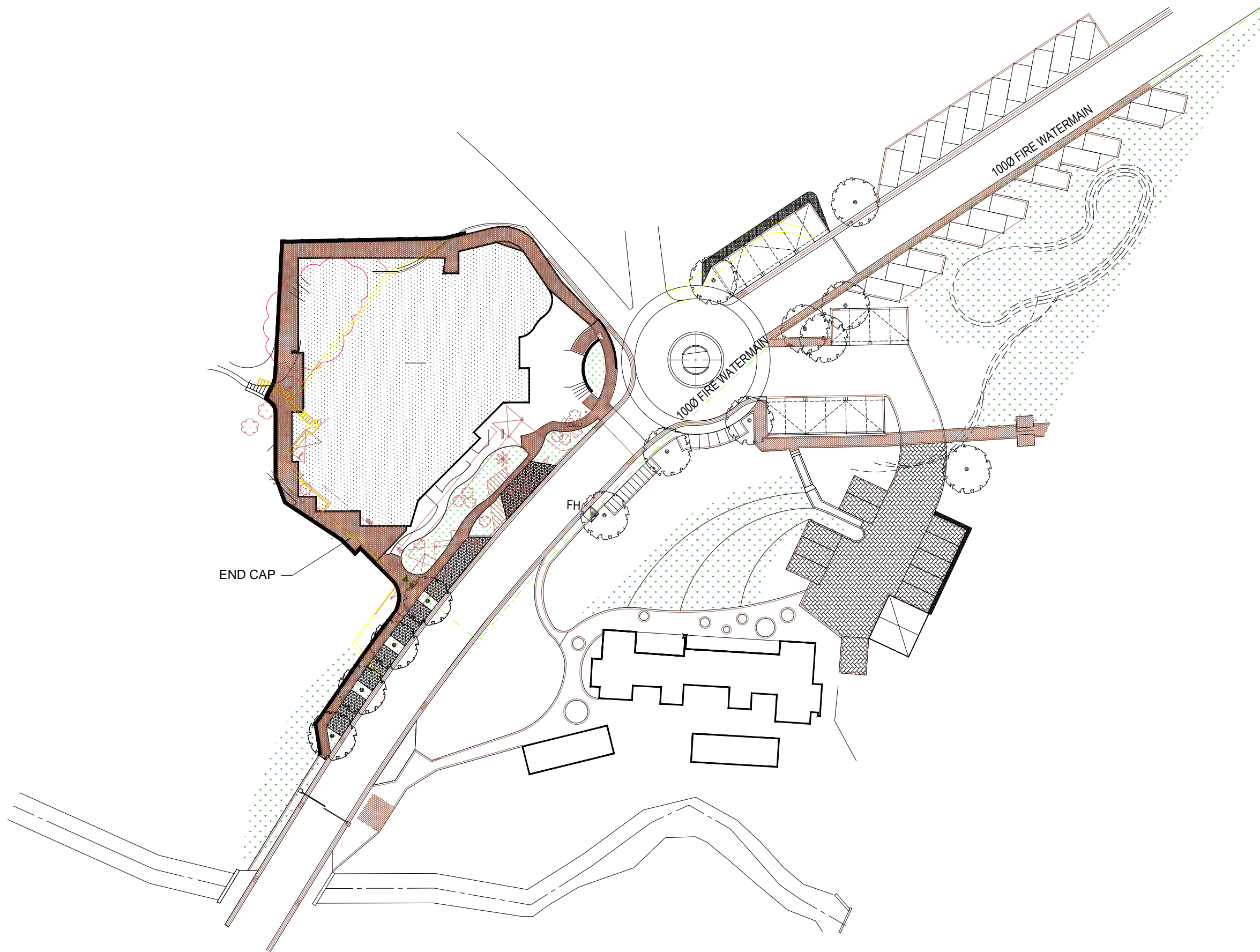
Client: VMA ARCHITECTS (PTY) LTD

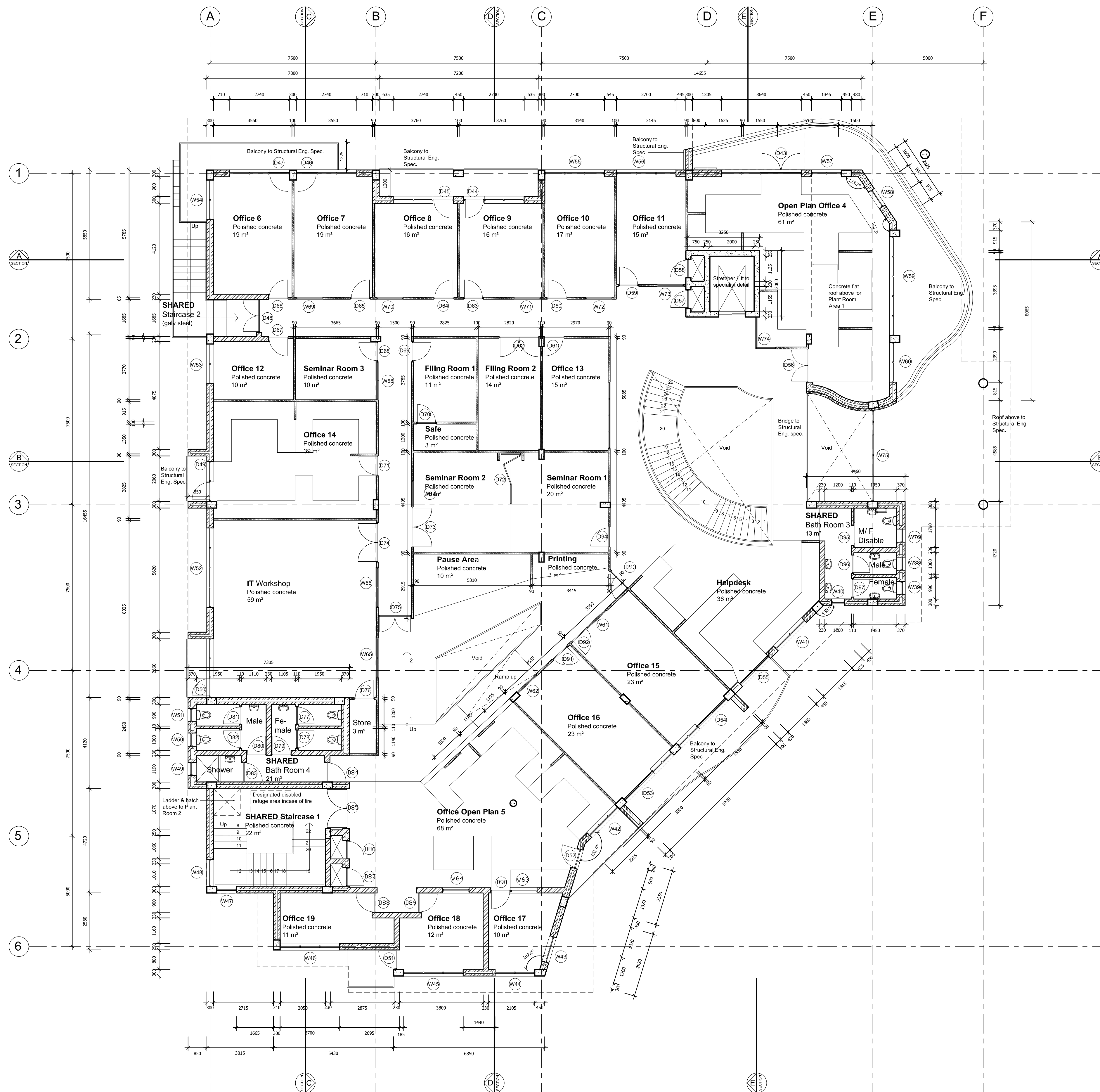
Arvind Bhawan
 Professional Land Surveyors
 Cadastral, Topographical and
 Sectional Title Practitioners

Office No.102 Palace House, 1 Malta Road
 Salt River 7925
 Tel : (021) 447-7286 Fax : (021) 448-1099

SCALE 1/200	
Date :	29/04/2014
Level Datum :	M.S.L
Co-ord System :	Wg 19
Contour Interval :	0,5m
File Ref.:	CJ25A/A
Sheet 1 of 1 Sheet	

LEGEND	
1000 FIRE WATERMAIN	
VALVE	
FIRE HYDRANT	





FIRST STOREY LAYOUT
SCALE 1: 100

FOR TENDER DOCUMENTATION ONLY

GENERAL NOTES

NOTES & SPECIFICATIONS

- GENERAL**
- 1.) All Building, Electrical, and Drainage work to be in strict accordance with **Local Council Authorities** requirements (SANS 10400-A:2010 - Edition 3).
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 - 4.) All structural timber to be **Grade 4 - 8 S.A. Pine**.
 - 5.) All **Damp Proof Membranes** (375Micron) to be stepped with weep holes at 1200 cts, positioned 150mm above paving or **Natural Ground Level**.
 - 6.) Excavate to a depth to provide a **Solid and Uniform** surface for all Foundations. **No concrete footing to project beyond any site boundary.**
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 - 10.) **Ventilation Areas** are min. **5% of Floor area** (SANS 10400-O:2011, edition 3, Part O Regulation).
 - 11.) All Windows and Doors finishes and specifications as per **Window and Door Schedule** documentation.

GENERAL
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ENGINEER REQUIREMENTS
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NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH ENGINEER'S DOCUMENTATION

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EMERGENCY ROUTES
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DIFFERENTLY-ABLED FACILITIES
FACILITIES OF DIFFERENTLY-ABLED PERSONS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE SANS CODE 10400-S:2011 edition 3 PART :S REGULATION (ACCESSIBILITY OF BUILDINGS TO PERSONS) AS INDICATED ON PLAN

REFUSE ROOM
TO BE RENDERED RODENT PROOF IN ACCORDANCE WITH GOVERNMENT RODENT PROOFING REGULATIONS.

REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

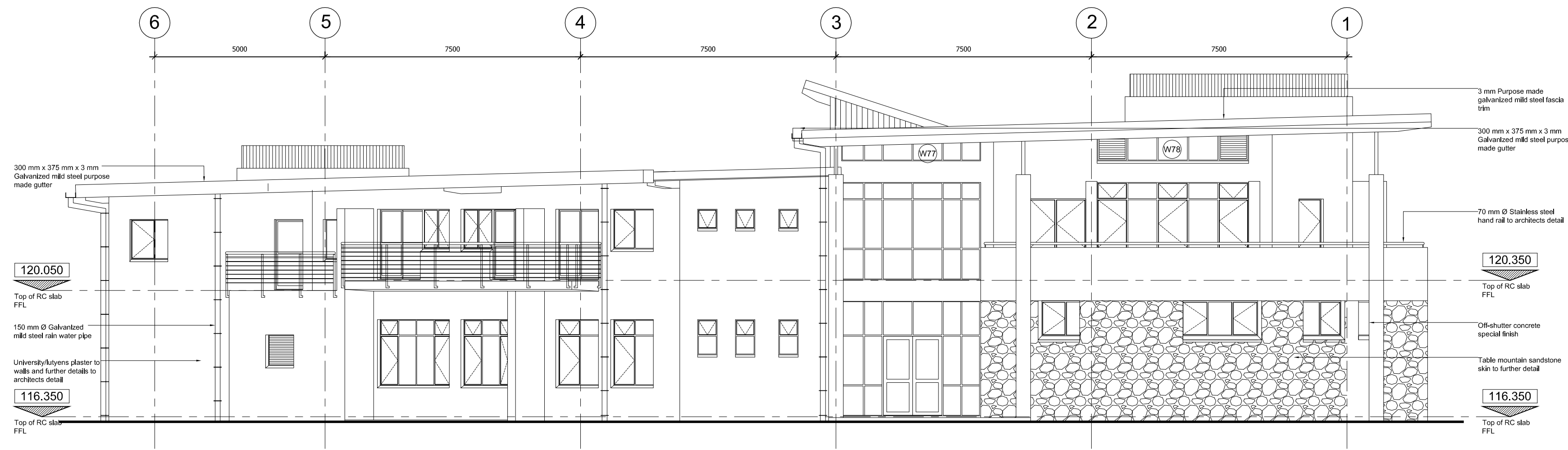
ARCHITECT
OWNER

PROJECT TITLE
**SANBI KIRSTENBOSCH:
PROPOSED NEW ADMINISTRATION
BUILDING, PARKING FACILITY AND
REFURBISHMENT OF FYNBOS
LODGE
PHASE 1**



VMA ARCHITECTS
PRINCIPAL ARCHITECT: VERNON MATHEWS
B.A.S. B.A.R.C.H. (UCT) | M.I.A. - S.A.C.A.P. - P.R.A.R.C.H.7782
66 Long Street, 6th Floor, Cape Town
E-MAIL : vernon@nm1994.com
FAX : 086 551 0156, TEL: 021 426 1930

DRAWING TITLE FIRST STOREY LAYOUT	DATE 04-01-2016
PROJECT NO. G174/ 2013	BY MFD / LA
REVISION	SCALE 1:100 on A1
DRAWING NO. WD 003	SCALE 1:100 on A1



EAST ELEVATION
SCALE 1: 100



WEST ELEVATION
SCALE 1: 100

GENERAL NOTES

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GENERAL
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REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

ARCHITECT

OWNER

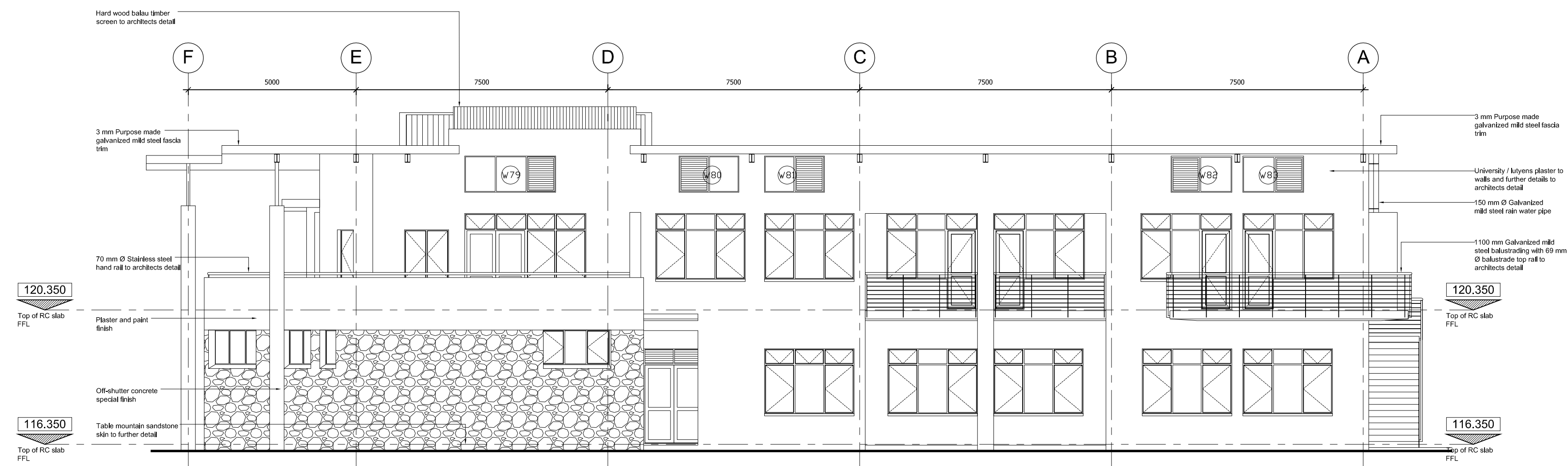
PROJECT TITLE
**SANBI KIRSTENBOSCH:
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BUILDING, PARKING FACILITY AND
REFURBISHMENT OF FYNBOS
LODGE
PHASE 1**



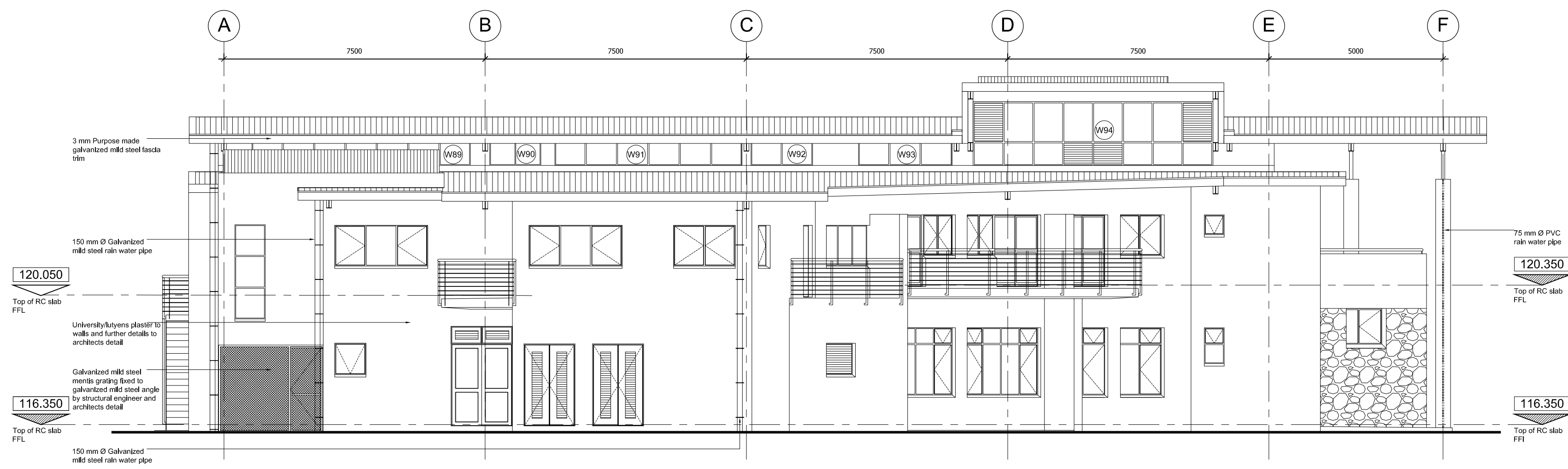
PRINCIPAL ARCHITECT: VERNON MATHEWS
B.A.S. B.ARCH (UCT) | M.A. - S.A.C.A.P. - PR.ARCH.7782
66 Long Street, 6th Floor, Cape Town
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FAX : 086 551 0156, TEL: 021 426 1930

FOR TENDER DOCUMENTATION ONLY

DRAWING TITLE EAST ELEVATION / WEST ELEVATION	DATE 01-04-2016
PROJECT NO. G174/ 2013	BY MFD / LA
DRAWING NO. WD 011	SCALE 1:100 on A1
REVISION	



NORTH ELEVATION
SCALE 1: 100



SOUTH ELEVATION
SCALE 1: 100

GENERAL NOTES

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- EMERGENCY ROUTES**
- ALL EMERGENCY ROUTES SHALL BE CLEARLY INDICATED WITH SIGNAGE & CONFORM TO THE SANS 10400-T: 2011 edition 3 PART : T REGULATION
- DIFFERENTLY-ABLED FACILITIES**
- FACILITIES OF DIFFERENTLY-ABLED PERSONS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE SANS CODE 10400-S:2011 edition 3 PART :S REGULATION (ACCESSIBILITY OF BUILDINGS TO PERSONS) AS INDICATED ON PLAN
- REFUSE ROOM**
- TO BE RENDERED RODENT PROOF IN ACCORDANCE WITH GOVERNMENT RODENT PROOFING REGULATIONS.

REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

ARCHITECT

OWNER

PROJECT TITLE

**SANBI KIRSTENBOSCH:
PROPOSED NEW ADMINISTRATION
BUILDING, PARKING FACILITY AND
REFURBISHMENT OF FYNBOS
LODGE
PHASE 1**

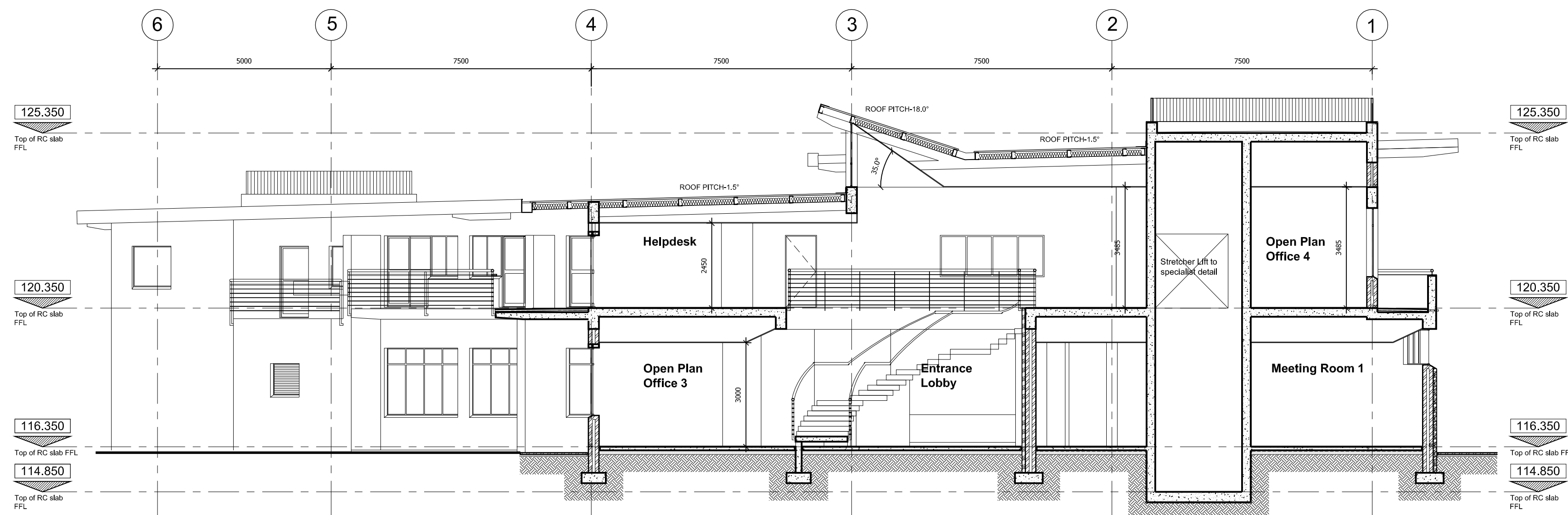


VMA ARCHITECTS

PRINCIPAL ARCHITECT: VERNON MATHEWS
B.A.S. B.A.R.C.H. (UCT) | M.J.A. - S.A.C.A.P. - P.R.A.R.C.H. 7782
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FAX : 086 551 0156, TEL: 021 426 1930

FOR TENDER DOCUMENTATION ONLY

DRAWING TITLE	DATE	BY
NORTH ELEVATION	01-04-2016	MFD / LA
SOUTH ELEVATION		
PROJECT NO.	DRAWING NO.	SCALE
G174/2013	WD 010	1:100 on A1
REVISION		



SECTION E-E
SCALE 1: 100

GENERAL NOTES

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REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

ARCHITECT

OWNER

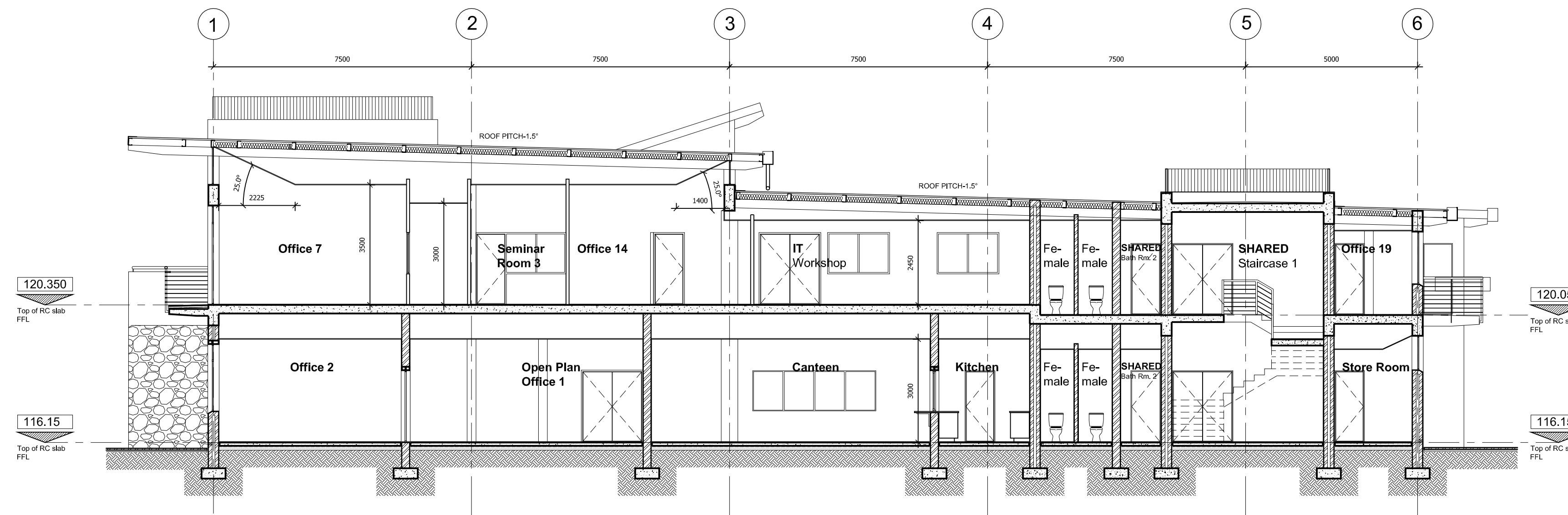
PROJECT TITLE
SANBI KIRSTENBOSCH:
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LODGE
PHASE 1



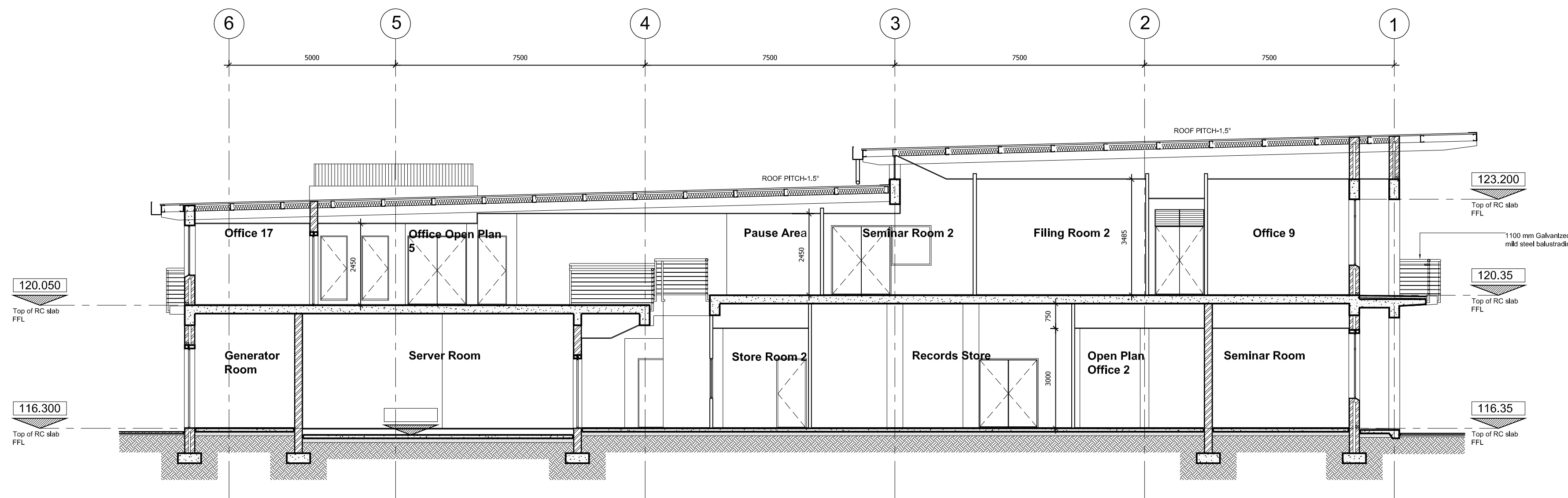
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DRAWING TITLE SECTION E-E	DATE 01-04-2016
PROJECT NO. G174/ 2013	BY MFD / LA
DRAWING NO. WD 009	SCALE 1:100 on A1
REVISION	

FOR TENDER DOCUMENTATION ONLY



SECTION C-C
SCALE 1: 100



SECTION D-D
SCALE 1: 100

GENERAL NOTES

- NOTES & SPECIFICATIONS**
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REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

ARCHITECT

OWNER

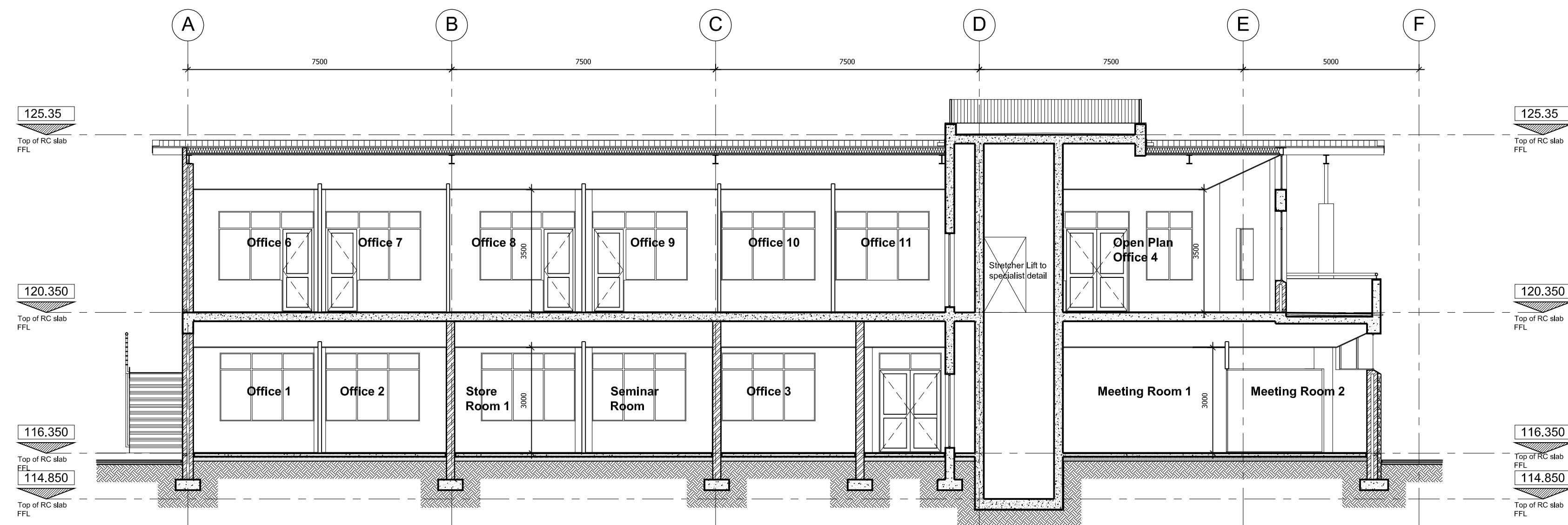
PROJECT TITLE
**SANBI KIRSTENBOSCH:
PROPOSED NEW ADMINISTRATION
BUILDING, PARKING FACILITY AND
REFURBISHMENT OF FYNBOS
LODGE
PHASE 1**



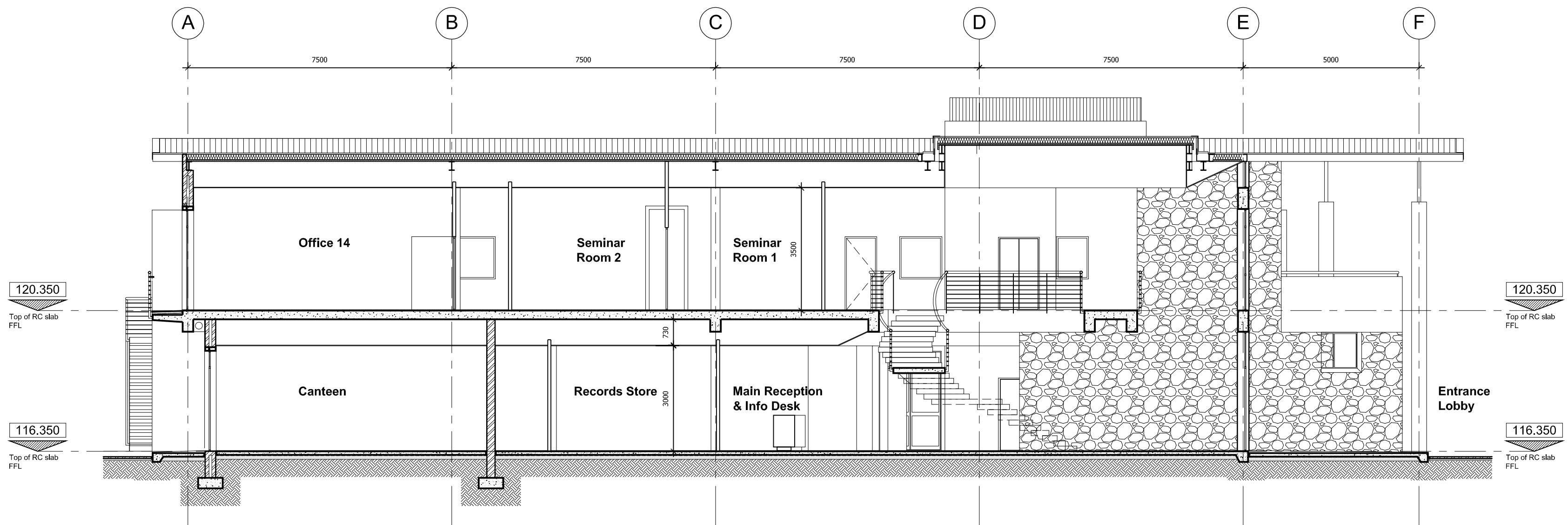
VMA ARCHITECTS
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DRAWING TITLE SECTION C-C / SECTION D-D	DATE 01-04-2016
PROJECT NO. G174/ 2013	BY MFD / LA
DRAWING NO. WD 008	SCALE 1:100 on A1
REVISION	

FOR TENDER DOCUMENTATION ONLY



SECTION A-A
SCALE 1: 100



SECTION B-B
SCALE 1: 100

GENERAL NOTES

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- EMERGENCY ROUTES**
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- REFUSE ROOM**
- TO BE RENDERED RODENT PROOF IN ACCORDANCE WITH GOVERNMENT RODENT PROOFING REGULATIONS.

REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

ARCHITECT

OWNER

PROJECT TITLE

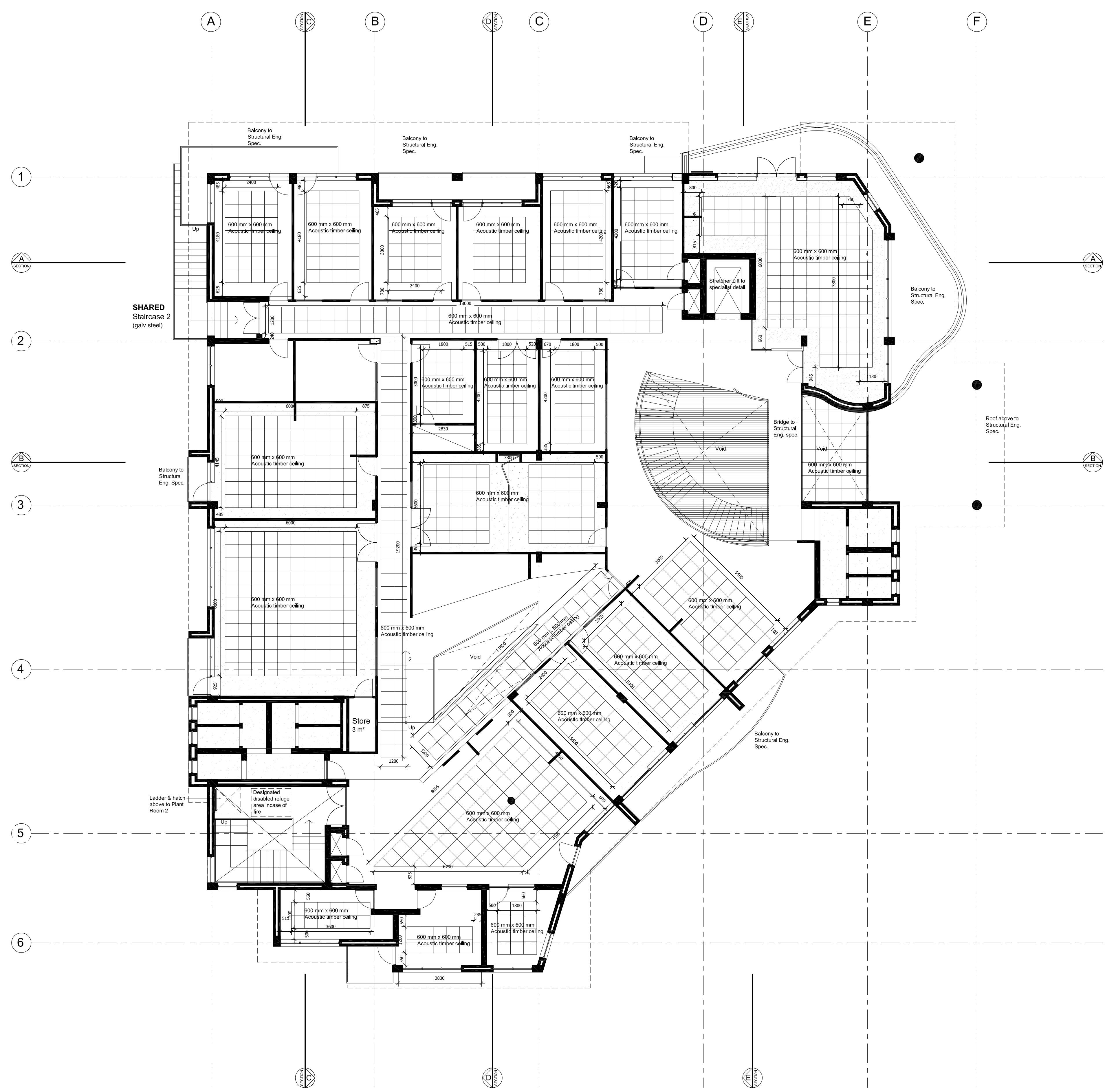
**SANBI KIRSTENBOSCH:
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66 Long Street, 6th Floor, Cape Town
E-MAIL : vernon@nm1994.com
FAX : 086 551 0156, TEL: 021 426 1930

DRAWING TITLE	DATE
SECTION A-A / SECTION B-B	01-04-2016
BY	MFD
PROJECT NO.	DRAWING NO.
G174/ 2013	WD 007
SCALE	1:100 on A1
REVISION	

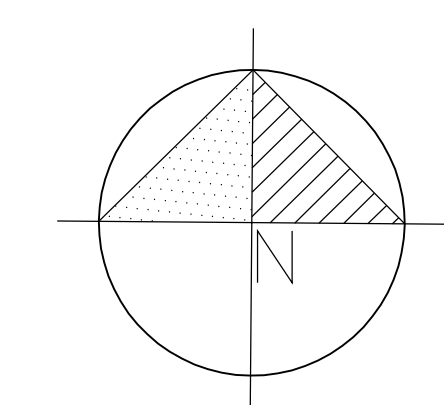
FOR TENDER DOCUMENTATION ONLY



ACOUSTIC CEILING SPECIFICATION

600 X 600 ACOUSTIC TIMBER PANEL
 PERFORATION : 13.8 / 2.2
 CORE MATERIAL: MDF
 SURFACE: SAFELE

BY: ACOUSTIC SOLUTIONS



FIRST STOREY CEILING LAYOUT
 SCALE 1: 100

FOR TENDER DOCUMENTATION ONLY

GENERAL NOTES

- NOTES & SPECIFICATIONS**
- GENERAL**
- 1.) All Building, Electrical, and Drainage work to be in strict accordance with **Local Council Authorities** requirements (SANS 10400-A:2010 - Edition 3).
 - 2.) All Dimensions and Levels to be checked on site before commencement of any construction.
 - 3.) All openings less than 3000mm to have **PC IDE Lintols** over and min. of **Four courses of Brick force** laid above lintols to manufacturers specifications.
 - 4.) All structural timber to be **Grade 4 - 8 S.A. Pine**.
 - 5.) All **Damp Proof Membranes (375Micron)** to be stepped with weep holes at 1200 cts, positioned 150mm above paving or **Natural Ground Level**.
 - 6.) Excavate to a depth to provide a **Solid and Uniform** surface for all Foundations. **No concrete footing to project beyond any site boundary.**
 - 7.) All **External Openings** to have **Vertical Damp Proof Courses (250Micron)** around openings.
 - 8.) All **Glazing** greater than 1m² and less than 300mm above Floor Level to be fitted with **SABS Safety Glazing** (min. 6mm) as per SANS 10400-N:2010 (edition 3), Part N Regulation.
 - 9.) **Light Areas** to be min. 10% of Floor Area (SANS 10400-O:2011 edition 3, Part O Regulation).
 - 10.) **Ventilation Areas** are min. 5% of Floor area (SANS 10400-O:2011, edition 3, Part O Regulation).
 - 11.) All Windows and Doors finishes and specifications as per **Window and Door Schedule** documentation.

GENERAL

ALL DIMENSIONS & LEVELS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK AND ANY DISCREPANCIES/CHANGES TO BE REPORTED IMMEDIATELY TO THE ARCHITECTURAL CONSULTANTS.

ENGINEER REQUIREMENTS

ALL EXCAVATIONS, ENGINEERED FILL, FOUNDATIONS, RC BASES, RC BEAMS, RC COLUMNS, RC FLOOR SLABS, RC FRAME STRUCTURES, ROOF STRUCTURES AND RELATED DETAILS REFER TO STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS.

NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH ENGINEER'S DOCUMENTATION

FIRE EXTINGUISHERS / HOSE REELS

ALL FIRE EMERGENCY EQUIPMENT SHALL BE CLEARLY INDICATED WITH SABS APPROVED SIGNAGE & CONFORM TO THE SANS 10400-T: 2011 edition 3 PART : T REGULATION

EMERGENCY ROUTES

ALL EMERGENCY ROUTES SHALL BE CLEARLY INDICATED WITH SIGNAGE & CONFORM TO THE SANS 10400-T: 2011 edition 3 PART : T REGULATION

DIFFERENTLY-ABLED FACILITIES

FACILITIES OF DIFFERENTLY-ABLED PERSONS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE SANS CODE 10400-S:2011 edition 3 PART : S REGULATION (ACCESSIBILITY OF BUILDINGS TO PERSONS) AS INDICATED ON PLAN

REFUSE ROOM

TO BE RENDERED RODENT PROOF IN ACCORDANCE WITH GOVERNMENT RODENT PROOFING REGULATIONS.

REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

ARCHITECT:

OWNER:

PROJECT TITLE

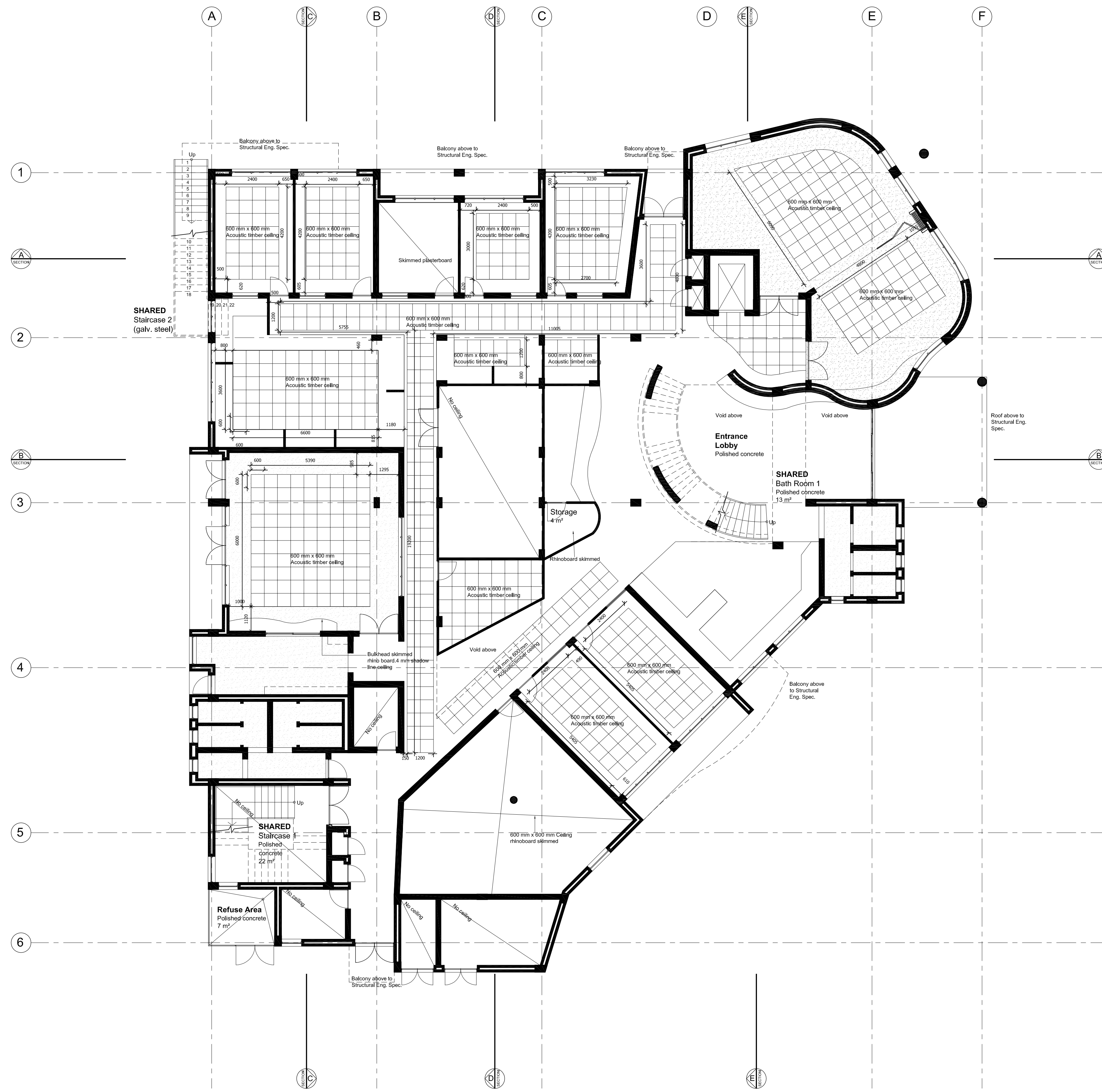
**SANBI KIRSTENBOSCH:
 PROPOSED NEW ADMINISTRATION
 BUILDING, PARKING FACILITY AND
 REFURBISHMENT OF FYNBOS
 LODGE
 PHASE 1**



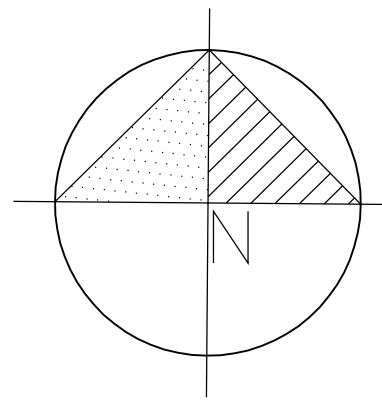
VMA ARCHITECTS

PRINCIPAL ARCHITECT: VERNON MATHEWS
 B.A.S. B.A.R.C.H. (UCT) / M.L.A. - S.A.C.A.P. - P.R.A.R.C.H. 7782
 66 Long Street, 6th Floor, Cape Town
 E-MAIL : vernon@nm1994.com
 FAX : 086 551 0156, TEL: 021 426 1930

DRAWING TITLE	DATE
FIRST STOREY CEILING LAYOUT	04-01-2016
BY	MFD / LA
PROJECT NO.	SCALE
G174/ 2013	1:100 on A1
DRAWING NO.	REVISION
WD 006	



ACOUSTIC CEILING SPECIFICATION
 600 X 600 ACOUSTIC TIMBER PANEL
 PERFORATION : 13.8 / 2.2
 CORE MATERIAL : MDF
 SURFACE : SAPELE
 BY: ACOUSTIC SOLUTIONS



GROUND STOREY CEILING PLAN
 SCALE 1: 100

FOR TENDER DOCUMENTATION ONLY

GENERAL NOTES

- NOTES & SPECIFICATIONS**
GENERAL
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 5.) All Damp Proof Membranes (375Micron) to be stepped with weep holes at 1200 cts, positioned 150mm above paving or Natural Ground Level.
 6.) Excavate to a depth to provide a Solid and Uniform surface for all Foundations. No concrete footing to project beyond any site boundary.
 7.) All External Openings to have Vertical Damp Proof Courses (250Micron) around openings.
 8.) All Glazing greater than 1m² and less than 300mm above Floor Level to be fitted with SABS Safety Glazing (min. 6mm) as per SANS 10400-N:2010 (edition 3), Part N Regulation.
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 11.) All Windows and Doors finishes and specifications as per Window and Door Schedule documentation.

GENERAL
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REFUSE ROOM
 TO BE RENDERED RODENT PROOF IN ACCORDANCE WITH GOVERNMENT RODENT PROOFING REGULATIONS.

REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

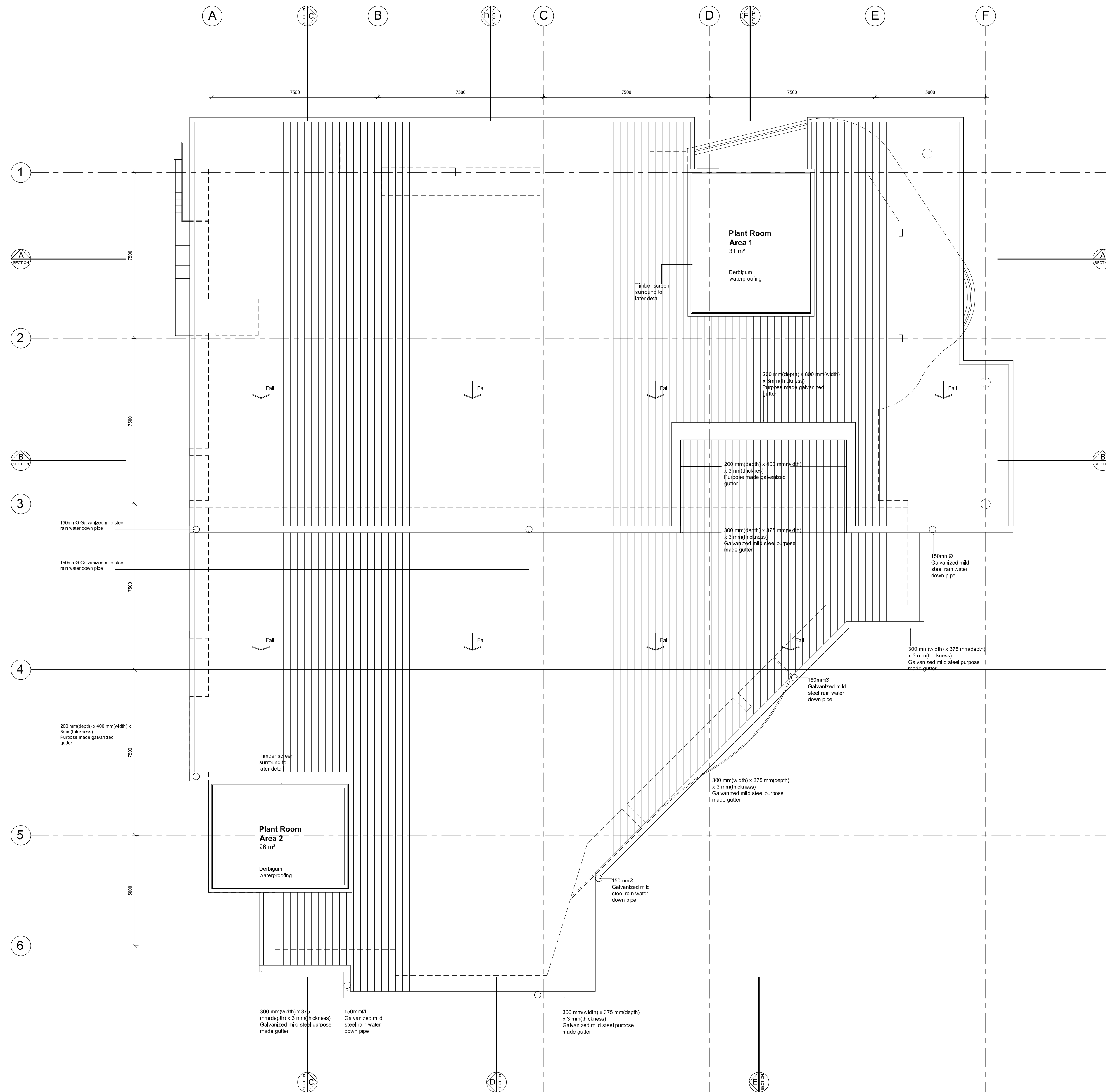
ARCHITECT
 OWNER

PROJECT TITLE
**SANBI KIRSTENBOSCH:
 PROPOSED NEW ADMINISTRATION
 BUILDING, PARKING FACILITY AND
 REFURBISHMENT OF FYNBOS
 LODGE
 PHASE 1**



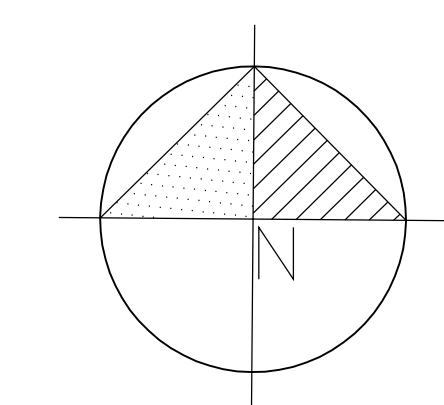
VMA ARCHITECTS
 PRINCIPAL ARCHITECT: VERNON MATHEWS
 B.A.S. B.ARCH (UCT) M.I.A. - S.A.C.A.P. - PR.ARCH.17782
 66 Long Street, 6th Floor, Cape Town
 E-MAIL : vermon@nm1994.com
 FAX : 086 551 0156, TEL: 021 426 1930

DRAWING TITLE GROUND FLOOR STOREY CEILING LAYOUT	DATE 04-01-2016
PROJECT NO. G174/ 2013	BY MFD / LA
DRAWING NO. WD 005	SCALE 1:100 on A1
REVISION	



ROOF PLAN
SCALE 1: 100

FOR TENDER DOCUMENTATION ONLY



GENERAL NOTES

- NOTES & SPECIFICATIONS**
- GENERAL**
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REVISION NOTES

REV.	DATE.	BY.	DESCRIPTION

ARCHITECT

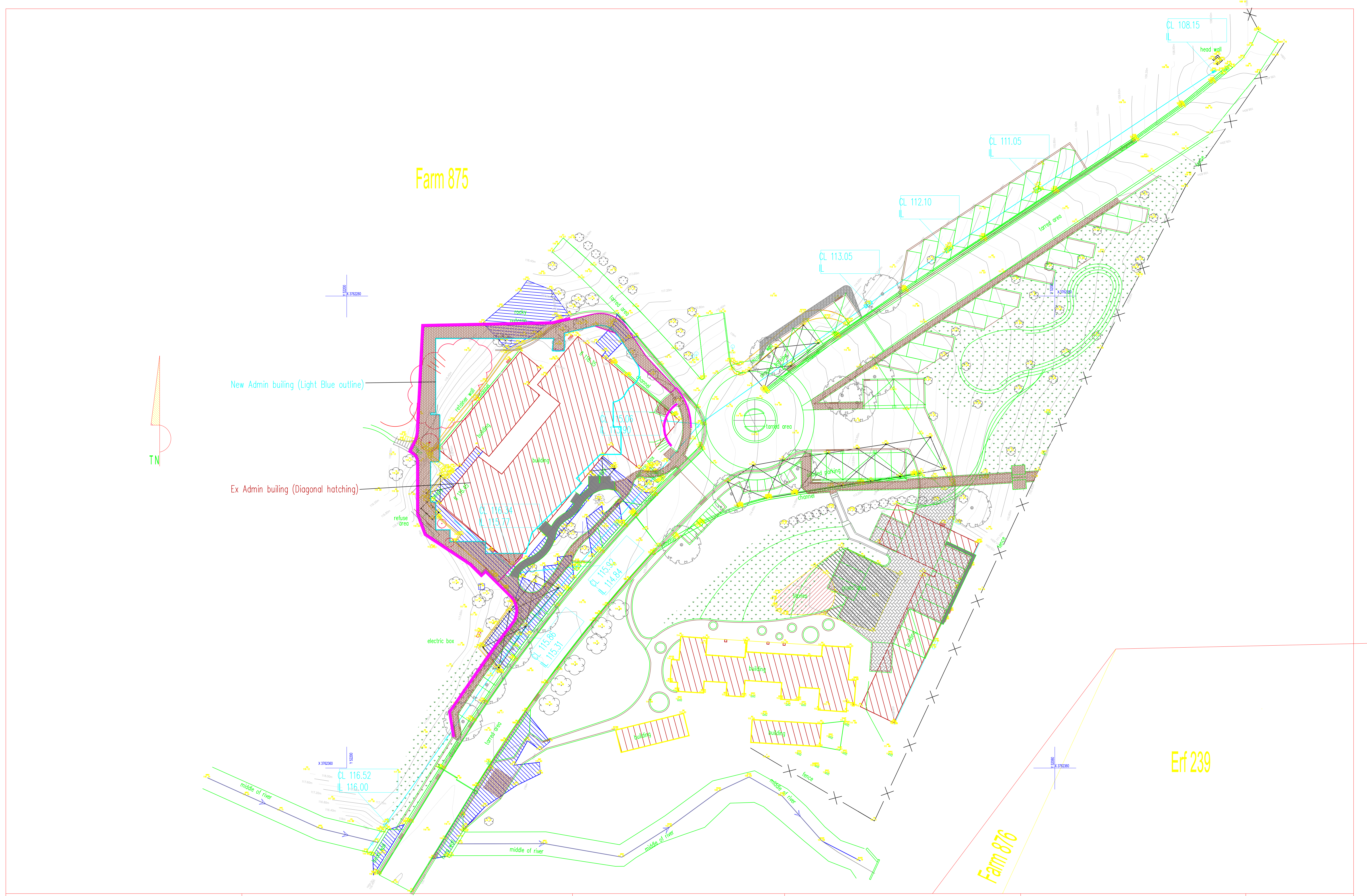
OWNER

PROJECT TITLE
**SANBI KIRSTENBOSCH:
PROPOSED NEW ADMINISTRATION
BUILDING, PARKING FACILITY AND
REFURBISHMENT OF FYNBOS
LODGE
PHASE 1**



VMA ARCHITECTS
PRINCIPAL ARCHITECT: VERNON MATHEWS
B.A.S. B.ARCH (UCT) | M.A. - S.A.C.A.P - PR.ARCH.7782
66 Long Street, 6th Floor, Cape Town
E-MAIL : vernon@nm1994.com
FAX : 086 551 0156, TEL: 021 426 1930

DRAWING TITLE ROOF PLAN	DATE 04-01-2016
PROJECT NO. G174/ 2013	BY MFD / LA
DRAWING NO. WD 004	SCALE 1:100 on A1
REVISION	



Amendments:		
No.	Date	Amendment

Notes:
 1. Not all spot heights used to generate the contours are shown on this plan. These spot heights can be supplied in ASCII format

Legend:	
	Edge of Top
	Top of kerb
	Fence
	Sewer line
	Stormwater
	Brickpaving area
	Compressor
	Draincover
	Sewer draincover
	Lamp Pole
	Aircon unit
	Fire Hydrant
	Old catch pit
	Double grid catch pit

Project:
 TOPOGRAPHIC SURVEY
 OVER FARM 875 (KIRSTENBOSCH)

Client:
 VMA ARCHITECTS (PTY) LTD

Arvind Bhawan
 Professional Land Surveyors
 Cadastral, Topographical and
 Sectional Title Practitioners

Office No.102 Palace House, 1 Malta Road
 Salt River 7925

Tel : (021) 447-7286 Fax : (021) 448-1099

SCALE 1/200
 Date : 29/04/2014
 Level Datum : M.S.L
 Co-ord System : Wg 19
 Contour Interval : 0,5m

File Ref: C.25A/A
 Sheet 1 of 1 Sheet