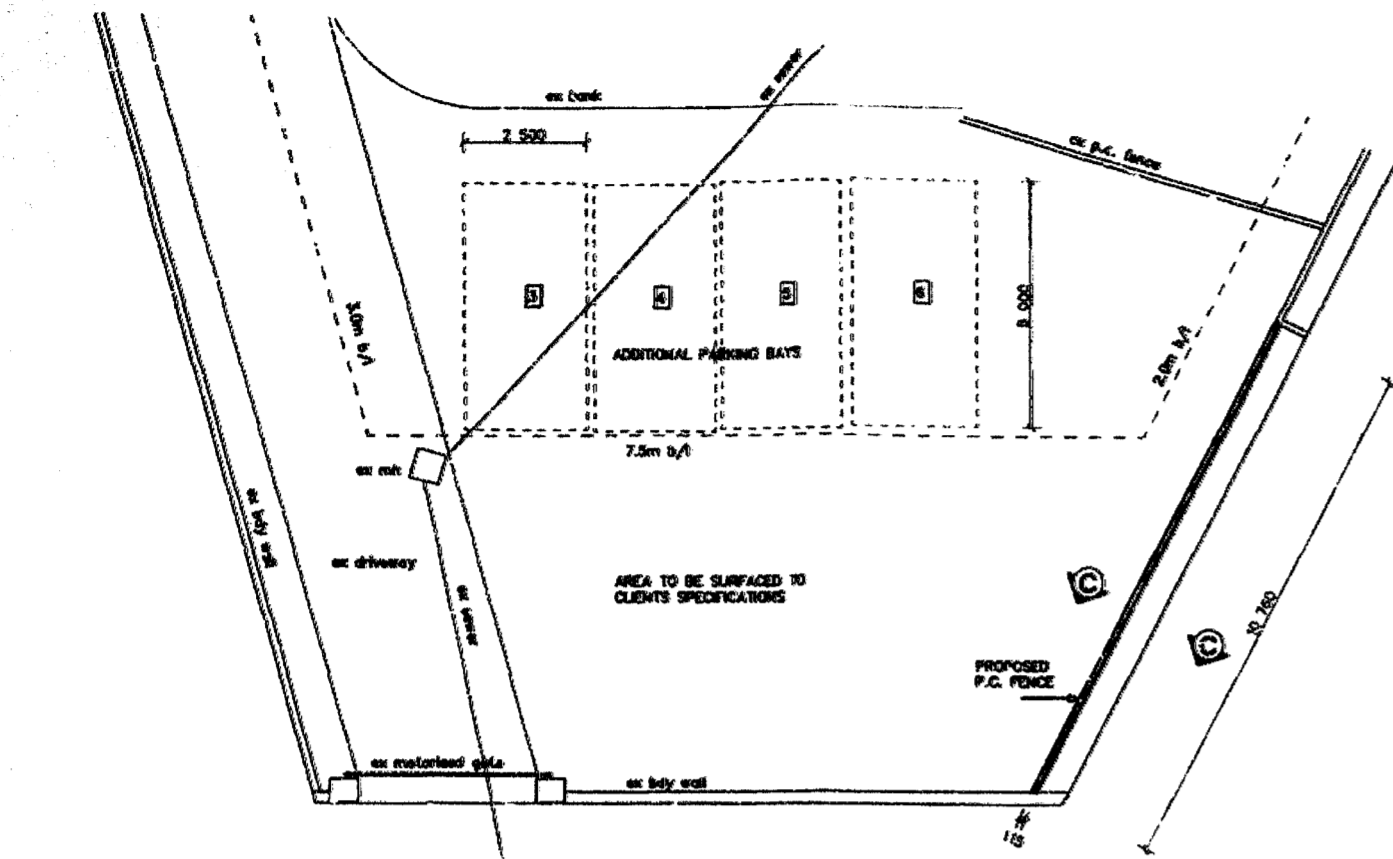
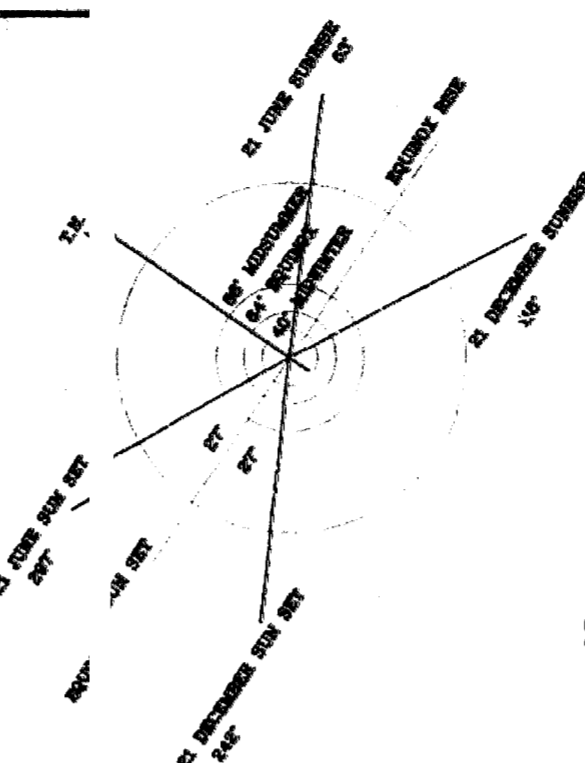


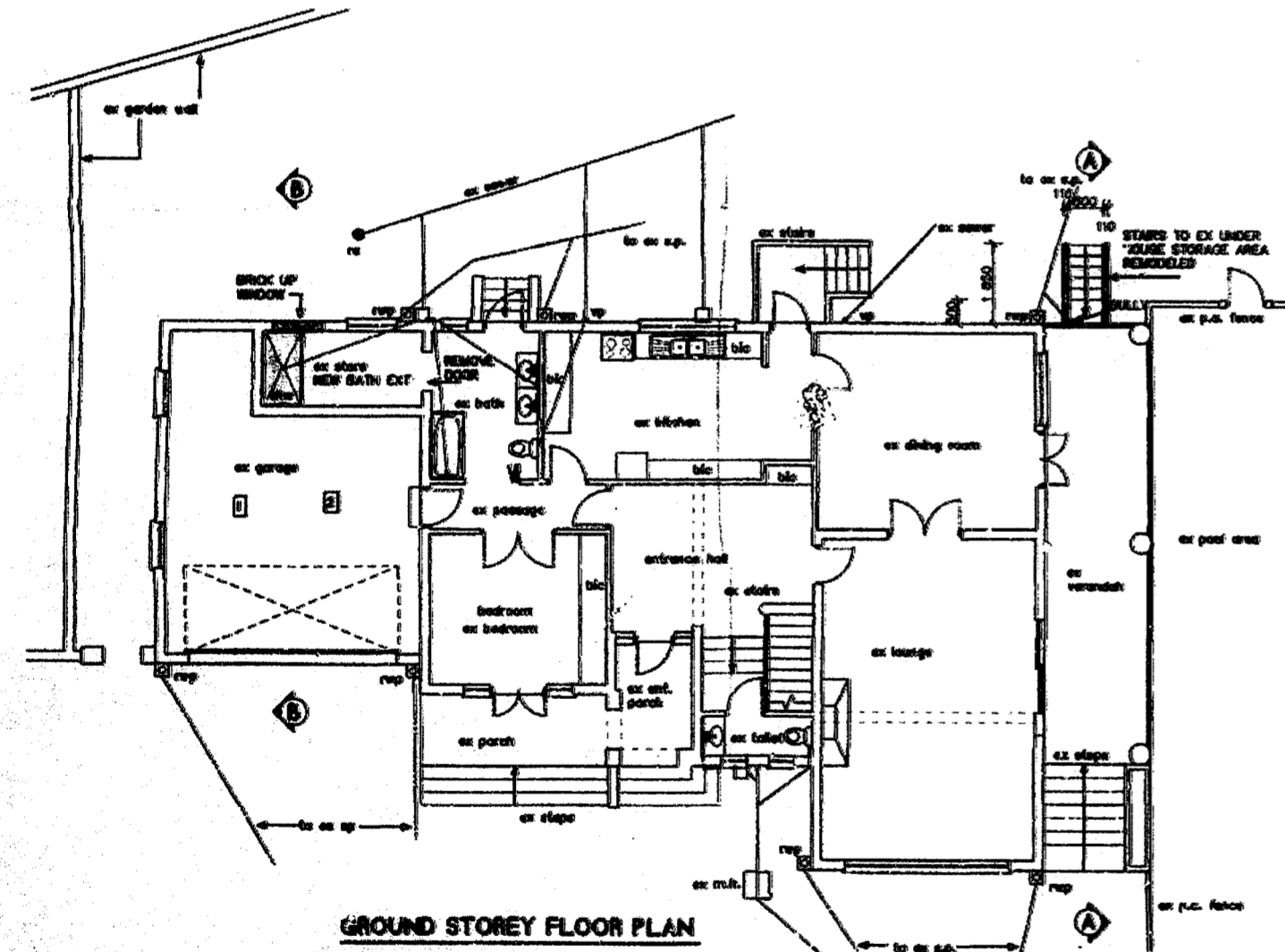
BUILDING APPLICATION
 APPROVED in terms of the Town Planning Act, 1977
 2015-16-21
 DATE



SITE PARKING & BOUNDARY WALL PLAN



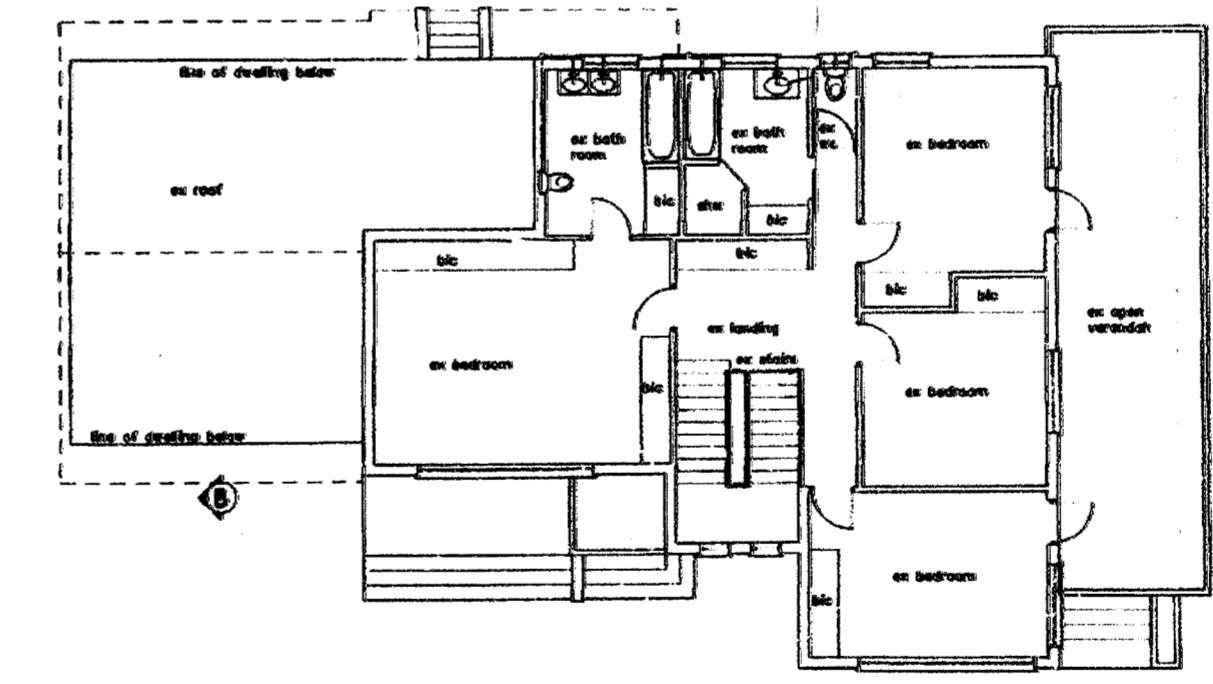
SITE PLAN



GROUND STOREY FLOOR PLAN

DRYWALL PARTITIONING

- ADDITIONAL SKIN**
1. Prepare and apply s.b.c. Construction Chemicals brand aluminium oxidation coating to walls, all in accordance with manufacturer's instructions, prior to fixing drywall studs.
 2. Fix the aluminium oxidation coating to the wall using the polyester bonded insulation (density 10 kg/m³) laid between studs.
 3. Apply the aluminium oxidation coating with overall thickness of 100mm, comprising bonded fibreglass strand of 50mm and steel studs fixed at 400mm centres to galvanneal steel and galvanized steel bottom tracks, including any additional steel studs necessary at door openings, glazed or all-weather windows, vents, corners, etc. also on one or two or three sides straight edged high density plaster board, manufactured in accordance with SABS 904.5000 secured to studs at maximum 250mm centres using drywall screws, minimum of 12mm from edge of stud.
 4. Internal corner joints and joints tapered over with Fibrotape finished over with fibrotape concrete under, leaving wall surface prepared for painting, all in accordance with the manufacturer's recommendations.
 5. Apply the aluminium oxidation coating to the external wall surface (density 10 kg/m³) fixed against inside face of boarding by staking, nailing or gluing prior to the fix of the second layer.
- SEPARATING WALLS**
1. Provide the separating walling system (60 minute rating) with overall thickness of 100mm, comprising two layers of 50mm galvanneal steel studs fixed at 400mm centres to galvanneal steel top and galvanized steel bottom tracks, including any additional steel studs necessary at door openings, glazed or all-weather windows, vents, corners, etc. also on both sides with thick straight edged medium density plaster board, manufactured in accordance with SABS 904.5000, over boarding of medium density plaster board using drywall screws, minimum of 12mm from edge of stud. All wall corners to be finished with 25 x 25mm perforated metal corner bands and joints tapered over with Fibrotape and 1 coat with finishing compound, leaving wall surface prep for painting, all in accordance with the manufacturer's recommendations.
 2. Apply the aluminium oxidation coating to the external wall surface (density 10 kg/m³) fixed against inside face of boarding by staking, nailing or gluing prior to the fix of the second layer.
- C.A. walls to comply with SABS 10400 Part K.



FIRST STOREY FLOOR PLAN

CLIENT
S.C. LAPIN
 PROJECT
 ALTERATIONS AND ADDITIONS
 RAWING TITLE
 TOWN PLANNING APPLICATION
 CADASTRAL DESCRIPTION
 Portion 6 of erf 1533
 DURBAN NORTH
 ADDRESS
 16 HIGHGATE PLACE
 RATE No.
 8844 - 5014
 CONTACT TELEPHONE No.
 071 - 170 0851

GENERAL NOTES

1. All work must be completed by the Contractor and any subcontractors by the date specified in the contract.
2. All work must be completed in accordance with the contract.
3. The Contractor must ensure that the building is completed in accordance with the contract.
4. The Contractor must ensure that the building is completed in accordance with the contract.
5. The Contractor must ensure that the building is completed in accordance with the contract.

BUILDING CLASSIFICATION
 BUILDING CLASSIFICATION - MB

STRUCTURAL NOTES

FOUNDATIONS

1. Strip Footings 700mm x 250mm to be a minimum of 600mm below finished ground level in firm, natural ground.
2. Foundations must be constructed in accordance with SABS 10400 Part K.
3. All foundations to comply with SABS 10400 Part K.

WALLS

1. Additional 100mm brick slab to be added to inferior loadbearing walls. Slab to be laid on pre-cast concrete slab and fixed to existing wall with brick ties at 900mm centres.
2. The exterior of all walls to be rendered with cement and sand plaster to a minimum thickness of 12mm.
3. All walls to be rendered with cement and sand plaster to a minimum thickness of 12mm.
4. All walls to be rendered with cement and sand plaster to a minimum thickness of 12mm.

FLOOR SLABS

1. Cast-in-place concrete slabs to be provided where necessary.
2. Slabs to be cast on pre-cast concrete slabs and fixed to existing wall with brick ties at 900mm centres.
3. All slabs to comply with SABS 10400 Part K.

ROOF

1. Roofing to be completed in accordance with SABS 10400 Part L.
2. All roofs to comply with SABS 10400 Part L.

CEILING

1. Ceilings to be completed in accordance with SABS 10400 Part M.
2. All ceilings to comply with SABS 10400 Part M.

LOUVERED SUN SCREEN

1. Louvered sun screen to be provided in accordance with SABS 10400 Part N.
2. All sun screens to comply with SABS 10400 Part N.

STAIRS

1. Concrete stairs to be completed in accordance with SABS 10400 Part O.
2. All stairs to comply with SABS 10400 Part O.

RAMP

1. Ramps to be completed in accordance with SABS 10400 Part P.
2. All ramps to comply with SABS 10400 Part P.

GLAZING

1. Glazing to be completed in accordance with SABS 10400 Part Q.
2. All glazing to comply with SABS 10400 Part Q.

DR/VAGE

1. All floor surfaces to be completed in accordance with SABS 10400 Part R.
2. All floor surfaces to comply with SABS 10400 Part R.

FINISHES

1. All finishes to be completed in accordance with SABS 10400 Part S.
2. All finishes to comply with SABS 10400 Part S.

SCHEDULE OF AREAS

SITE	1 447.000 sq.m.
NO ADDITIONAL AREA	

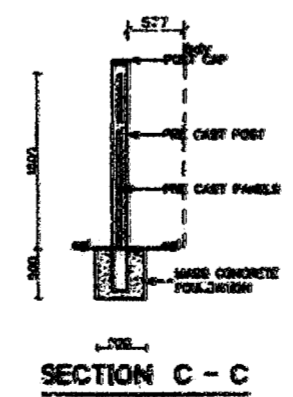
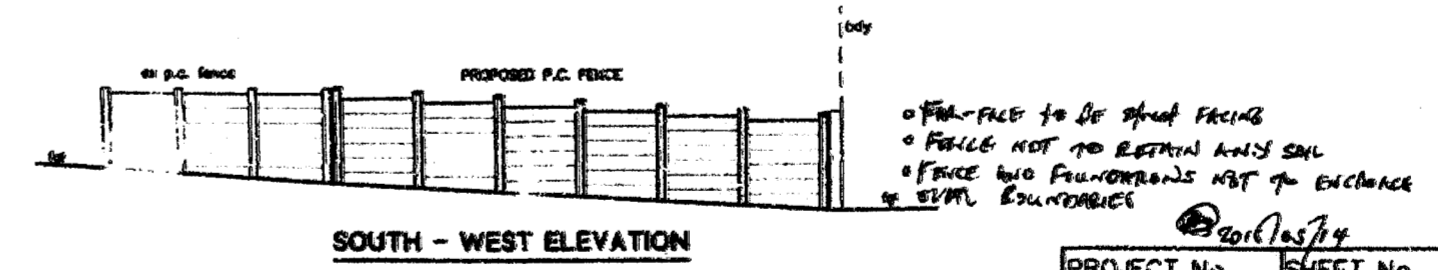
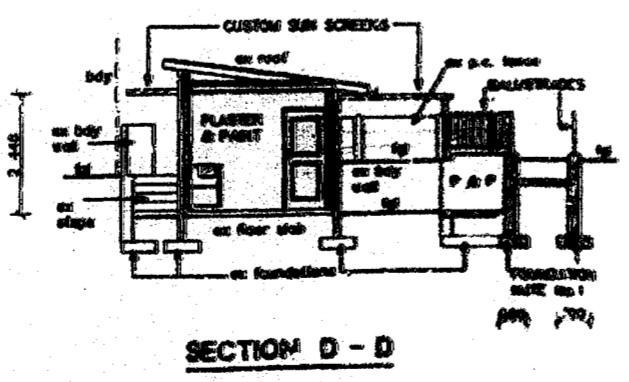
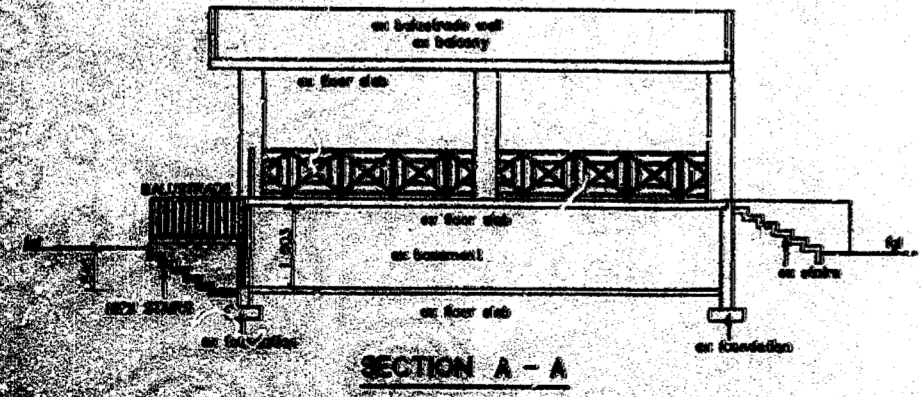
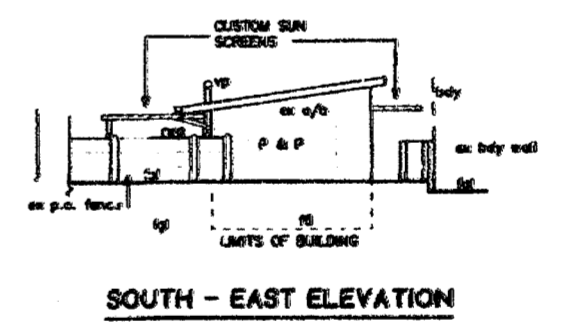
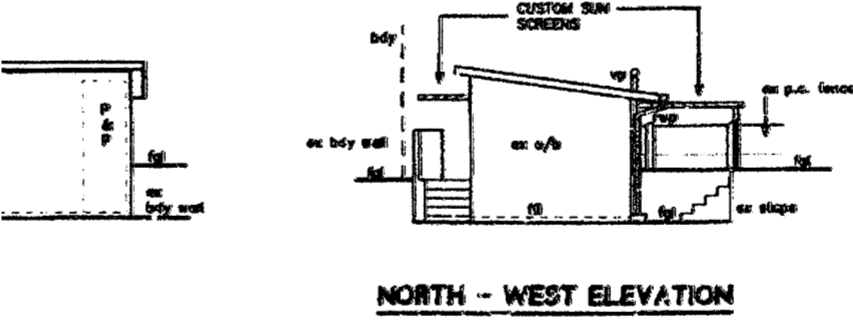
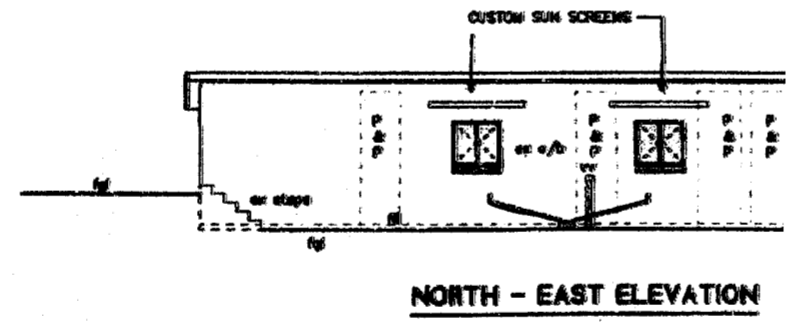
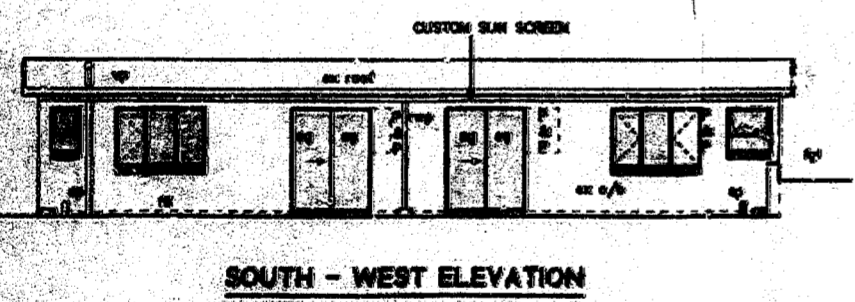
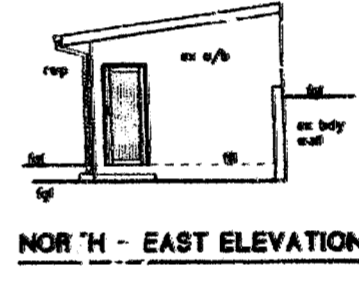
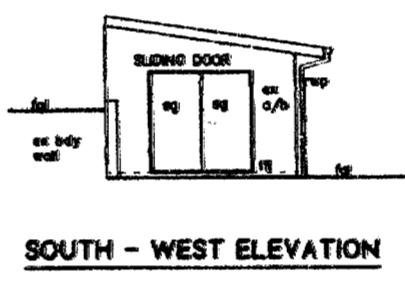
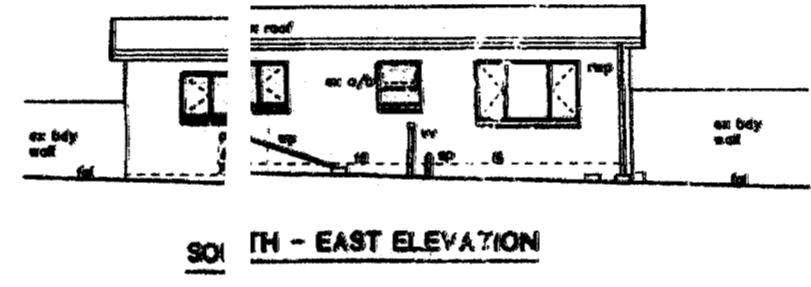
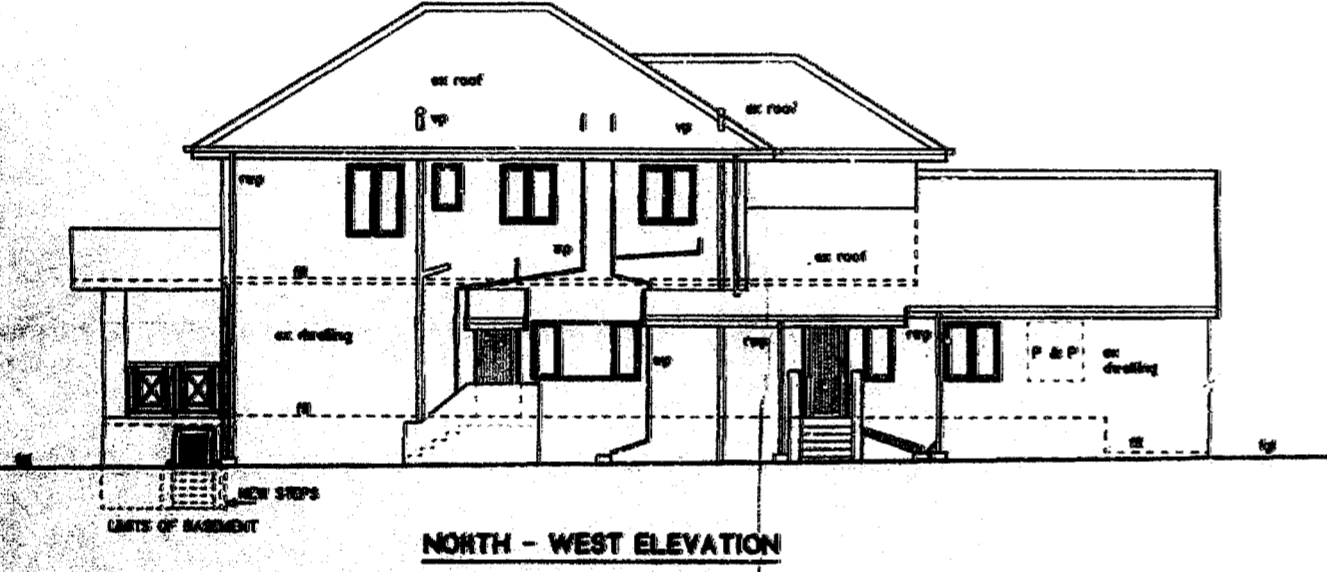
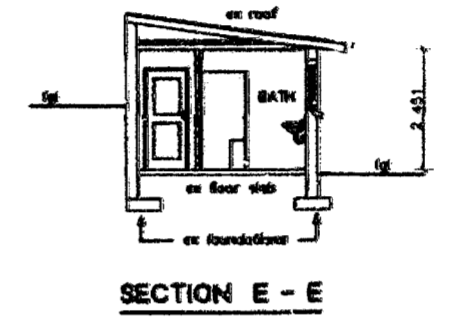
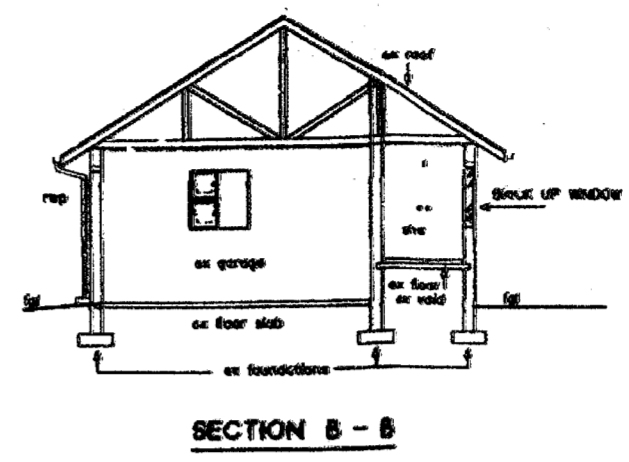
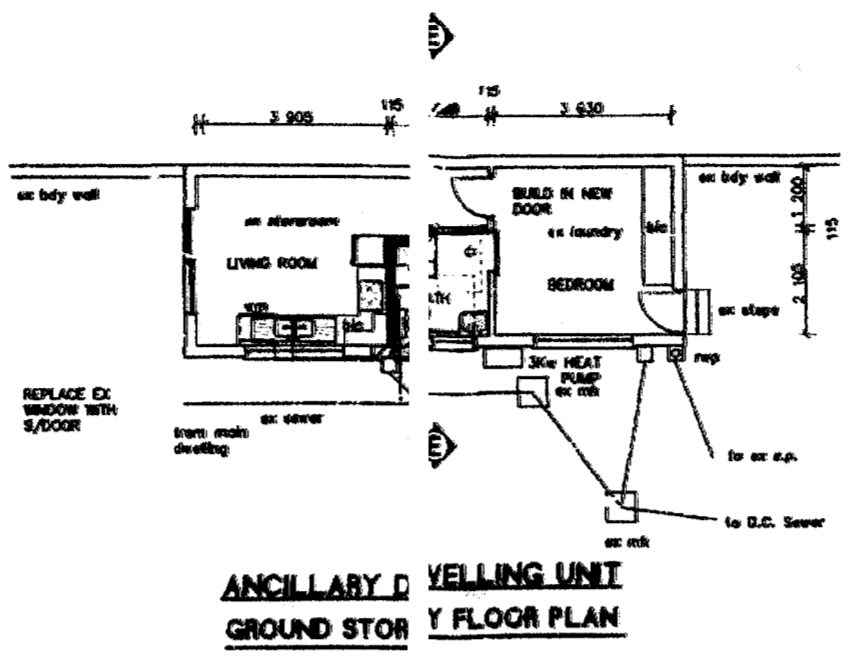
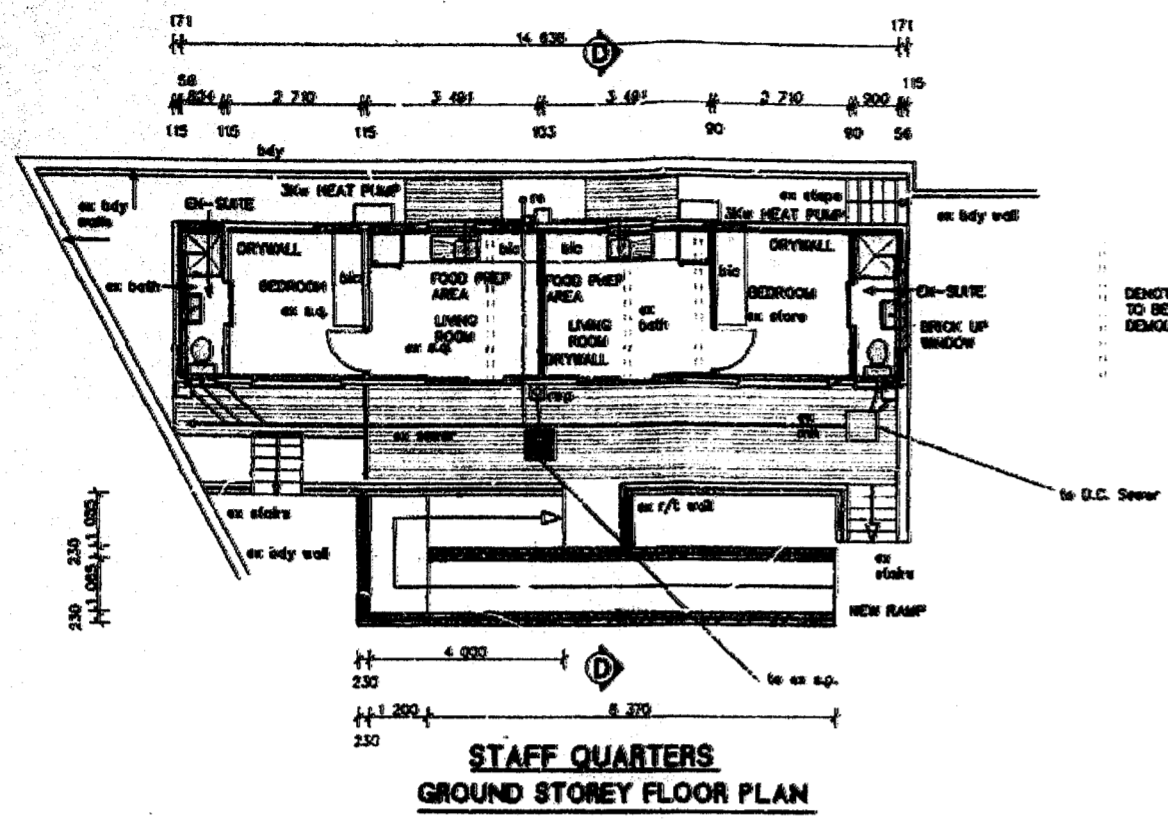
PROJECT No.	2086 - 14	SHEET No.	1 of 3
DESIGNED	MB	REV. No.	
CHECKED	MB	SCALE 1:100	1:500
DRAWN	MB	DATE	25.02.2015
REVISION			
OWNERS SIGNATURE			

PLANS & PROJECTS

ARCHITECTURAL DESIGN
 INDUSTRIAL ENGINEERING
 PROJECT MANAGEMENT

407 Lighthouse Road
 GLENVIEW
 Tel: 031 455 - 4155
 Cell: 082 593 - 2877
 Fax: 031 455 - 4155
 e-mail: plans@planning.co.za

BUILDING APPLICATION
 APPROVED in terms Sec. 1 of The National Building Regulations and Building Standards Act No. 107 of 1977
 2016-05-21
 DATE
 This plan is approved on the basis of the information shown hereon.
 Attention is drawn to the attached conditions & that you are required to report back to the Municipality within 12 months of the date of approval of this plan.
 107/1977 as amended.



CLIENT
S.C. LAPIN
 PROJECT
ALTERATIONS AND ADDITIONS
 DRAWING TITLE
TOWN PLANNING APPLICATION
 CADASTRAL DESCRIPTION
Portion 6 of ERF 1553
DURBAN NORTH
 ADDRESS
16 HIGHGATE PLACE
 RATE No.
8844 - 5014
 CONTACT TELEPHONE No.
071 - 170 0851

PROJECT No. 2016 - 14	SHEET No. 2 of 3
DESIGNED MB	REV. No.
CHECKED MB	SCALE 1:100
DRAWN MB	DATE 25.02.2015
REVISION	DATE
OWNERS SIGNATURE	

PLANS & PROJECTS
 ARCHITECTURAL DESIGN
 INDUSTRIAL ENGINEERING
 PROJECT MANAGEMENT
 & SURVEY
 11 The Club Deck, SANDHURST
 MIDVALE, JHBURGH, 2008
 011 414 0000
 011 414 0001
 011 414 0002
 011 414 0003
 011 414 0004
 011 414 0005
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