

site areas	
site area	830.00m <sup>2</sup>
allowable far	na
allowable cov (50%)	415.00m <sup>2</sup>
existing far (0.37)	308.50m <sup>2</sup>
existing cov (27%)	221.00m <sup>2</sup>
proposed far (0.00)	44.50m <sup>2</sup>
proposed cov (5%)	44.50m <sup>2</sup>
new total far (0.37)	308.50m <sup>2</sup>
new total cov (32%)	265.50m <sup>2</sup>
building areas	
ex. house	267.50m <sup>2</sup>
ex. covered entrance	1.50m <sup>2</sup>
ex. laundry & patio	20.50m <sup>2</sup>
ex. garage	23.50m <sup>2</sup>
ex. outbuilding	41.00m <sup>2</sup>
proposed awning	44.50m <sup>2</sup>
<b>total additional area</b>	<b>44.50m<sup>2</sup></b>
<b>new grand total</b>	<b>398.50m<sup>2</sup></b>



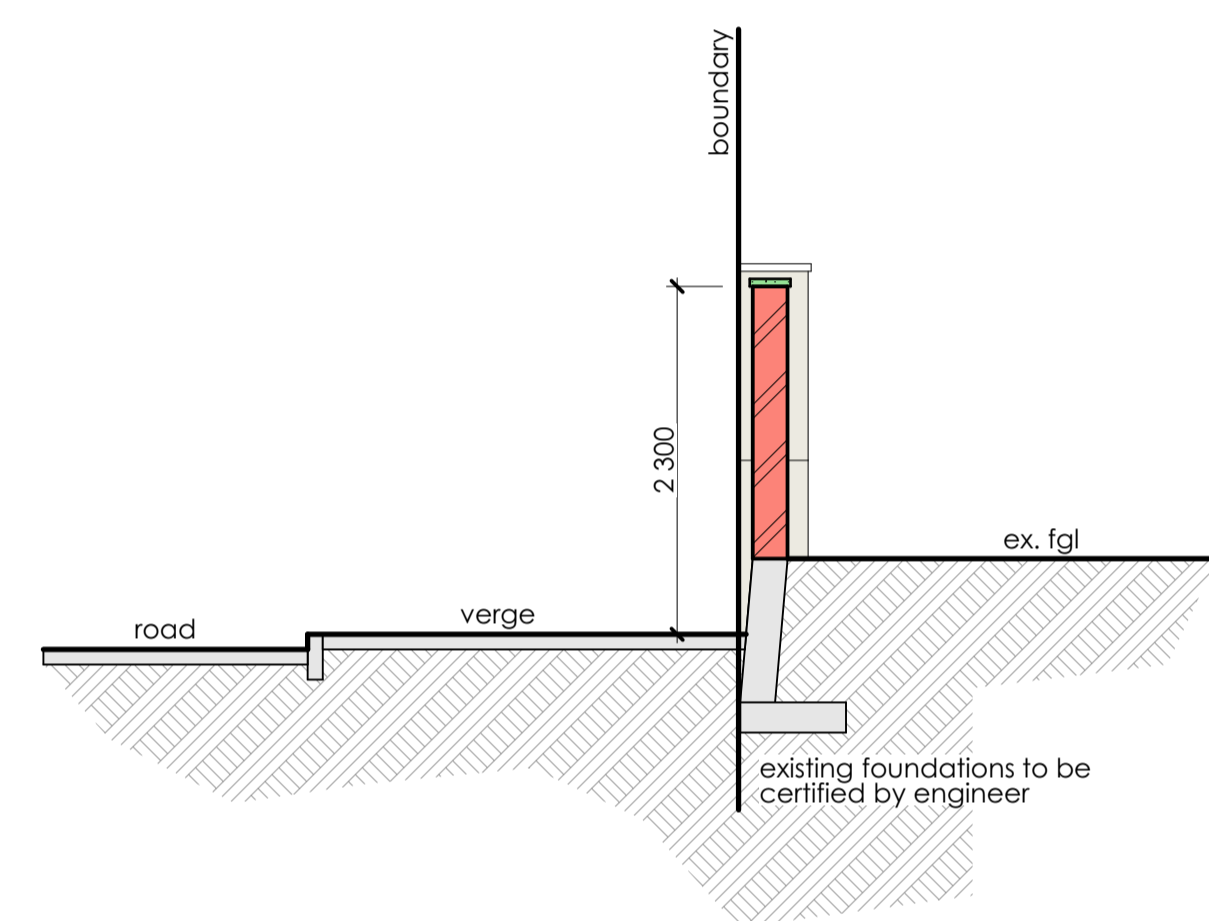
3d view | road frontage  
nts

**general section notes**

**roof structures**  
new awning by "awnmaster" steel posts and beams, lbr & translucent sheeting mix @ 3 deg pvc down pipe

**building structures**  
two courses of brickwork to be reinforced with brick force both below wall plate level, above window head height and below window sill level external face of inner skin of all external walls to be bagged and rendered waterproof with two coats of bitumen paint 375 mic. dpc to be provided to walls at slab level, under all sills and to parapets all external walls to achieve a minimum R-Value of 0.35 timber skirting's to floor finish as per plan on 30mm screed on 100mm concrete surface bed reinforced with 'ref. 193' weld mesh on 250mic damp proof membrane on 50mm blinding layer of clean river sand on 150mm hard-core

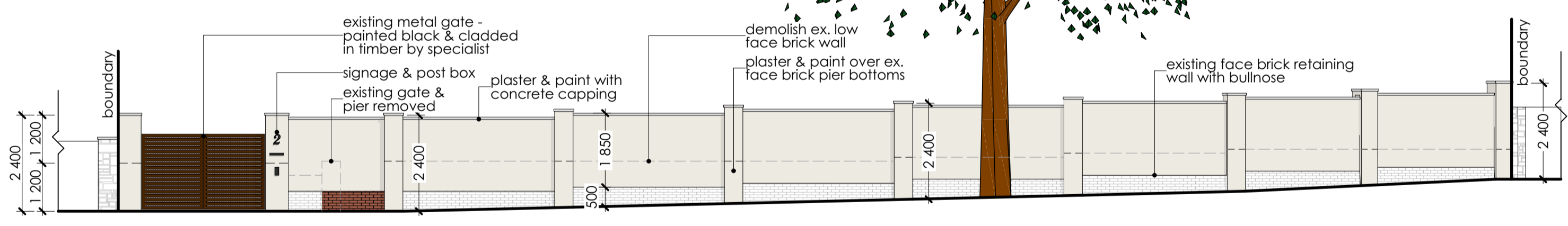
**sub-structures**  
subfloor ground and foundation trenches to be poisoned with 'CHLORDANE' solution in accordance with SANS 'Codes of Practice' by specialist



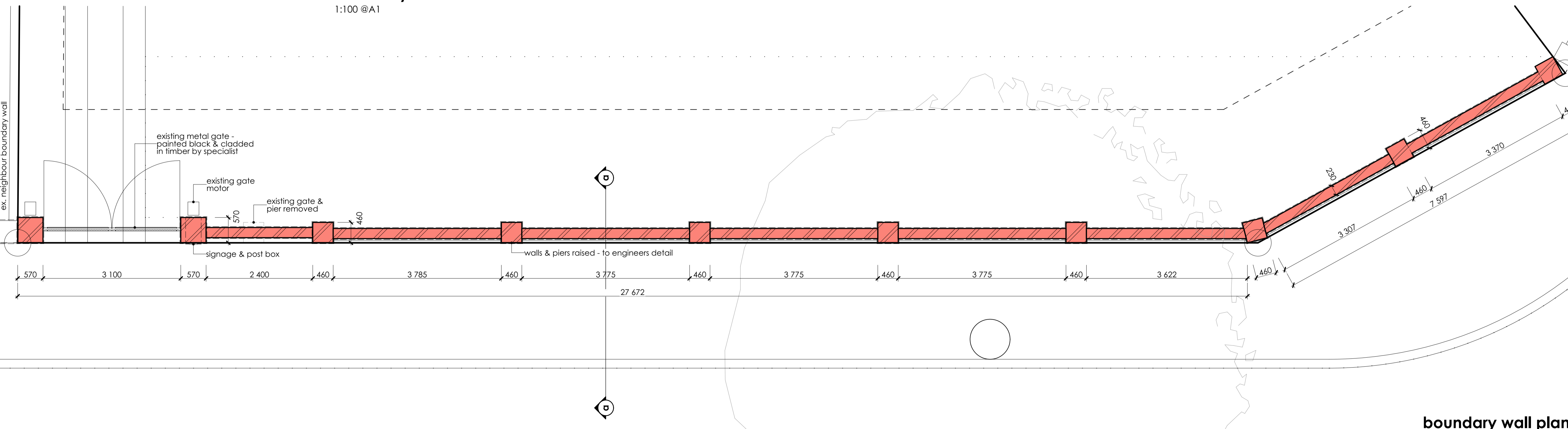
section aa  
1:50 @A1



site plan  
1:200 @A1



boundary wall south east elevation  
1:100 @A1



boundary wall plan  
1:50 @A1

3	
2	
1	
REVISION	
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climatic zone as per SANS 204	5
occupancy as per SANS 10400 part A	H4

**red giraffe**  
ARCHITECTURE

Ryan Fuller    PrSArchT    PSAT 24749934  
red giraffe architecture pty ltd | reg no. 2017/176746/07

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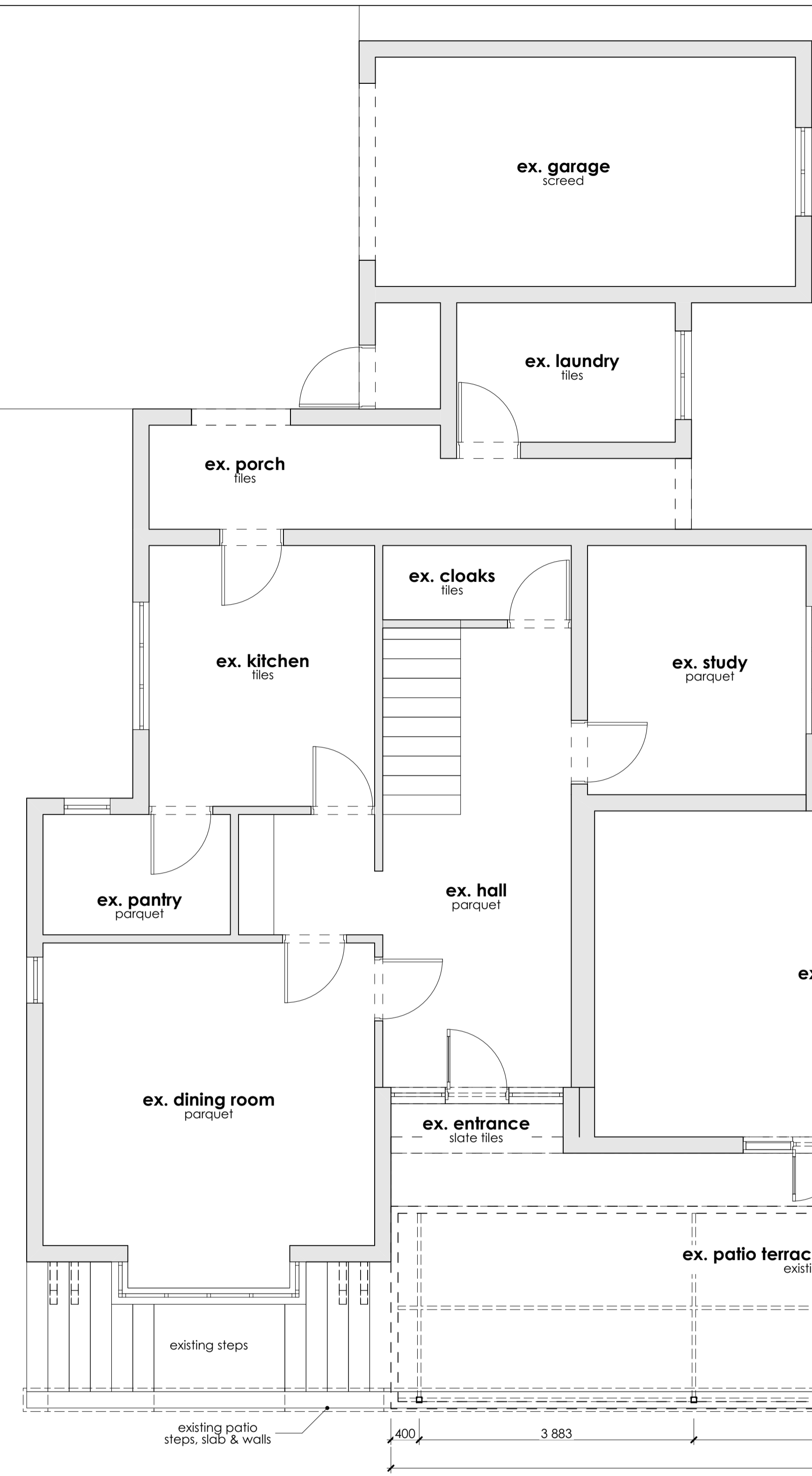
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owners signature: *[Signature]*  
authors signature: *[Signature]*

project  
**PROPOSED BOUNDARY WALL ALTERATIONS & NEW AWNING** for MR PG & MRS CE SESSIONS on ERF 8755 DURBAN at 2 ARCHBELL ROAD, UMBILO, BEREA, 4075

description			
floor plans   site plan   section			
page   1/2		21-30   WD01	
scale	date	drawn	checked
as shown	2021/11/24	RF	RF
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drawing type  
**FOR COMMENT ONLY**



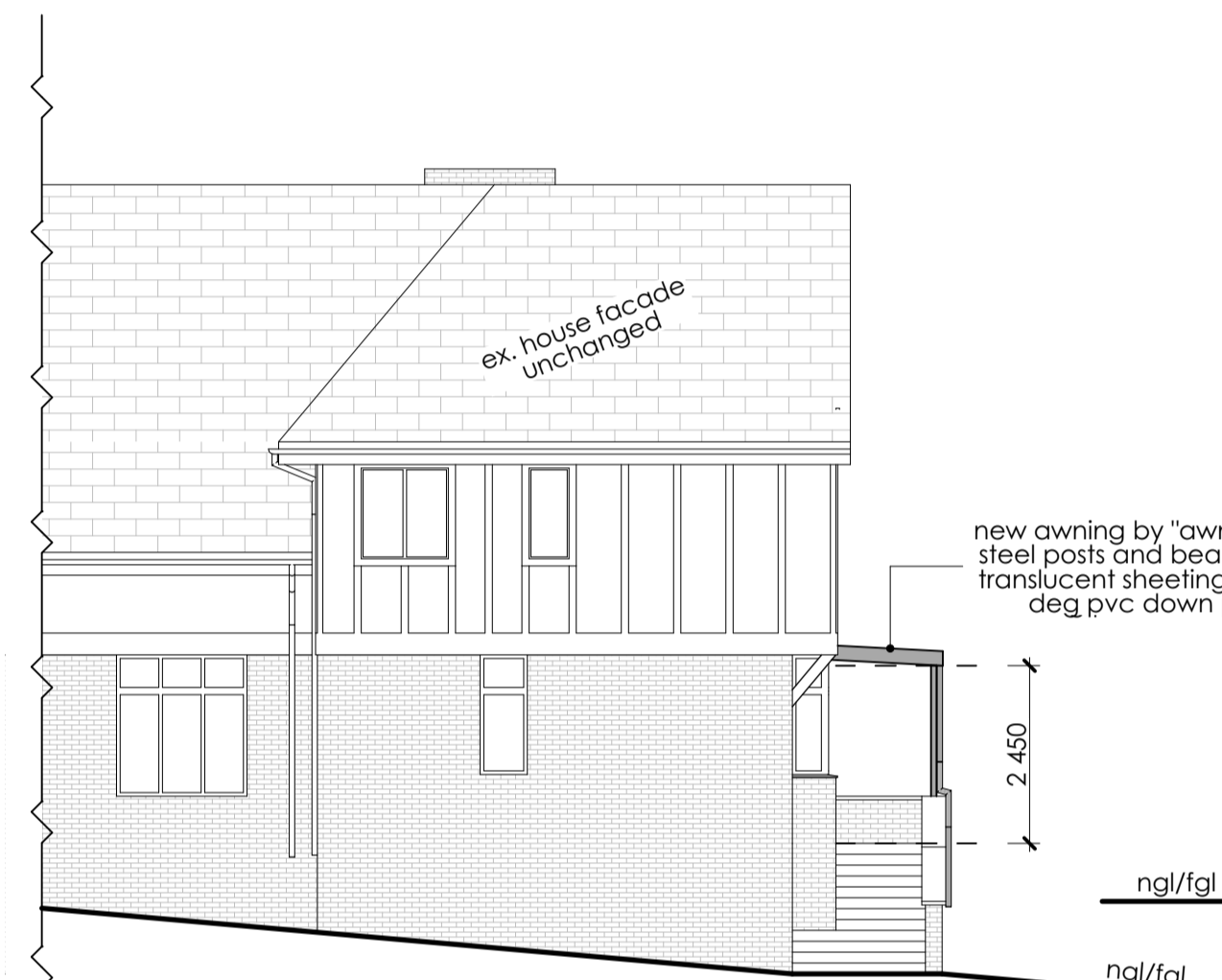
**ground floor plan**  
1:50 @A1



**house | south east elevation**  
1:100 @A1



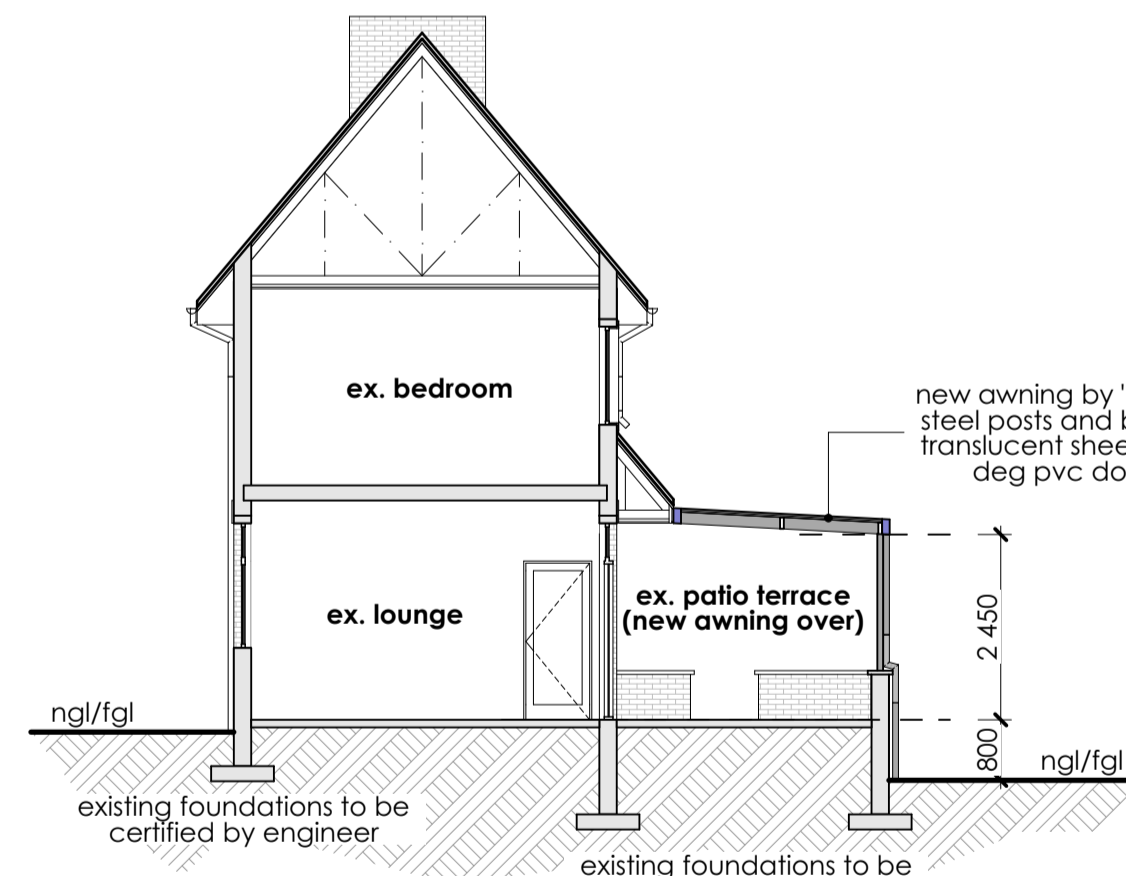
**3d view | awning**  
nts



**house | south west elevation**  
1:100 @A1



**house | north east elevation**  
1:100 @A1



**section bb**  
1:100 @A1

**general section notes**

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new awning by "awnmaster" steel posts and beams, ibr & translucent sheeting mix @ 3 deg pvc down pipe

**building structures**  
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**sub-structures**  
subfloor ground and foundation trenches to be poisoned with 'CHLORDANE' solution in accordance with SANS 'Codes of Practice' by specialist

**GENERAL NOTES**  
All work to comply with SANS 10400 and any other associated SANS referred to in SANS 10400. All work to comply with the design and development guidelines as laid down by the hoo or body corporate if applicable. Architectural drawings are to be read in conjunction with engineers drawings. Corner beacons to be located and exposed before work on site commences. Contractor to check all dimensions and levels (schedules and details) before the relevant work is placed in hand and report any discrepancies to the author/owner. All reinforced concrete, slabs, foundations, column details, beams, stairs, and retaining walls are to be built strictly in accordance to professional engineers details and under their supervision. Contractor to ensure that no changes in existing levels are made over local authority servitudes or underground services unless permission has been given in writing by the local authority. The contractor is to inspect the approved copies of drawings to ensure that all amendments during the submissions process have been taken into account. The attention of the owner is drawn to the fact that changes to the plan and / or specification after municipal approval is likely to invalidate that approval. All foundations are to be built to professional engineers details & under their supervision. All foundations to be taken down below natural ground level. Natural ground line in approximate position only and no claim can be made for any discrepancies on site. All earthworks to be completed as per plan and as per engineers instruction. All banks greater than 26° are to be certified by the engineer i.e a certificate of stability is required. All earthworks and storm water will be the responsibility of the engineer i.e all work to be completed under the supervision of the engineer and certified accordingly. Existing foundations & structure to be certified by engineer to carry additional loading prior to work being commenced.

**SANS 10400 NOTES**

**Part B: Structural Design**  
The structural system of the building must comply with the detailed requirements of SANS 10400-H; J; K; L; M and N where applicable

**Part D: Public Safety**  
Where there is a change of level, a ramp, a driveway or access to swimming pools all must be in accordance with the detailed requirements of SANS 10400-D

**Part F: Site Operations**  
On all sites their must be provision of sanitary facilities in accordance with the detailed requirements of SANS 10400-F

**Part H: Foundations**  
All foundations to be in accordance with SANS 10400-B and the detailed requirements of SANS 10400-H

**Part J: Floors**  
Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal to be in accordance with the detailed requirements of SANS 10400-J  
Suspended floors to be in accordance with the requirements of SANS 10400-B and SANS 10400-T and SANS 10082 and the detailed requirements of SANS 10400-J  
Slabs supported on the ground to be in accordance with SANS 10400-B and SANS 10400-H and the detailed requirements of SANS 10400-J

**Part K: Walls**  
The structural strength and stability of the walls to be in accordance with SANS 10400 - B and SANS 10400-T and the detailed requirements of SANS 10400-K Roof fixings to be in accordance with SANS 10400-B and the detailed requirements of SANS 10400-K  
Water penetration through a wall is in accordance with the detailed requirements of SANS 10400-K

**Part L: Roofs**  
Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-L  
Flat roofs and related gutters to be in accordance with the detailed requirements of SANS 10400-L  
Roof assembly and any ceiling assembly, in addition to complying with the requirements of SANS 10400-C to be in accordance with the detailed requirements of SANS 10400-L and the roof assembly is supported on walls that comply with the requirements of SANS 10400-K all to be in accordance with SANS 10400-B and SANS 10400-L  
Gutters and downpipes to be sized in accordance with the requirements of SANS 10400-R  
The fire resistance and combustibility of the roof assembly or any ceiling assembly are in accordance with the detailed requirements of SANS 10400-L and SANS 10400-T

**Part M: Stairways**  
Stairways to be in accordance with SANS 10400-B and SANS 10400-T the detailed requirements of SANS 10400-M  
Walls, screens, railings or balustrades to such stairway to be in accordance with the requirements of SANS 10400-B and SANS 10400-T SANS 10400-K and SANS 10400-T

**Part N: Glazing**  
The type and fixing of glazing is to be in accordance with SANS 10400-B and the detailed requirements of SANS 10400-N  
The selection of the glazing is to be in accordance with the detailed requirements of SANS 10400-N

**Part O: Lighting and Ventilation**  
The lighting in a habitable room, bathroom, shower room and room containing a toilet pan to comply with the requirements of SANS 10400-T and the detailed requirements of SANS 10400-O  
The ventilation to be in accordance with the requirements of SANS 10400-T and to be in accordance with the detailed requirements of SANS 10400-O

**Part P: Drainage**  
The design of the drainage system to be in accordance with the detailed requirements of SANS 10400-P

**Part R: Storm water disposal**  
The means for the control and disposal of storm water is in accordance with the detailed requirements of SANS 10400-R

**Part S: Persons with disabilities**  
Where applicable the means for providing facilities for persons with disabilities to be in accordance with the detailed requirements of SANS 10400-S

**Part T: Fire protection**  
Where applicable the fire protection measures provided to be in accordance with the detailed requirements of SANS 10400-T

**Part V: Space heating**  
Where applicable the provision of space heating to be in accordance with the detailed requirements of SANS 10400-V

**Part W: Fire installation**  
Where applicable the fire installations must comply with the detailed requirements of SANS 10400-W  
The supply of water to be in accordance with the detailed requirements of SANS 10400-W

**Part XA: Energy Efficiency in Buildings**  
External walls are to be in accordance with the detailed requirements of SANS 10400-XA Fenestration to be in accordance with SANS 10400-XA or SANS 204  
Roof assembly construction to be in accordance with SANS 10400-XA  
Services that use energy or control the use of energy to be in accordance with SANS 204 Hot water systems to be in accordance with SANS 10400-XA

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<b>REVISION</b>	
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climatic zone as per SANS 204	5
occupancy as per SANS 10400 part A	H4

**red giraffe ARCHITECTURE**

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owners signature: *[Signature]*  
authors signature: *[Signature]*

project  
**PROPOSED BOUNDARY WALL ALTERATIONS & NEW AWNING for MR PG & MRS CE SESSIONS on ERF 8755 DURBAN at 2 ARCHBELL ROAD, UMBILO, BEREA, 4075**

description			
<b>floor plans   elevations   section</b>			
page   2/2	21-30   <b>WD02</b>		
scale	date	drawn	checked
as shown	2021/11/24	RF	RF
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drawing type  
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