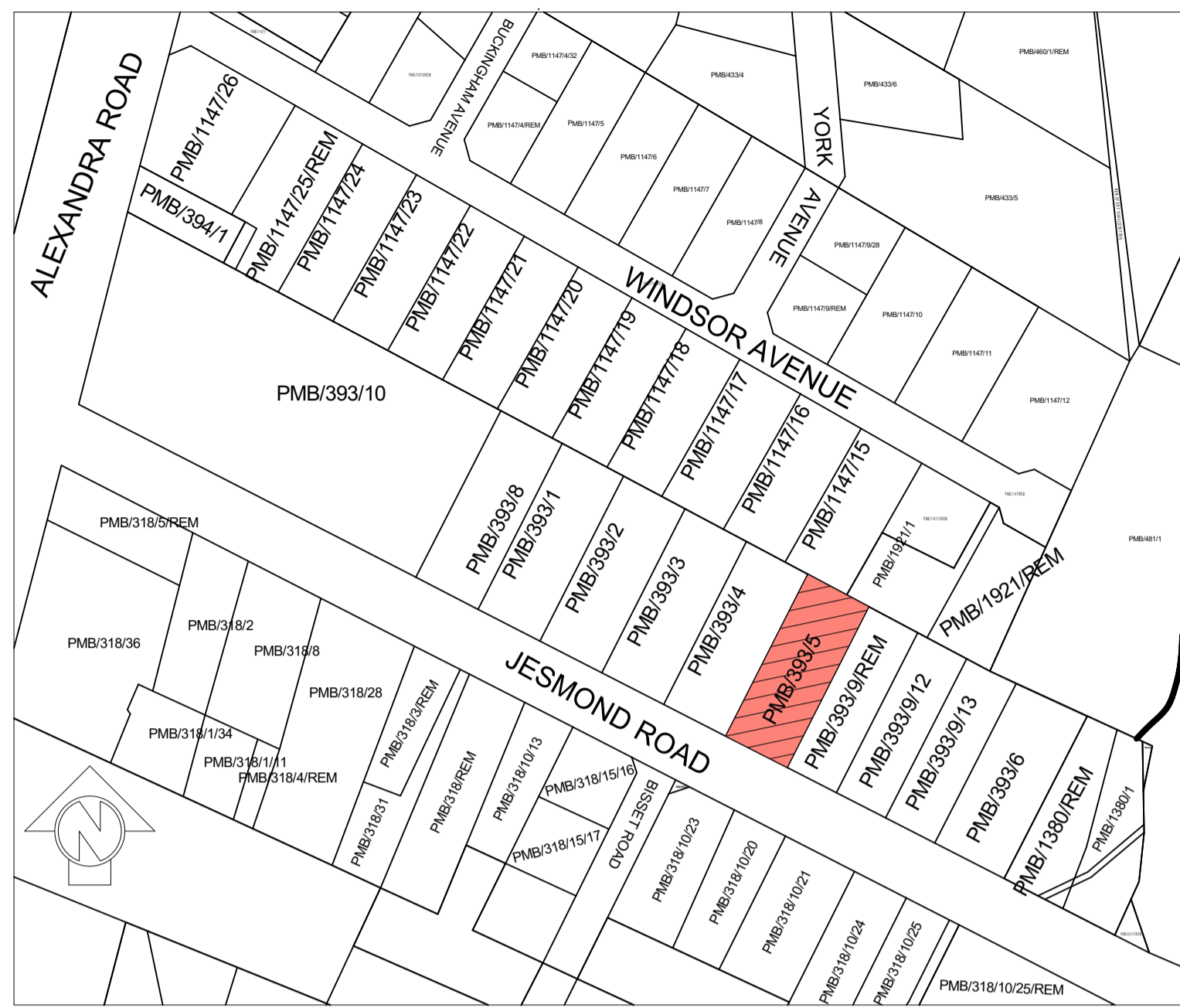
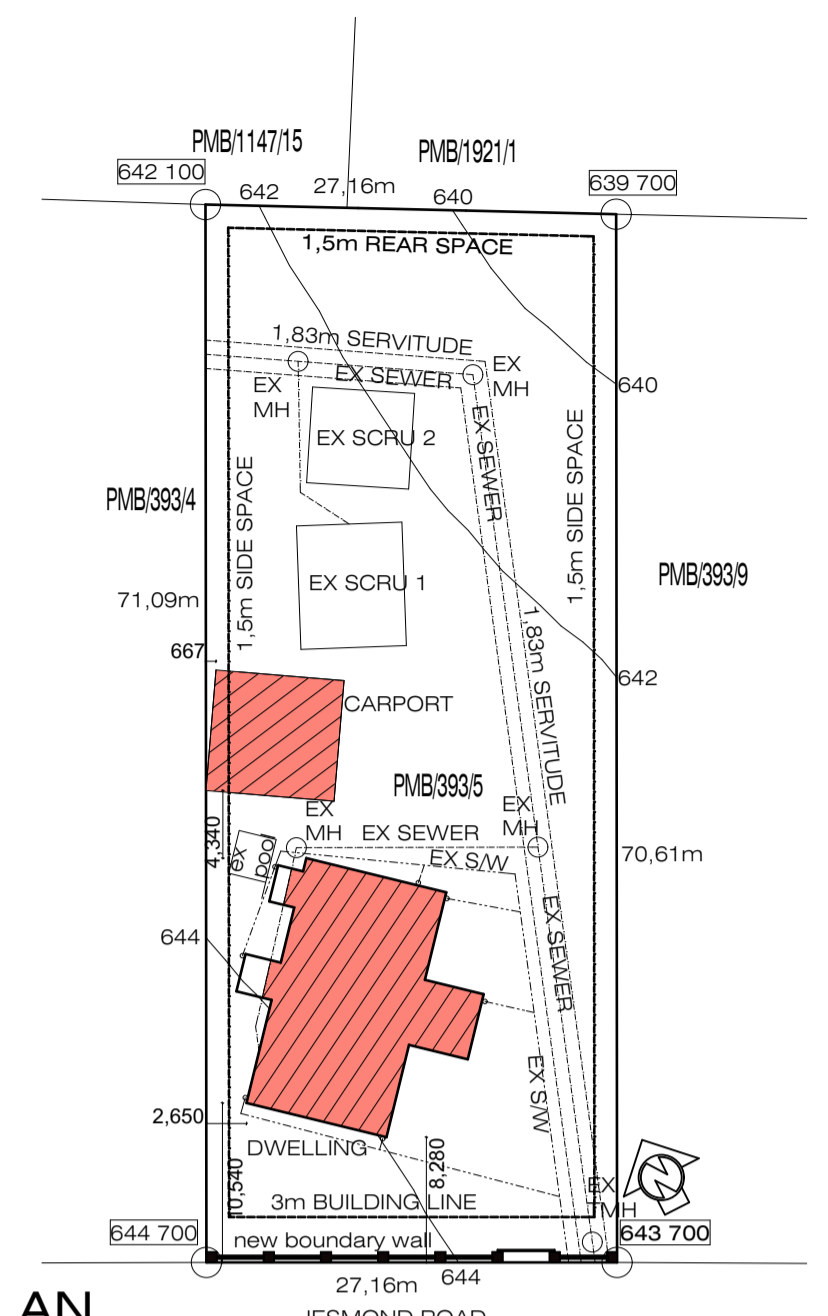


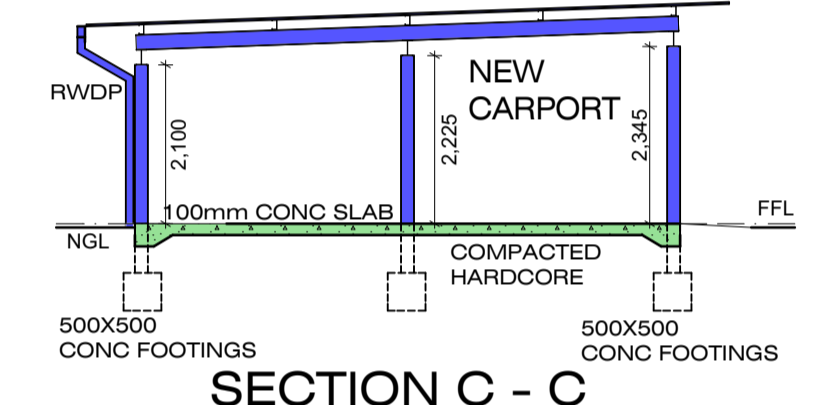
FIRST FLOOR PLAN
SCALE 1 : 100



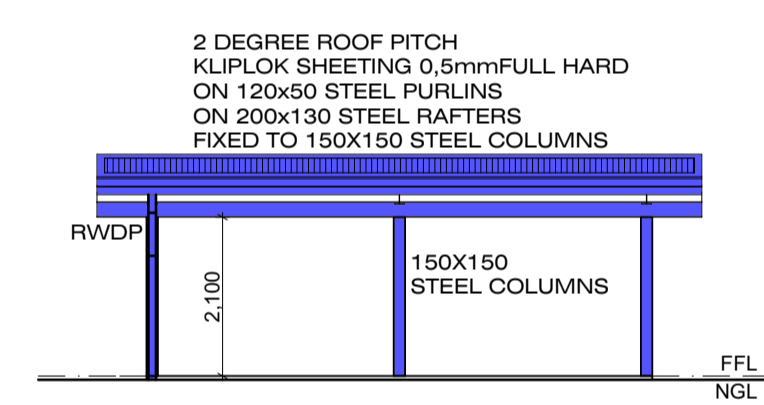
LOCALITY PLAN
NOT TO SCALE



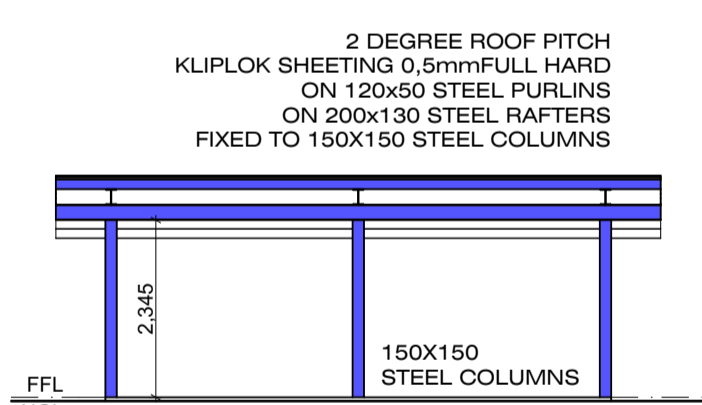
SITE PLAN
SCALE 1 : 500



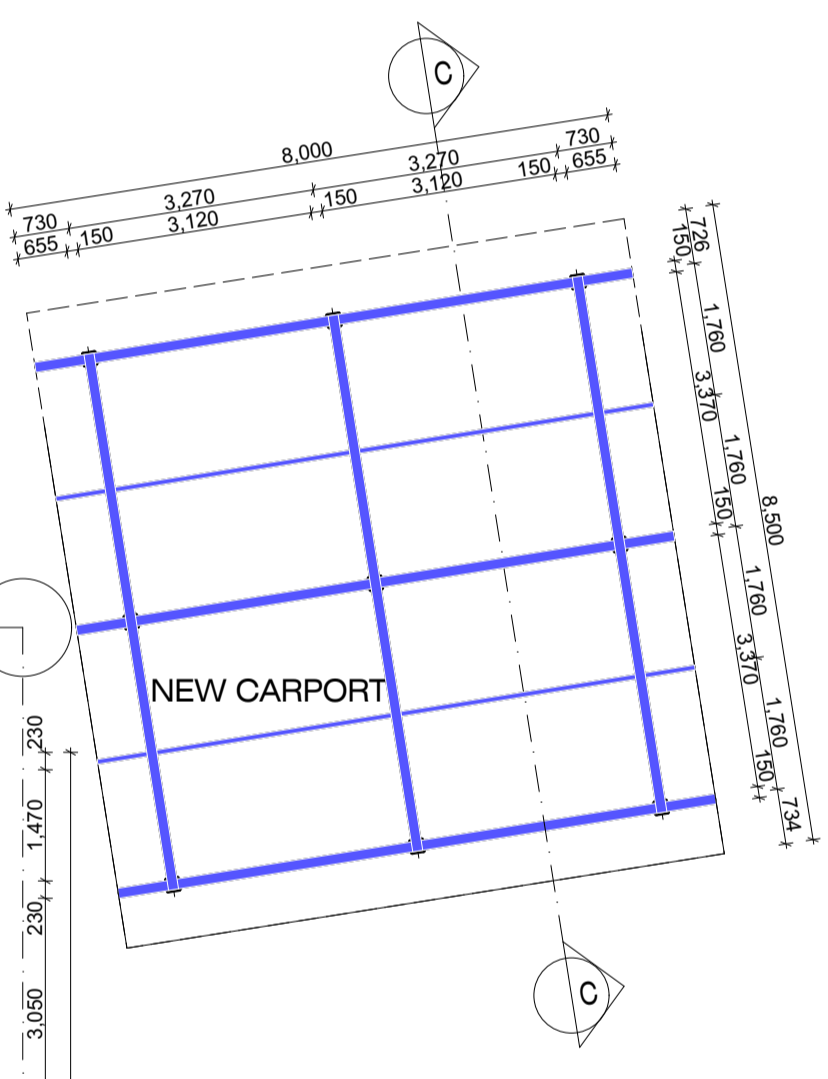
SECTION C - C



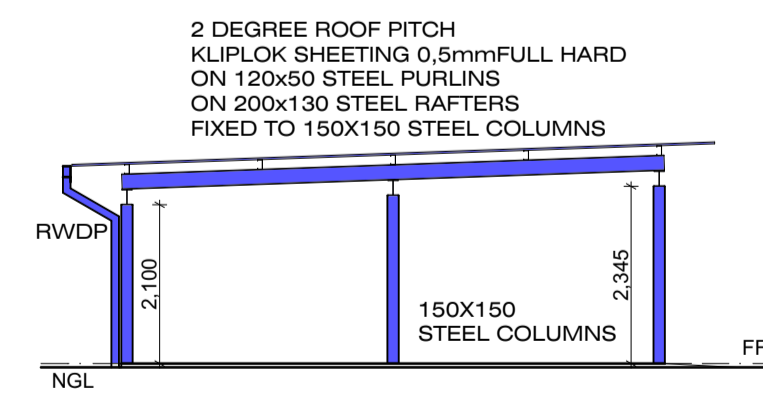
NORTH WEST ELEVATION



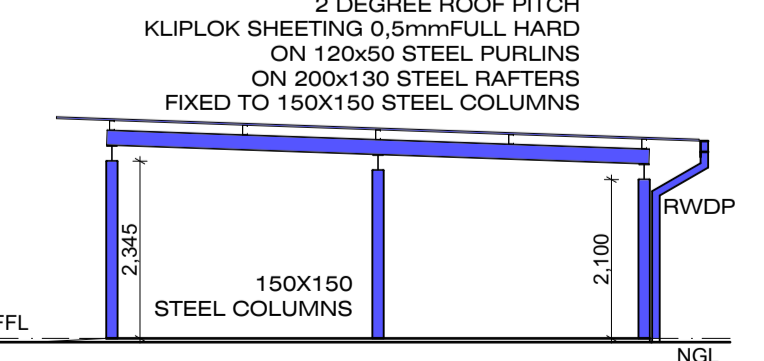
SOUTH EAST ELEVATION



NEW CARPORT



SOUTH WEST ELEVATION



NORTH EAST ELEVATION

SEWER DETAILS

	EX MH1	EX MH2	EX T.M.H.
GROUND LEVEL	643,600	643,400	643,500
INVERT LEVEL	643,150	642,950	642,300
DEPTH	450	600	1200
DISTANCE	16m	25m	
GRADIENT	1:45	1:50	

SCHEDULE OF AREAS

GROUND FLOOR	EXISTING		ADDITIONS		TOTAL	
	EXISTING	ADDITIONS	ADDITIONS	TOTAL	EXISTING	TOTAL
DWELLING	132.00 sqm	20.10 sqm	20.10 sqm	152.10 sqm	132.00 sqm	152.10 sqm
S.C.R.U. 1	55.00 sqm	0.00 sqm	0.00 sqm	55.00 sqm	55.00 sqm	55.00 sqm
S.C.R.U. 2	52.00 sqm	0.00 sqm	0.00 sqm	52.00 sqm	52.00 sqm	52.00 sqm
CARPORT	0.00 sqm	68.00 sqm	68.00 sqm	68.00 sqm	0.00 sqm	68.00 sqm
TOTAL	239.00 sqm	88.10 sqm	88.10 sqm	327.10 sqm	239.00 sqm	327.10 sqm

FIRST FLOOR	EXISTING		ADDITIONS		TOTAL	
	EXISTING	ADDITIONS	ADDITIONS	TOTAL	EXISTING	TOTAL
DWELLING	0.00 sqm	196.13 sqm	196.13 sqm	196.13 sqm	0.00 sqm	196.13 sqm
TOTAL	0.00 sqm	196.13 sqm	196.13 sqm	196.13 sqm	0.00 sqm	196.13 sqm

TOTAL NEW AREA: 243.30 sqm

TOTAL AREAS - ALL FLOORS

DWELLING	348.23 sqm
S.C.R.U. 1	55.00 sqm
S.C.R.U. 2	52.00 sqm
CARPORT	68.00 sqm
TOTAL	523.23 sqm

SITE AREA: 1924.00 sqm

ZONE: SPECIAL RESIDENTIAL 4
AS PER MSUNDUZI LAND USE SCHEME ADOPTED 20 JUNE 2018

	PERMITTED	ACTUAL	
COVERAGE	1154.00 sqm	60.0%	327.10 sqm
F.A.R.	1154.00 sqm	60.0%	523.23 sqm

PERCENTAGE OF S.C.R.U. 1 IN RELATION TO DWELLING = 15.79%

PERCENTAGE OF S.C.R.U. 2 IN RELATION TO DWELLING = 14.93%

TOTAL OF S.C.R.U. 1 & 2 IN RELATION TO DWELLING = 30.72%

OCCUPANCY CLASSIFICATION: H 3

DRAWING
NEW DWELLING FOR
HOUSEN ABOOBAKER ALLY

PROPERTY DESCRIPTION
PORTION 5 OF ERF 393, PIETERMARITZBURG
BEING 17 JESMOND ROAD, PIETERMARITZBURG
SG CODE: N0FT02580000039300005



CELL: 083 626 0878 3593 St Johns Village,
EMAIL: admin@pdmdesigns.co.za Karkloof Road, Howick, 3290
P O BOX 326 MSUNDUZI, 3231

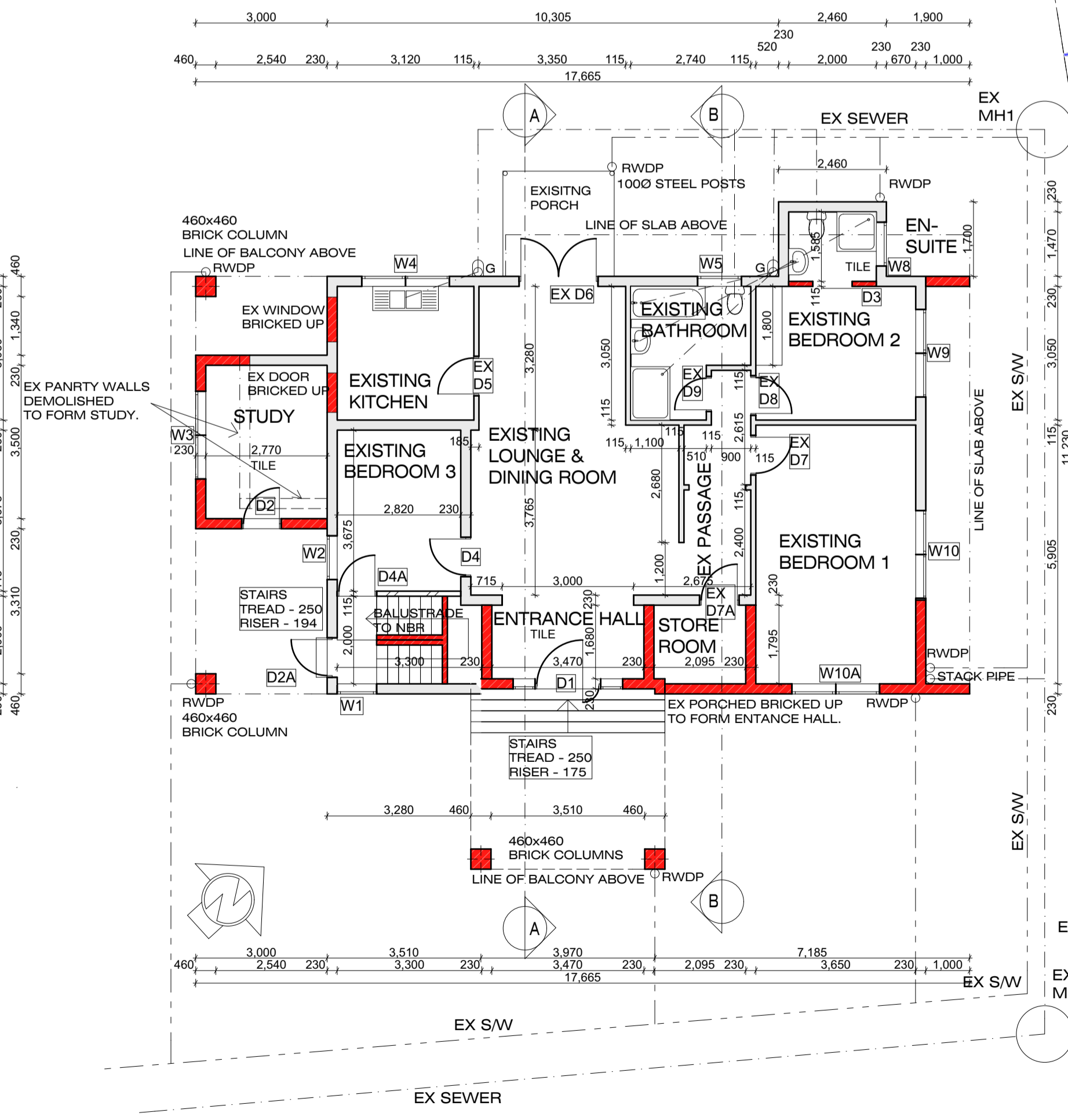
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AUTHOR: DELROY JOHN MOLONEY
PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
REGISTRATION NUMBER: ST0345

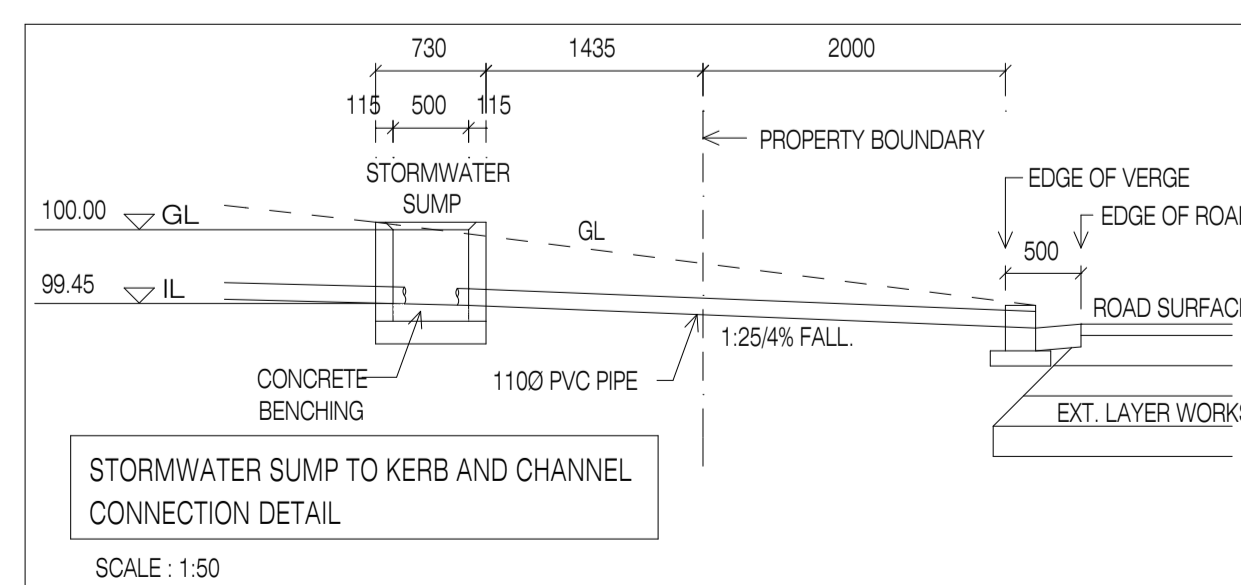
SCALES: 1:100

DATE: MARCH 2023

DRAWING NO./REVISION NO./SHEET NO.
2392/01/ OF 3

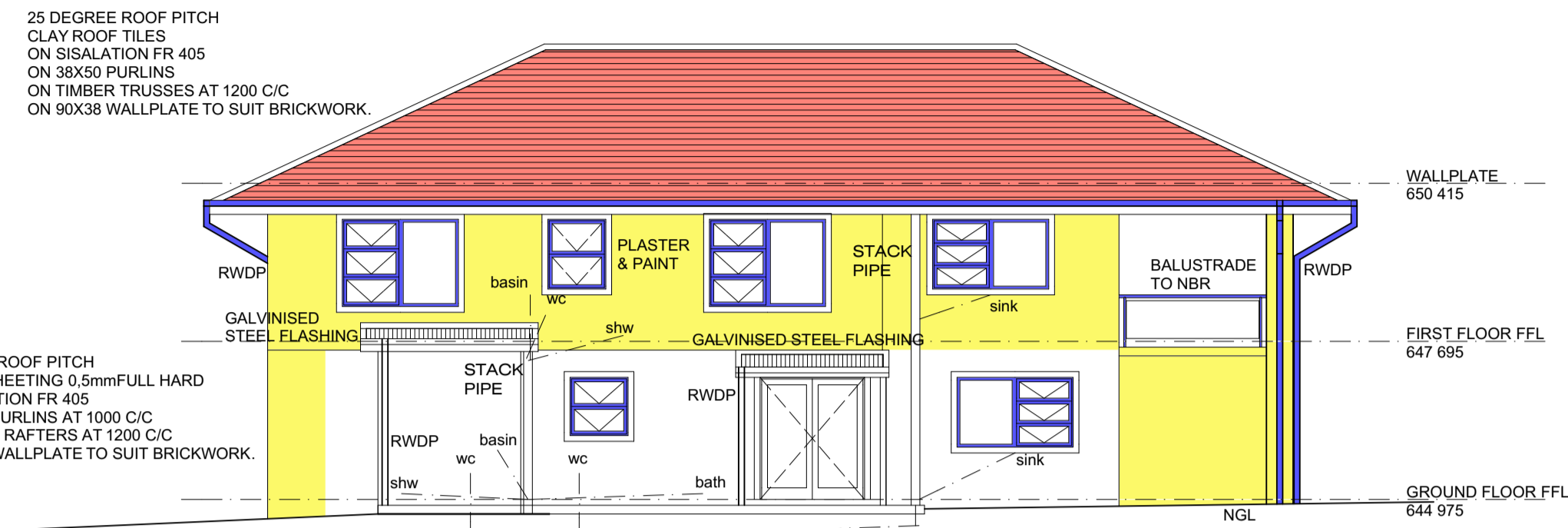


GROUND FLOOR PLAN
SCALE 1 : 100

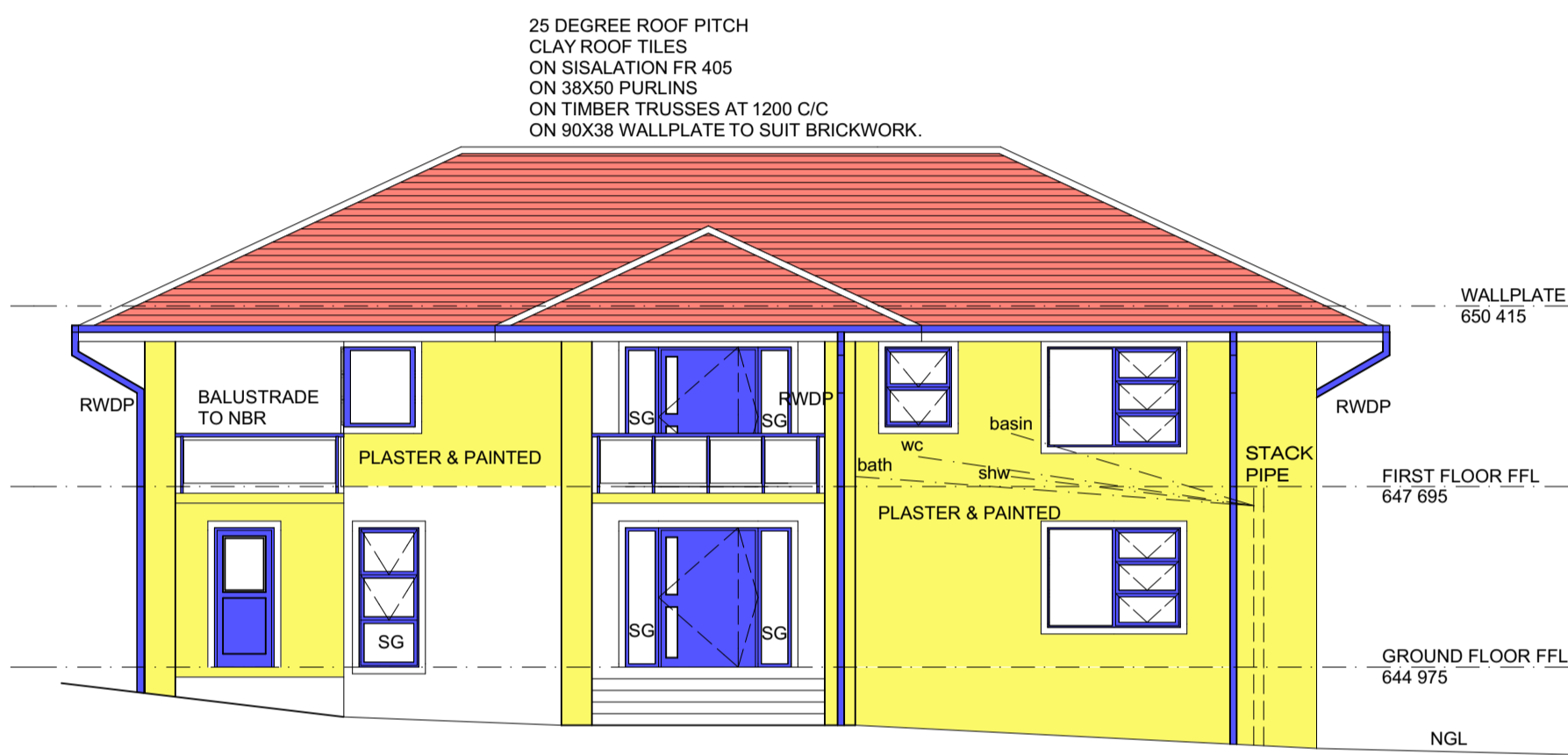


STORMWATER SUMP TO KERB AND CHANNEL
CONNECTION DETAIL

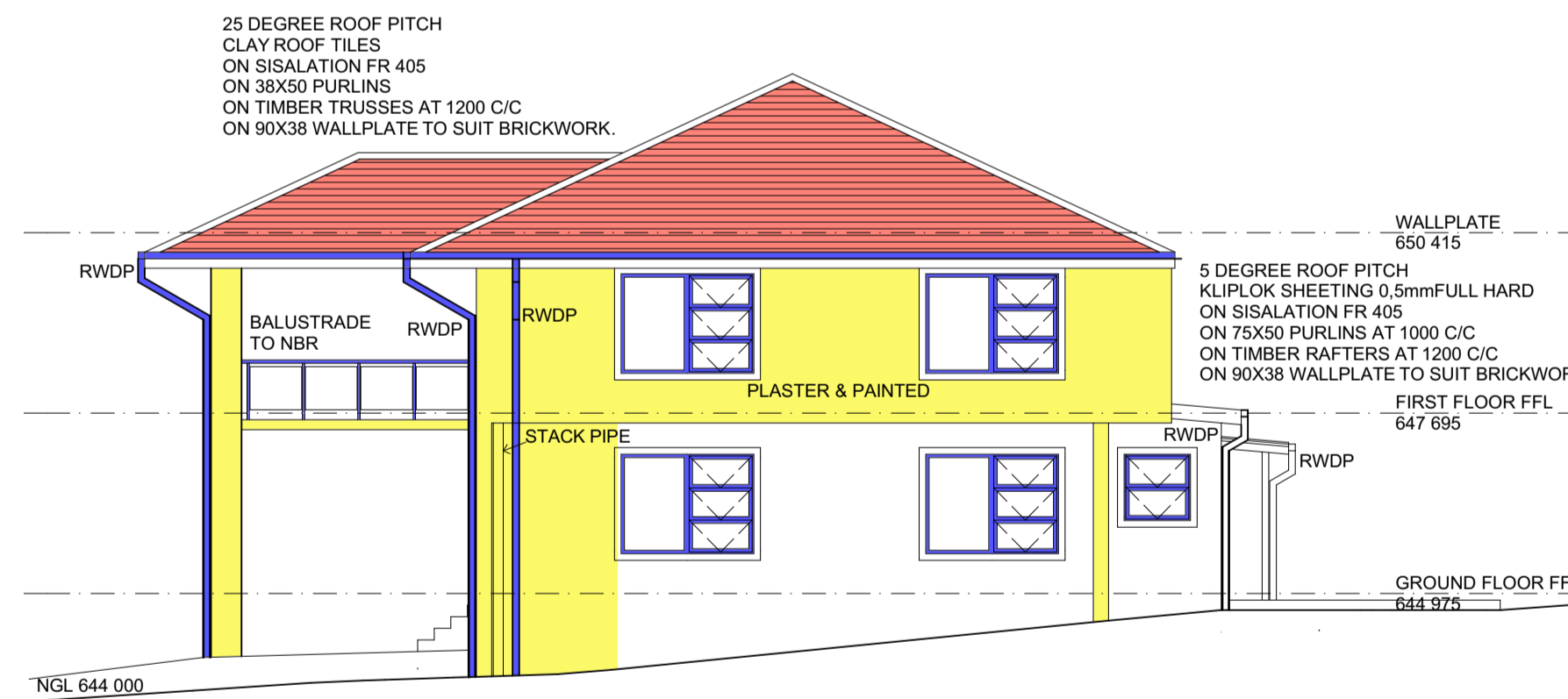
SCALE: 1:50



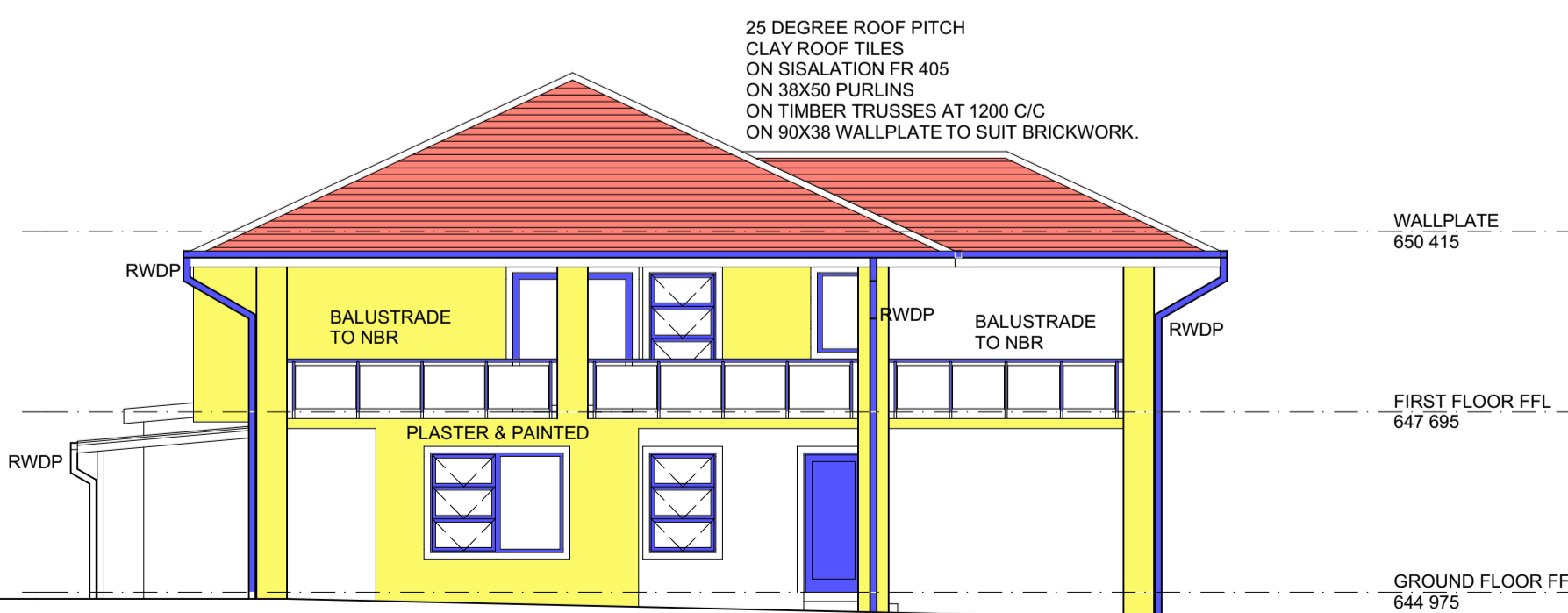
NORTH WEST ELEVATION



SOUTH EAST ELEVATION



NORTH EAST ELEVATION



SOUTH WEST ELEVATION

GENERAL NOTES :

1. ROOF : 25 DEGREE ROOF PITCH CLAY ROOF TILES ON SISALATION FR 405 ON 38X50 PURLINS ON TIMBER TRUSSES AT 1200 C/C ON 90X38 WALLPLATE TO SUIT BRICKWORK 100mm AEROLITE INSULATION TO CEILING.
2. EARTH TO BE POISONED UNDER ALL SURFACEBEDS.
3. A MINIMUM OF 3 COURSES OF BRICKWORK OR INSTARTECT LINTELS WITH A MINIMUM OF 4 COURSES BRICKWORK ABOVE ALL OPENINGS.
4. USB GREEN UNDERLAY TO ALL CONCRETE SLABS.
5. TERMINAL M.H. NOT TO BE LESS THAN 1.5m OR MORE THAN 3m FROM MUNICIPAL SEWER.
6. ALL RODDING WAYS TO BE INDICATED AT SURFACE BY MEANS OF AN I.E. COVER.
7. ALL BOUNDARY BEACONS TO BE FLAGGED BY A REGISTERED LAND SURVEYOR, PRIOR TO SETTING OUT.
8. THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED DRAWINGS TO ENSURE ALL AMENDMENTS HAVE BEEN ENDORSED THEREON AND THAT ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED BEFORE ANY BUILDING WORK IS COMMENCED WITH ANY DISCREPANCIES ARE TO BE REPORTED TO THE AUTHOR.
9. ALL FINISHES TO OWNERS SPECIFICATION, UNLESS OTHERWISE SPECIFIED.
10. EXCAVATIONS TO SIZES AS SHOWN ON PLAN OR OTHERWISE STIPULATED BY AN ENGINEER.
11. NEW STORMWATER TO NEW RW SUMPS VIA 100x100mm GUTTERS AND 100x100mm DOWNPIPES AND PIPED VIA 100mm DIAMETER STORMWATER LINE TO EXISTING MUNICIPAL STORMWATER DRAIN.
12. SAFETY GLAZING TO BE PROVIDED AND TO COMPLY WITH PART N OF THE N.B.R.S.
13. ALL NEW WALLS TO BE FOUNDED.
14. INTERNAL WALLS 600x230mm FOUNDATION, EXTERNAL WALLS 700x230mm FOUNDATION.
15. I.D. LINTELS OVER OPENINGS TO SUPPORT BRICKWORK ABOVE.
16. HANDRAILS AND BALUSTRADING TO COMPLY WITH PART M OF THE N.B.R.S.
17. DRAINAGE UNDER BUILDING TO COMPLY WITH PART P OF THE N.B.R.S.
18. NOTE THAT ANY DEVIATION FROM THE APPROVED BUILDING PLANS WILL VOID THE APPROVAL OF THE PLANS AND REVISED BUILDING PLANS WILL BE REQUIRED TO BE SUBMITTED FOR APPROVAL.

ENVIRONMENTAL HEALTH NOTES :

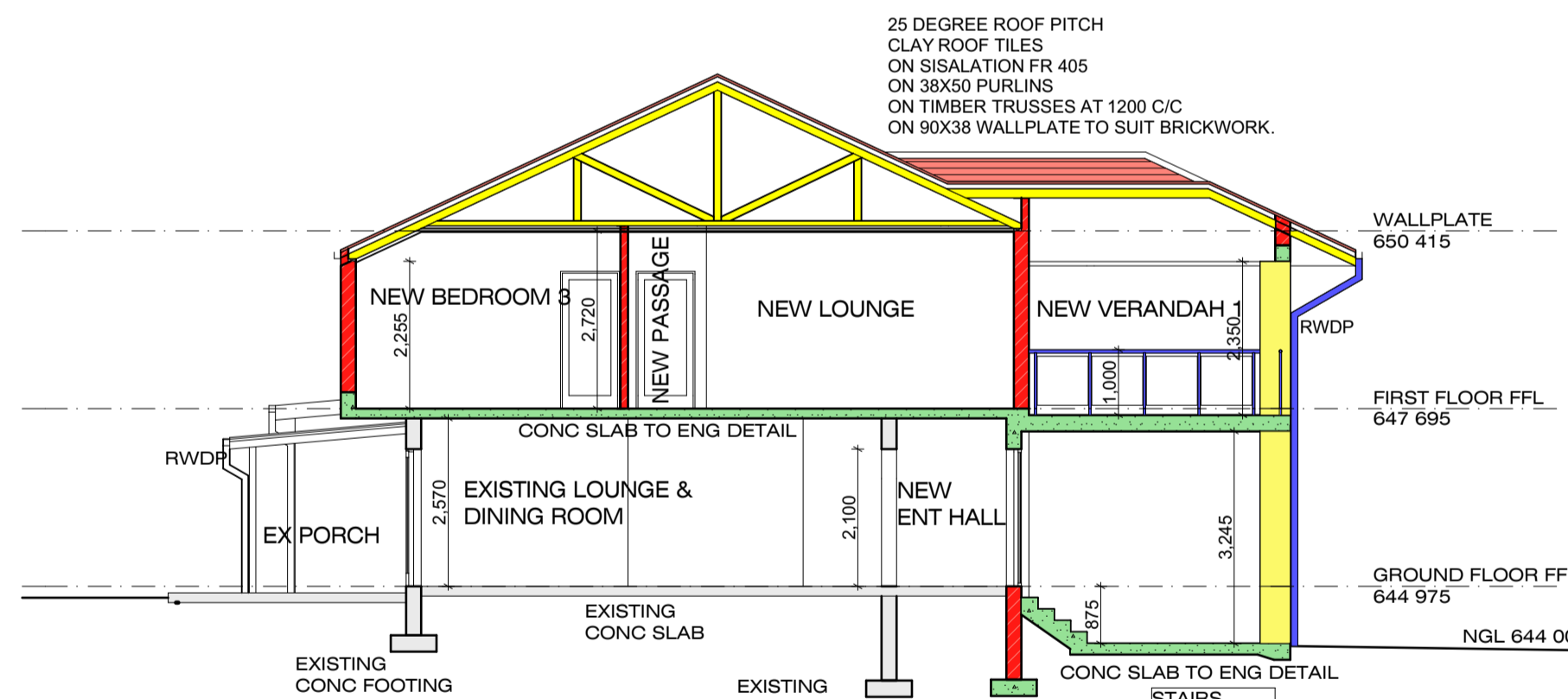
1. PREMISES TO COMPLY WITH THE TOBACCO PRODUCTS CONTROL ACT.
2. PREMISES TO COMPLY WITH THE NOISE REGULATIONS.
3. TRAINING BUILDING TO EXCLUDE THE MANUFACTURE OF FOODSTUFF.

ROADS & STORMWATER :

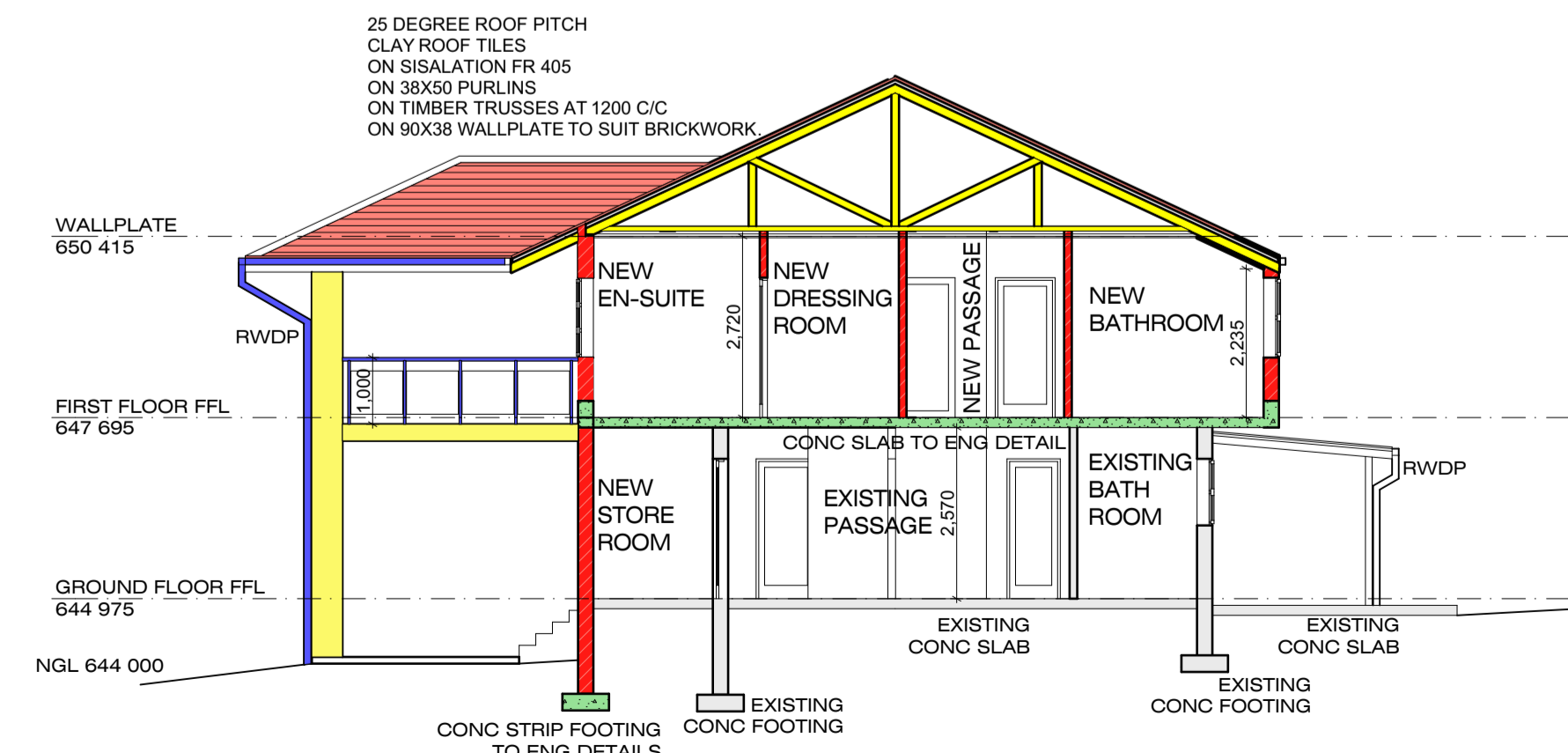
1. COUNCIL WILL NOT BE HELD LIABLE FOR ANY MALFUNCTION OF THE SOAKPIT THE OWNER WILL BE HELD TOTALLY AND LEGALLY RESPONSIBLE FOR ANY CLAIMS THAT MAY ARISE BECAUSE OF SUCH MALFUNCTION.
2. ALTERNATIVELY, A S.W.M.P. WILL BE REQUIRED.

FIRE NOTES :

1. OCCUPANCY CLASSIFICATION H 3.
2. PROVIDE 1x4.5 kg DCP (ABC)TYPE FIRE EXTINGUISHER PER 400 SQ. METRES, T 4.37.
3. FIRE EXTINGUISHERS ARE TO BE WALL MOUNTED WITH THE HANDLE AT 1.5m ABOVE GROUND LEVEL IN AN EASILY VISIBLE AND ACCESSIBLE POSITION
4. FITTED FLOOR COVERINGS MUST COMPLY WITH T 4.14.
5. COMBUSTIBLE WALL LININGS AND DECORATIVE FINISHES MUST COMPLY WITH T 4.15.
6. MARKING AND SIGNPOSTING OF EMERGENCY ROUTES AND FIRE EQUIPMENT MUST COMPLY WITH T 4.29 AND T 4.32.2.
7. ACCESS TO BUILDINGS FOR FIRE FIGHTING AND RESCUE PURPOSES MUST COMPLY WITH T 4.54.
8. SUSPENDED CEILINGS TO COMPLY WITH THE REQUIREMENTS OF T 4.13.
9. NO PART OF ANY BUILDING ON SITE IS TO EXCEED 90m FROM A FIRE HYDRANT T 4.35.4. IF ANY BUILDING EXCEEDS 90m THEN ADDITIONAL FIRE HYDRANTS ARE TO BE INSTALLED.
10. WATER SUPPLY TO FIRE HYDRANTS MUST COMPLY WITH T 4.33 AND W 4.5.
11. ACCESS TO PROPERTY MUST BE A MINIMUM OF 6m WIDE OR GREATER.
12. THE POSITION OF THE HYDRANT AND HYDRANT BOOSTER MANIFOLD CONNECTION AS WELL AS THE INTERNAL DIAMETER OF THE FEEDS SUBJECT TO DIRECTION BY THE LOCAL AUTHORITY.
13. PARTITION WALLS AND PARTITIONS TO COMPLY WITH T 4.9.
14. FIRE HYDRANTS MUST BE PROVIDED, (ONE PER 1000 sqm OF TOTAL AREA AND NOT LESS THAN ONE PER STOREY) T 4.35 TO COMPLY WITH T 4.33 AND W 4.5. DIAMETERS REQUIRED ARE INTERNAL DIAMETERS, i.e. 75mm IF FEED LESS THAN 50m OTHERWISE 100mm.
15. NATURAL OR MECHANICAL FIRE-SMOKE VENTILATION MUST BE PROVIDED AND COMPLY WITH T 4.42.
16. ANY FLAMMABLE LIQUID INSTALLATION SUCH AS FLAMMABLE LIQUID STORES, TANKS, SPRAY PAINTING FACILITIES OR LIQUID PETROLEUM GAS FACILITIES MUST COMPLY WITH THE PIETERMARITZBURG BY-LAWS RELATING TO FIRE PREVENTION AND FLAMMABLE LIQUIDS AND SUBSTANCES, AND THE RELEVANT SABS CODES, AND MUST BE REGISTERED WITH THE FIRE DEPARTMENT.
17. 30m FIRE HOSE REELS MUST BE PROVIDED TO AFFORD COVERAGE TO THE ENTIRE BUILDING, MINIMUM 1 PER 500 sqm OR PART THEREOF.
18. SAFETY DISTANCE TO COMPLY WITH T4.2.
19. ACCESS TO BUILDING FOR FIREFIGHTING AND RESCUE PURPOSES MUST COMPLY WITH T 4.56, AND BE NOT LESS THAN 4.5m IN WIDTH AND HEIGHT RESPECTIVELY IF A CONTROLLED ENTRANCE WAY IS TO BE INSTALLED.
20. THE BUILDING MUST BE EQUIPPED WITH A FIRE DETECTION AND ALARM SYSTEM. (T 4.31.1B)
21. FIRE ESCAPE DOORS MUST BE HINGED AND OPEN IN THE DIRECTION OF TRAVEL.
22. ALL LOCKING DEVICES FITTED TO FIRE DOORS, EXIT DOORS, OR DOORS IN AN EMERGENCY ROUTE MUST BE APPROVED BY THIS DIVISION. KEY IN BOXES NOT PERMITTED T4.16.9
23. A MANUALLY ACTIVATED AUDIBLE ALARM SYSTEM IN ACCORDANCE WITH SANS 10139 TO BE PROVIDED. T4.31.3 (A1, A2, C1, F1)
24. AIR-CONDITIONING AND VENTILATION SYSTEM MUST COMPLY WITH T4.43.
25. FIRE STOPPING IN INACCESSIBLE CONCEALED SPACES MUST COMPLY WITH T4.39.
26. PROTECTION IN SERVICE SHAFTS MUST COMPLY WITH T4.40.
27. SERVICES IN STRUCTURAL OR SEPARATING ELEMENTS MUST COMPLY WITH T4.41.
28. FIRE RESISTANCE OF OCCUPANCY AND DIVISION SEPARATING ELEMENTS TO COMPLY WITH T4.6.
29. PROVISION OF ESCAPE ROUTES TO COMPLY WITH T4.16.
30. PROVIDE 1x5 kg CO2 (ABC) TYPE FIRE EXTINGUISHER PER 100 SQ. METRES, T 4.37.9
31. GUEST HOUSE AND BED AND BREAKFAST ACCOMADATION TO COMPLY WITH T4.58
 - a) BE PROVIDED WITH SUITABLE SELF-CONTAINED LUMINARIES THAT ACTUATE AUTOMATICALLY, IN ALL PASSAGES AND CORRIDORS LEADING TO AN EXIT;
 - b) BE FITTED WITH A SUITABLE SMOKE ALARM THAT COMPLIES WITH THE REQUIREMENTS OF THE RELAVANT PART OF EN 14064, AND THAT IS AUDIBLE IN ALL AREAS WITHIN THE BUILDING, AS FOLLOWS: 1) IN EACH SEPARATE SLEEPING ROOM; 2) IN ANY KITCHEN;
 - 3) AT A CENTRAL POINT IN A PASSAGE OR CORRIDOR LEADING TO ONE OR MORE SLEEPING ROOMS;
 - c) BE PROVIDED WITH HOSE REELS IN ACCORDANCE WITH THE REQUIREMENTS OF T4.34;
 - d) HAVE DOORS LEADING TO THE OUTSIDE OF THE BUILDING FITTED WITH LOCKES THAT CAN BE OPENED FROM THE INSIDE WITHOUT ANY SPECIAL TOOL, IN THE CASE OF AN EMERGENCY.
32. A SUITABLE AND APPROVED EMERGENCY PLAN AND EVACUATION ROUTE, WHICH INFORMS GUESTS AS TO WHAT ACTION SHOULD BE TAKEN IN THE EVENT OF A FIRE, SHOULD BE AFFIXED TO THE BACK OF EVERY GUEST ROOM DOOR. SUCH PLAN SHOULD INCLUDE THE:
 - a) THE ACTION TO BE TAKEN BY THE PERSON DISCOVERING THE FIRE;
 - b) THE ACTION TO BE TAKEN FOR EVACUATION OF THE BUILDING AND ASSURING ACCOUNTABILITY OF THE OCCUPANTS;
 - c) THE ACTION TO BE TAKEN PENDING THE ARRIVAL OF THE EMERGENCY SERVICES; AND
 - d) THE EVACUATION FLOOR PLAN THAT IDENTIFIES EXIT DOORS AND WINDOWS.
33. A SPRINKLER FIRE PROTECTION SYSTEM TO BE FITTED TO ANY BUILDING WITH A FLOOR AREA OVER 2500 sqm. THIS SYSTEM IS TO BE DESIGNED BY A COMPETENT FIRE ENGINEER.
34. IF EXISTING FIRE EQUIPMENT DOES NOT AFFORD 100% COVERAGE TO ALTERATIONS OR ADDITIONS, ADDITIONAL FIRE EQUIPMENT MUST BE PROVIDED.
35. HOSE REELS FOR THE PURPOSE OF FIRE FIGHTING SHALL BE INSTALLED IN ANY BUILDING OF TWO OR MORE STOREYS IN HEIGHT OR IN ANY SINGLE STOREY BUILDING OF MORE THAN 250m² IN FLOOR AREA AT A RATE OF ONE PER 500m² OR PART THEREOF. T4.34.1



SECTION A - A



SECTION B - B

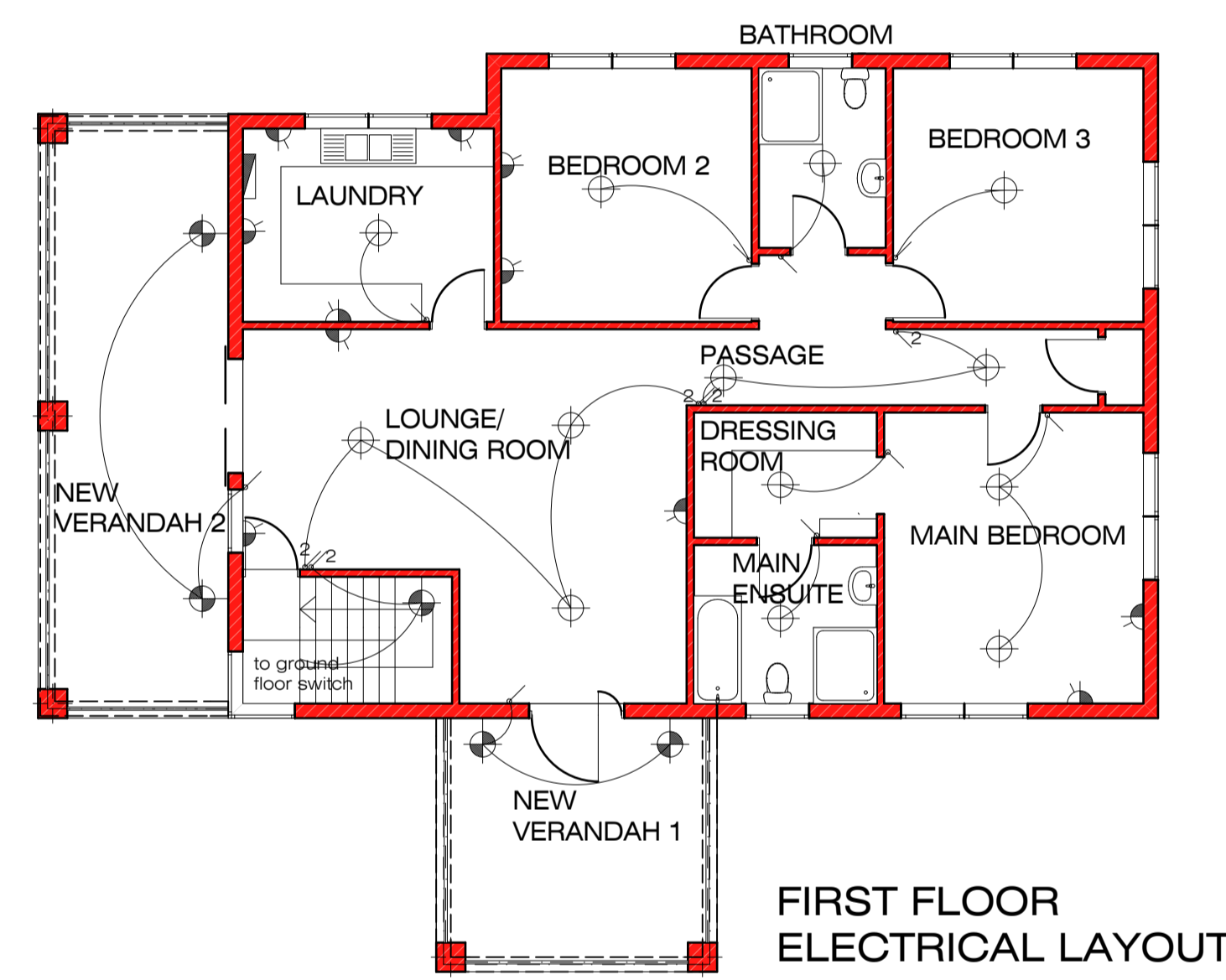
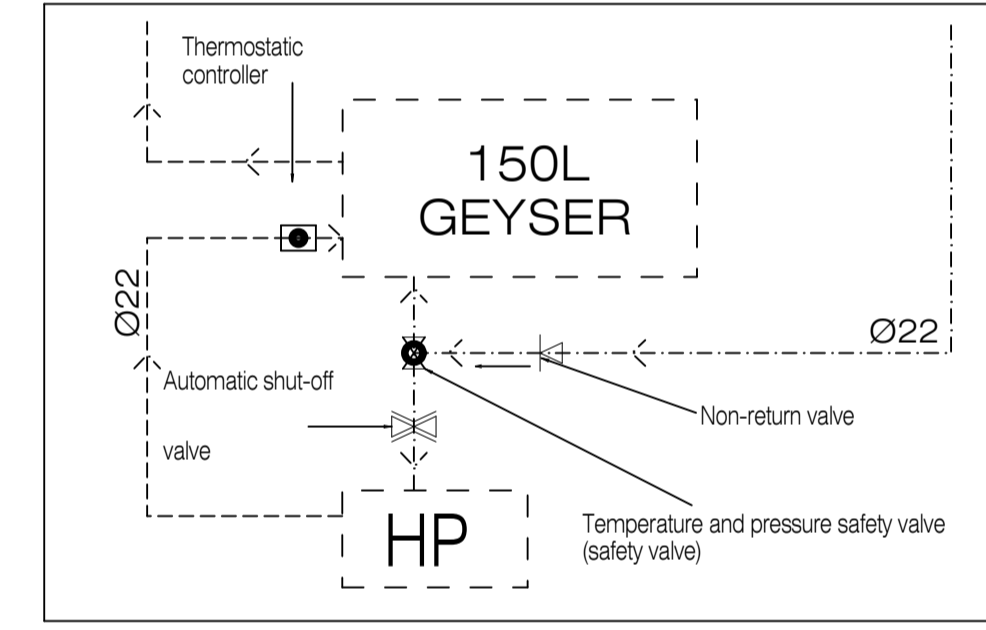
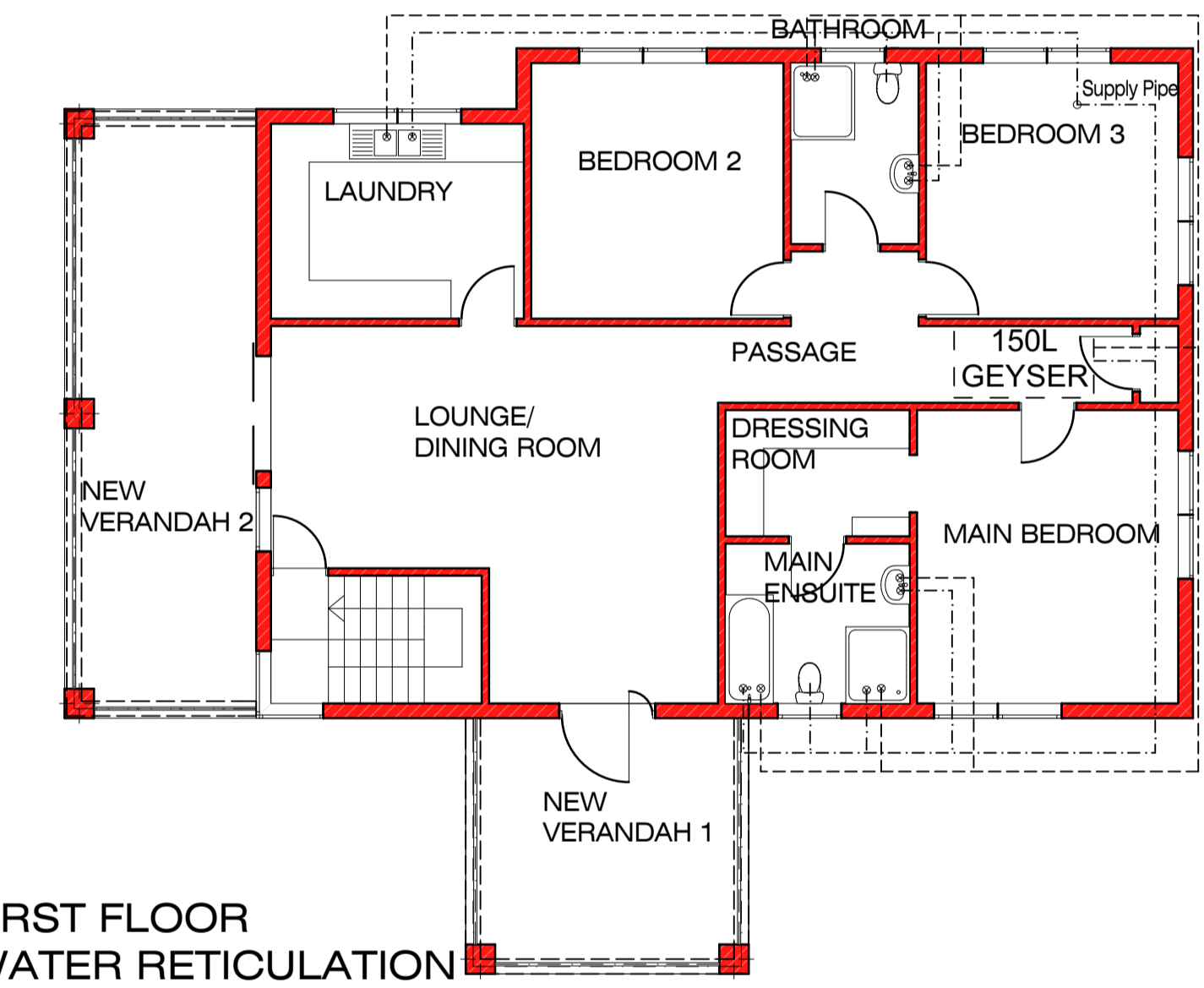
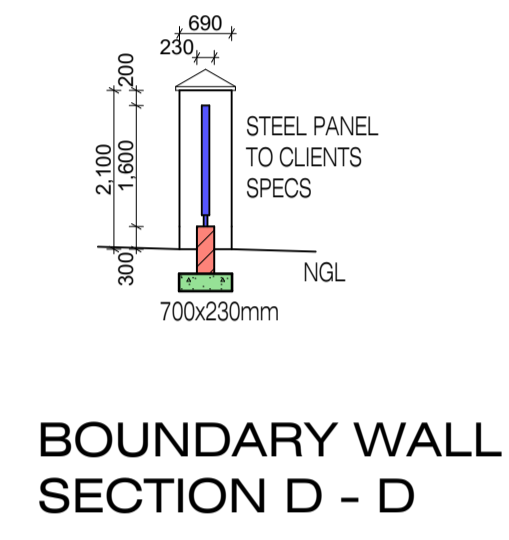
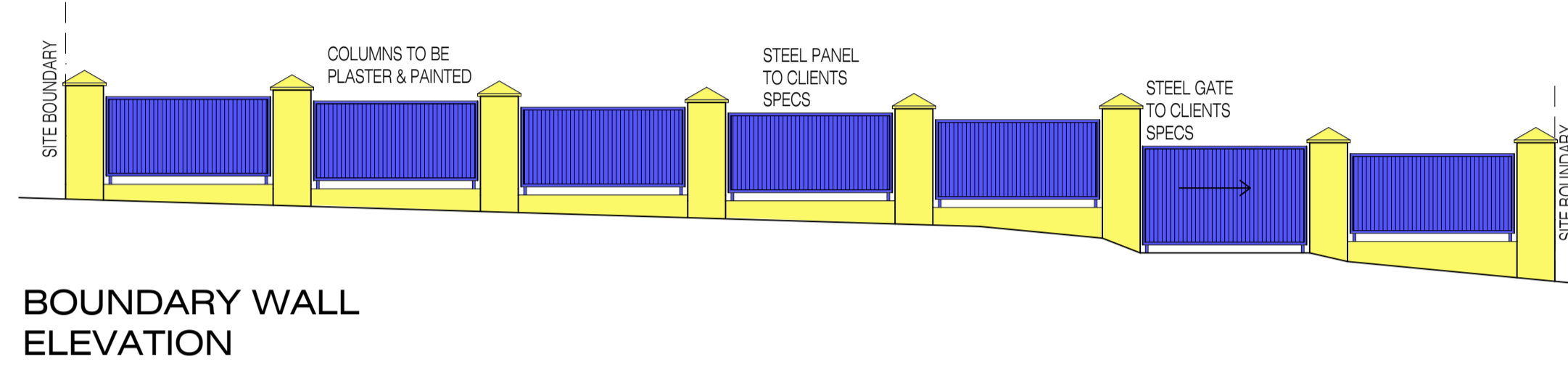
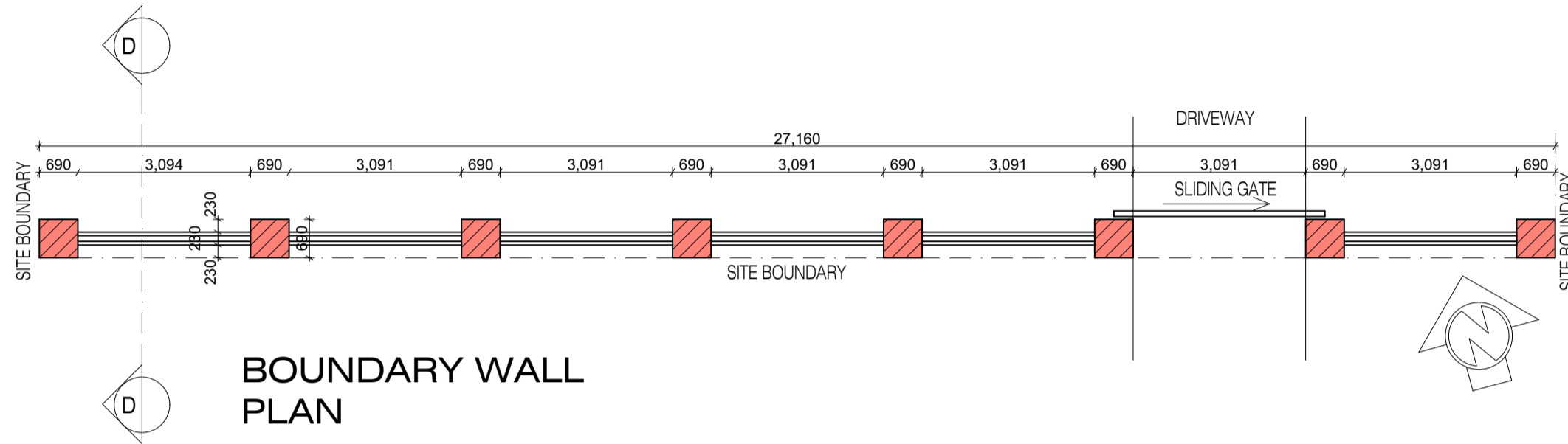
OCCUPANCY CLASSIFICATION: H 3	
DRAWING NEW DWELLING FOR HOUSEN ABOUBAKER ALLY	
PROPERTY DESCRIPTION PORTION 5 OF ERF 393, PIETERMARITZBURG BEING 17 JESMOND ROAD, PIETERMARITZBURG SG CODE: N0FT0258000039300005	
 PLANNING AND DESIGNS (Pty) Ltd REGISTRATION NUMBER: 2017/092527/07 ARCHITECTURAL DESIGN AND DEVELOPMENT CONSULTANT	
CELL: 083 626 0878 3593 St Johns Village, EMAIL: admin@djmdesigns.co.za Karkloof Road, Howick, 3290 P O BOX 326 MSUNDUZI, 3231	
COPYRIGHT VESTS WITH DJM PLANNING AND DESIGNS	
AUTHOR: DELROY JOHN MOLONEY PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST REGISTRATION NUMBER: 570345	
SCALES: 1:100	AUTHORS SIGNATURE
DATE: MARCH 2023	OWNERS SIGNATURE
DRAWING NO./REVISION NO./SHEET NO. 2392/0/2 OF 3	

OFFICIAL STAMPS	
LAND SURVEY DEPARTMENT	
TOWN PLANNING DEPARTMENT	
BUILDING SURVEY DEPARTMENT	

WINDOW & DOOR SCHEDULE

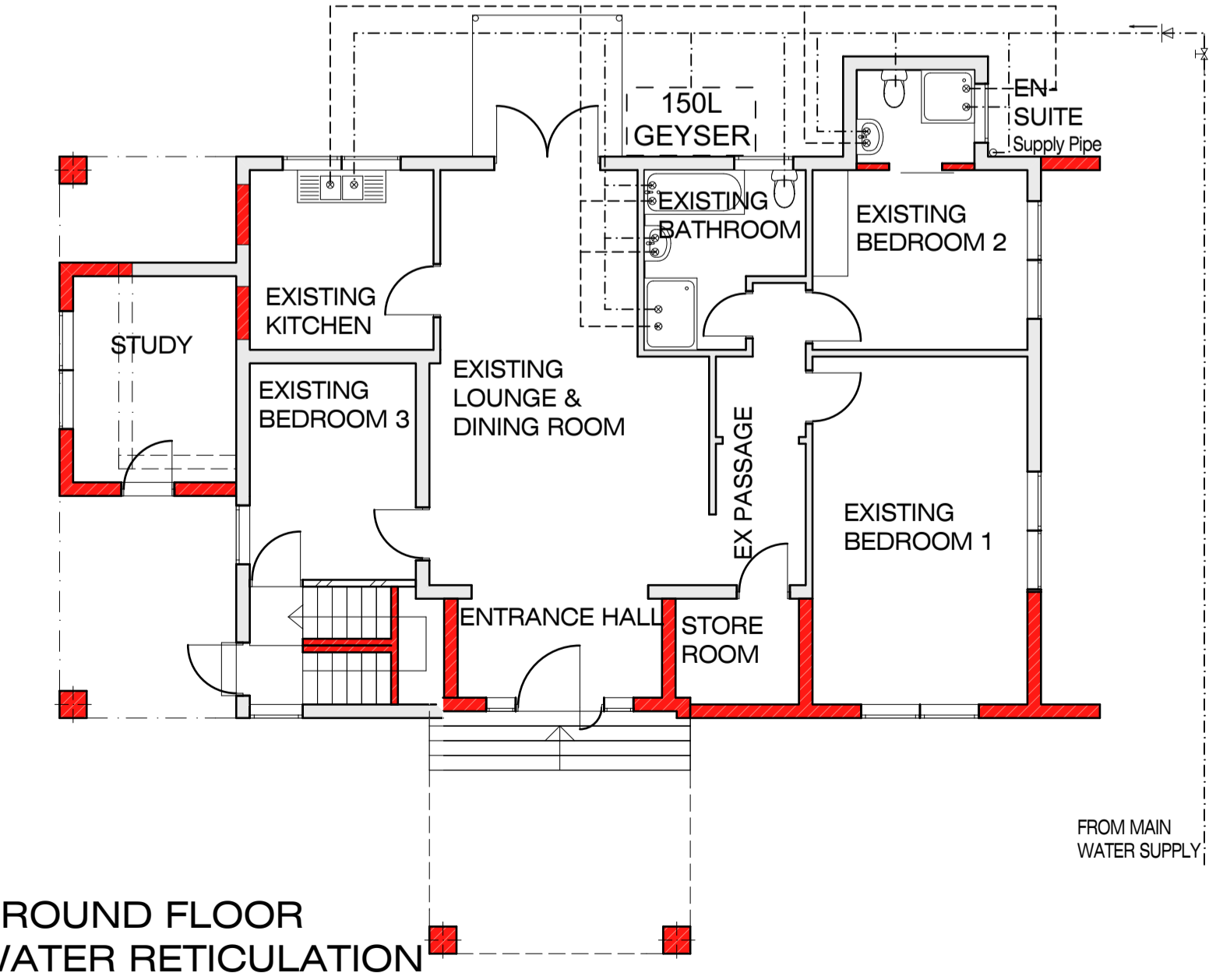
ALL INTERIOR TIMBER DOORS TO BE HOLLOWCORE FLUSH OR SHALLOW MOULDED FINISH TO OWNERS SPECIFICATIONS.
ALL EXTERIOR DOORS TO BE ALUMINIUM TO OWNERS SPECIFICATIONS.

W3, W10, W10A, W15, W15A, W18, W18A, W18B ALUMINIUM WINDOW No. OF = 8 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS L.A. = 3,00 sqm. V.A. = 1,50 sqm.	W4, W14 ALUMINIUM WINDOW No. OF = 2 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS L.A. = 2,40 sqm. V.A. = 1,20 sqm.	W12, W13 ALUMINIUM WINDOW No. OF = 2 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS L.A. = 1,20 sqm. V.A. = 0,00 sqm.	W2, W11, W16, W17 ALUMINIUM WINDOW No. OF = 4 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS L.A. = 1,20 sqm. V.A. = 1,20 sqm.	W5, W8 ALUMINIUM WINDOW No. OF = 2 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS L.A. = 1,00 sqm. V.A. = 1,00 sqm.	W1 ALUMINIUM WINDOW No. OF = 1 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS L.A. = 1,89 sqm. V.A. = 1,16 sqm.	D1, D11 ALUMINIUM PIVOT DOOR No. OF = 2 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS AREA = 5,52 sqm	D18 ALUMINIUM DOOR No. OF = 1 GLAZING = 4mm SINGLE - CLEAR MONOLITHIC ANNEALED GLASS AREA = 3,78 sqm.	EX D6: TIMBER DOOR No. OF = 1 AREA = 3,78 sqm.	D2, D2A, D10, D10A ALUMINIUM DOOR No. OF = 4 AREA = 1,89 sqm.	D4, D4A, EXD5, EXD7, EXD7A, EXD8, EXD9, D12, D13, D13A, D14, D15, D16, D17 TIMBER HOLLOW CORE DOOR No. OF = 14 AREA = 1,89 sqm	D3 TIMBER SLIDING HOLLOW CORE DOOR No. OF = 1 AREA = 1,89 sqm



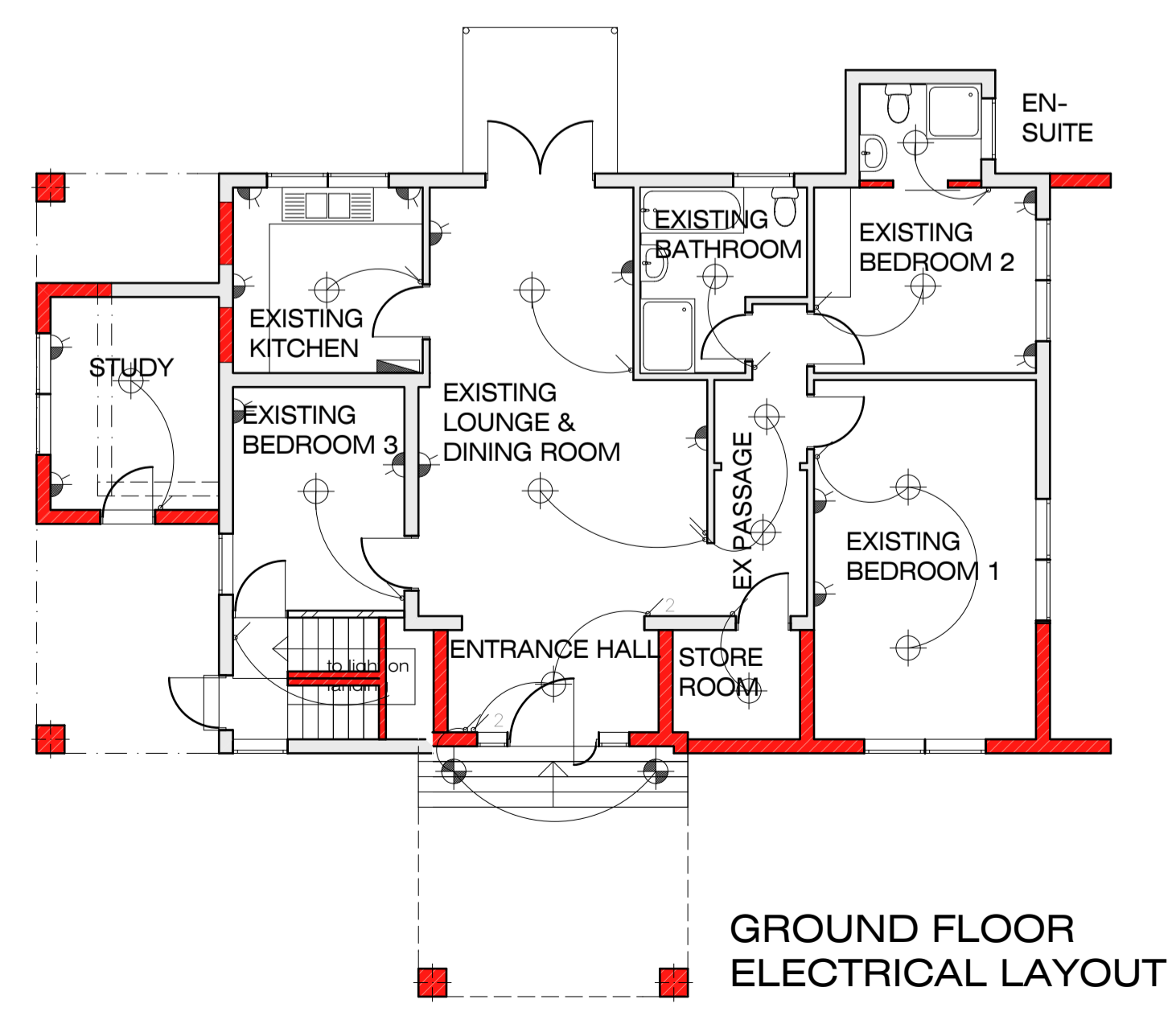
ELECTRICAL LEGEND

- Distribution board 1500 above floor level.
- Ceiling mounted light fitting, (15W CFL)
- Outside waterproof wall light, (15W CFL)
- 15 Amp Pluggpoint.
- Double 15 Amp Pluggpoint.
- Light switch 1240 above floor level.
- Two-way light switch.



LEGEND

- Cold Water
- Hot Water (lagged pipe)
- Heat Pump
- 150 Litre Geysers
- Automatic shut-off valve
- Temperature and pressure safety valve (safety valve)
- Non-return valve
- Thermostatic controller
- Stop cock
- Tap mixer
- Supply Pipe
- Ø15 Ø15mm pipe
- Ø22 Ø22mm pipe
- Ø32 Ø32mm pipe Communication Pipe
- Water Heater
- Sewer Line (Existing & Proposed)
- Storm Water Line (Existing & Proposed)



OCCUPANCY CLASSIFICATION: H 3

DRAWING
NEW DWELLING FOR
HOUSEN ABOOBAKER ALLY

PROPERTY DESCRIPTION
PORTION 5 OF ERF 393, PIETERMARITZBURG
BEING 17 JESMOND ROAD, PIETERMARITZBURG
SG CODE: NOFT02580000039300005

PLANNING AND DESIGNS (Pty) Ltd
REGISTRATION NUMBER: 2017/092527/07
ARCHITECTURAL DESIGN AND DEVELOPMENT CONSULTANT

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EMAIL: admin@pdmdesigns.co.za Karkloof Road, Howick, 3290
P O BOX 326 MSUNDUZI, 3231

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AUTHOR: DELROY JOHN MOLONEY
PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
REGISTRATION NUMBER: ST0345

SCALES: 1:100

DATE: MARCH 2023

DRAWING NO./REVISION NO./SHEET NO.
2392/0/3 OF 3

OFFICIAL STAMPS

LAND SURVEY DEPARTMENT

TOWN PLANNING DEPARTMENT

BUILDING SURVEY DEPARTMENT