

- GENERAL NOTES:**
- All work to comply with SANS 10400 and Local Municipal By-Laws.
 - Boundary beacons to be exposed and checked prior to the commencement of work.
 - All dimensions, angles and levels to be checked on site before work is put to hand.
 - Architect to be notified of discrepancies prior to the undertaking any work.
 - Drawings are not to be scaled; figured dimensions to be used only. All dimensions unless otherwise specified in millimetres.
 - Structural, Structural, Civil drawings.
 - All glazing to comply with NBR SANS 10400-N 2010 9th Edition.
 - All glazing to be in accordance with SANS 10400-N.
 - All balustrading to be minimum one meter high and to comply with the requirements of SANS 10400 - D.
 - All stairs to comply with SANS 10400-M.
 - Soil Poisoning in to be in accordance with SABS 0124.

STRUCTURAL NOTES:

- The following to Professional Structural Engineer's Detail:
 - Soil Excavation and Filling.
 - Foundations, RC Floor Slabs, Beams and Columns.
 - Note: Foundations are not to encroach Services and/or Boundaries.
 - Perimeters to all non-beam openings
 - On slabs, concrete, to be cleared and rubbed down
- all structural work, rc slabs, columns, foundations, pc lintels over openings & walls to engineers design & details foundations & slabs on fill to engineers details

HEALTH NOTES:

Artificial Lighting & Ventilation to comply with SANS 10400-O where not ventilated directly to open air, to be mechanically vented with fresh air at a minimum rate of 25 l/s per person, with a velocity not exceeding 0.5 m/s or less than 0.2 m/s artificial lighting to be minimum 350 lx.

SETTING OUT: THE BUILDINGS TO BE SET OUT BY PROFESSIONAL LAND SURVEYOR USING ELECTRONIC MEDIA

DRAINAGE

all sanitary fittings to be trapped in accordance with local authority by laws. inspection eyes to be provided at all bends, junctions and change in direction all gully surrounds and manhole covers to be 75mm above gnd. anchor blocks to be provided where gradient exceeds 1:5. 1000 upvc ribbed pipe laid where any structure passes over sewer line being protected from any loads imposed on the drain

- - - - - 0 100 PVC SEWER PIPE @ MIN 1:50 FALL
 - - - - - 0 100 PVC STORMWATER PIPE @ MIN 1:50 FALL
 1000 upvc ribbed pipe laid where any structure passes over sewer line being protected from any loads imposed on the drain

- GENERAL NOTE**
- all dimensions to be checked on this drawing prior to commencement of work or manufacture of pre-constructed components; discrepancies are to be brought to the attention of the author of this drawing.

2. STRUCTURAL ENGINEER:
all reinforced concrete, foundations, retaining walls, columns, slabs & surface heads to be designed and supervised by a professional engineer. This drawing is to be read in-conjunction with necessary structural engineer details.

3. DRAINAGE:

where drains pass under buildings they are to be protected to the satisfaction of the senior drainage inspector. existing municipal drain & connection levels to be confirmed prior to commencement of new drainage installation. inspection eyes at all junctions. 10400 part p all drainage to comply with sabs 10400 part p for stormwater drainage refer to engineers drawings.

4. GLAZING:
all glazing to comply with sabs 10400 part n, sabs 0137 & aasmasa regulations

5. ARTIFICIAL VENTILATION:

internal bathrooms to be supplied with outside air at a rate of 25 litres per second

6. NATURAL LIGHTING:
all habitable rooms to be provided with glazed openings with a total area not less than 10% of the floor area of the room in compliance with sabs 10400 part o

7. NATURAL VENTILATION:
all habitable rooms to be provided with opening windows or doors in an external wall with a total area not less than 5% of the floor area of the room in compliance with sabs 10400 part o

8. PLUMBING:
all plumbing to comply with the local municipal by-laws all wc flushing systems to be provided with overflows to external walls, and of overflow pipes to be visible

9. Boundary beacons to be flagged by a registered land surveyor

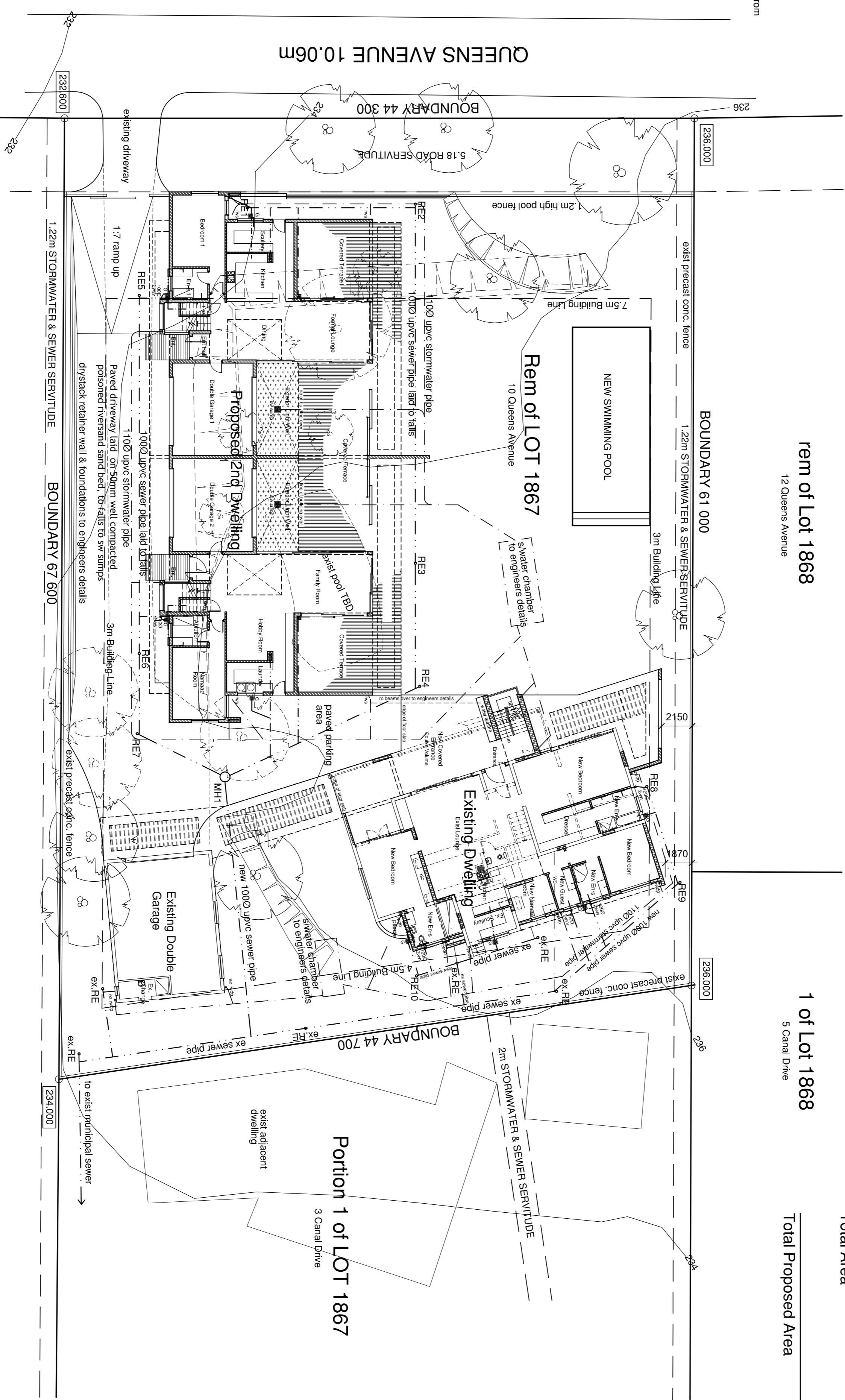
10. The contractor is to inspect the official approved copies of the drawing for any amendments or imposed conditions of approval and where local authority or government building regulations require more stringent requirements than shown on this drawing they are to be complied with after obtaining the owners consent.

11. The omission of any information on this drawing does not prepose the omission by the contractor.

12. compliance of all requirements of sabs 10400 to be to consultants detail regulations

SCHEDULE OF AREAS

Site Area	2846.00 m ²	Exist. Dwelling :	153.09 m ²
Nett Site Area	2617.00 m ²	Exist. Ground Floor	52.06 m ²
		Exist. Covered Verandah	55.66 m ²
		Proposed Additions	22.34 m ²
Permitted Coverage (30%)	785.10 m ²	Proposed Cov'd Entrance	
Exist. Coverage (dwel. +garage)	281.90 m ²	Exist. First Floor to Open Terrace	53.86 m ²
New 2nd Dwelling Coverage	371.90 m ²	Proposed Open Terrace	32.48 m ²
Adds to Existing Dwell. Coverage	78.00 m ²	Exist. double Garage	76.75 m ²
Total Coverage	731.80 m ²		
Coverage In Hand	53.30 m ²		
Permitted F.A.R (0.3)	785.10 m ²	New 2nd Dwelling :	
Exist F.A.R (ground fl dwel.)	153.09 m ²	Proposed Ground Floor Residence	240.58 m ²
Proposed F.A.R (2nd dwel.)	568.32 m ²	Proposed Cover'd Terraces/Ent	199.81 m ²
Proposed F.A.R (ex dwel.)	55.66 m ²	Proposed Garages	81.65 m ²
Total F.A.R	777.07 m ²	Proposed First Floor Residence	327.74 m ²
FAR In hand	8.03 m ²	Proposed Open Balc./Terraces	147.49 m ²
		Total Area	1443.51 m ²
		Total Proposed Area	1 110.75 m ²



SITE PLAN

Scale 1:200

NEIGHBOUR'S NAME	ADDRESS	IDENTITY NUMBER	TEL./CELL NUMBER	SIGNATURE
exist adjacent building				
exist adjacent building				
exist adjacent building				

Client's Signature:



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PROPOSED 2nd DWELLING & ADDITIONS & ALTERATIONS TO EXISTING DWELLING ON REM OF ERF 1867 WESTVILLE AT 10 QUEENS AVENUE FOR

The SUBMISSION: SITE PLAN

Drafting No	100
Date	19 JULY 2017
Scale	1:100 (A1)