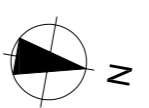
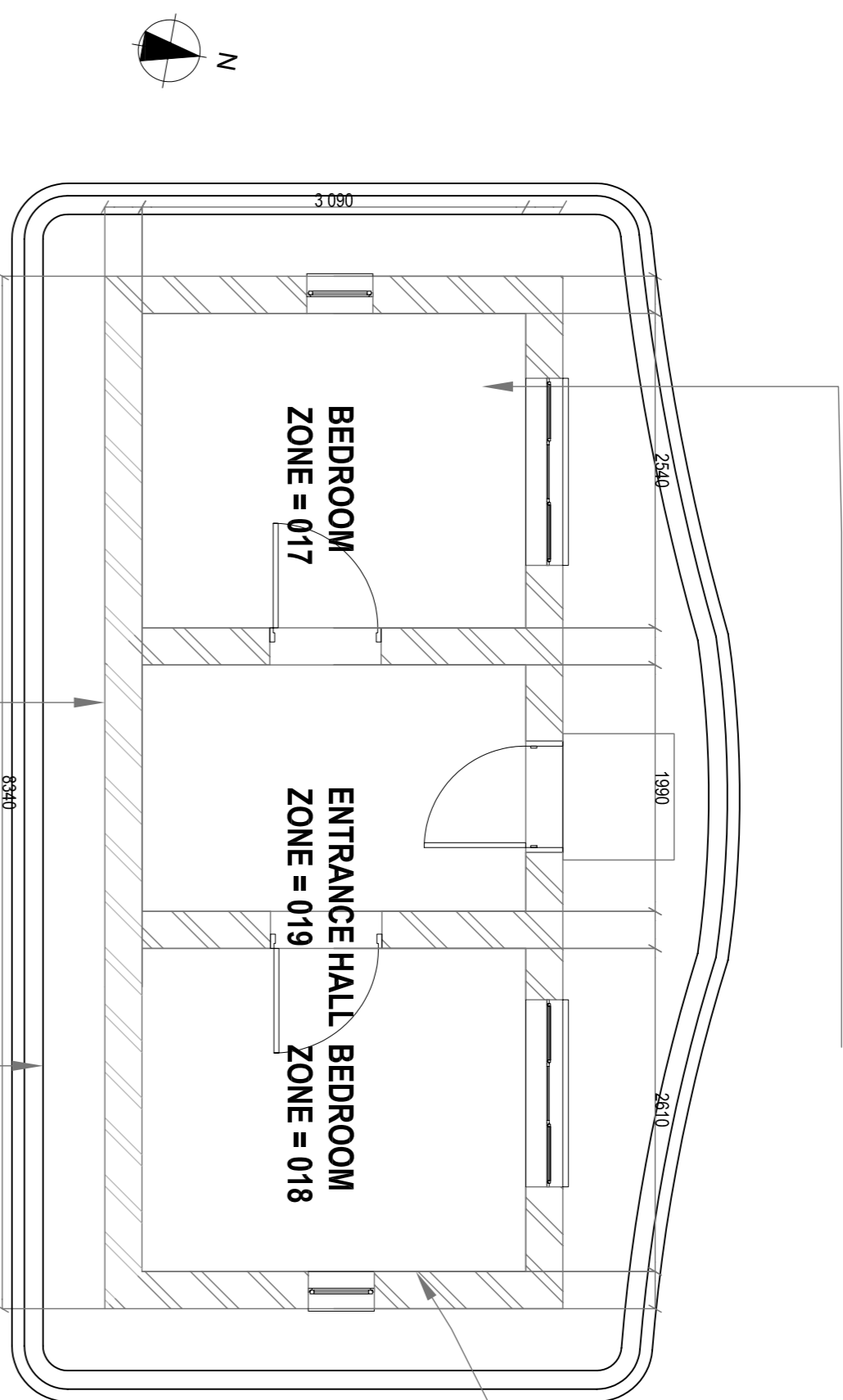


Floor Treatment:
All existing floor coverings to be removed. Floor to be inspected for defects and all damage to be repaired to architect. If structural defects are found, then after consultation with architect, the floor topping in the affected areas is to be removed and replaced with a new layer of atleast 30mm in depth to match existing.

Repairs to Floors:
Where damaged, the floor covering will be chipped back and refilled with a 30mm sand/cement screed. The screed will be mixed as 1 part cement and 4 parts sand. The finish will match existing.



Existing Foundations:
Expose the existing foundations all around to confirm the structural integrity. Areas of concrete that are structurally deficient shall be replaced with 20MPa concrete under the existing foundations where necessary to add support.

Area around House:
Ground within 500mm band of the building circumference to be dug out to a depth of approximately 150mm and replaced with a compacted 1:1.5 cement clay soil mix. Drainage channel of 100mm in width and 60mm depth to be carved into circumference. Ground around roofed to be gently sloped at 2 degrees towards drainage channel. Newly compacted surface to be covered in loosely laid stones. Water sump and 150mm diameter drainage pipe to be constructed below ground and covered with compacted 1:1.5 cement clay soil mix.

Interior:
Interior walls to be sofly cleaned using sugar scoup and steel wool. Furniture to be sofly cleaned using sugar scoup and steel wool.

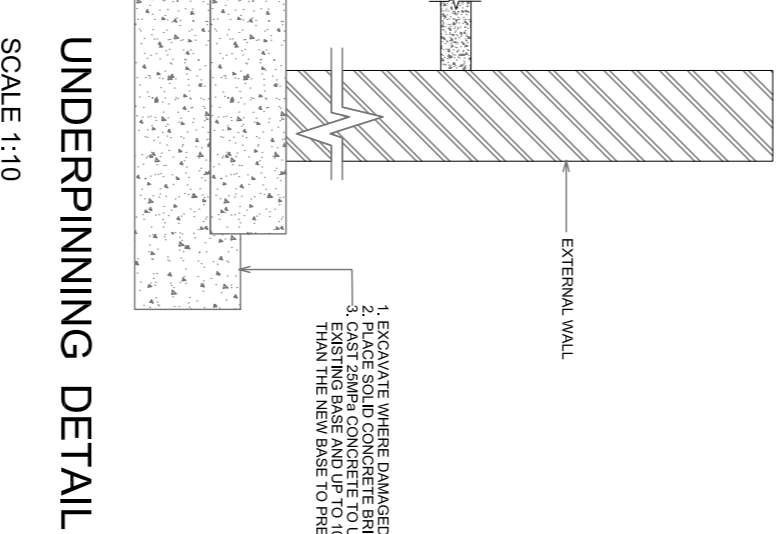
Repair to Walls:
1) Walls which exhibit plaster cracking only will have the plaster chipped back and re-plastered with a standard mortar mix of 1 part sand to 4 parts building sand.
2) Walls which are cracked into the blocks will have the blocks removed and replaced. The mortar lines will have Y10mm reinforcement bars placed in them such that 500mm extends either side of the crack. Once fixed in the wall will be plastered as usual.

Tension Ties:
Three courses of the whole building will have full height Y10mm reinforcement bars set around, to act as a tie. Bars will be done by cutting into the mortar between courses and then being finished with the external plaster matched.

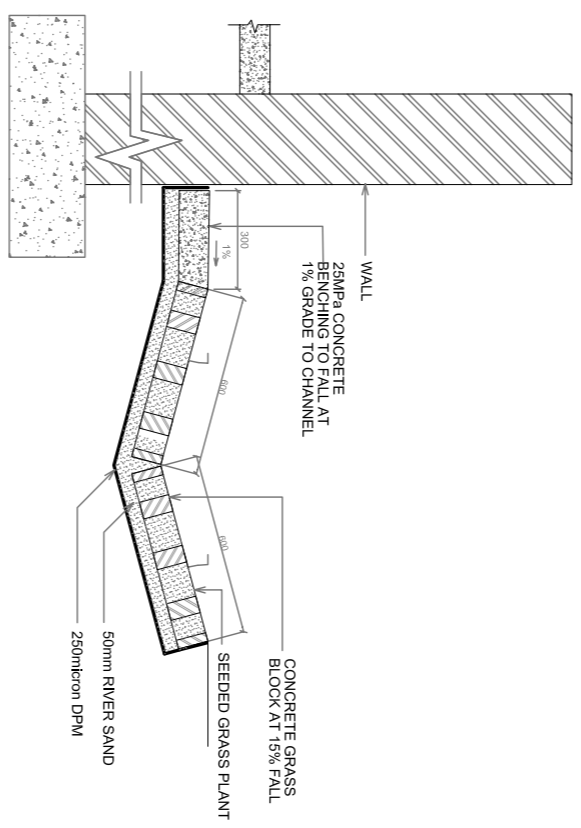
Architect and Engineer to be consulted on the selection of timber roofing members prior to erection. Corrugated iron roof to be carefully replaced with sheeting to match existing. Care to be taken as to not disturb the building integrity in any way. Corrugated iron roof to be replaced with sheeting to match existing. Existing timber fascia to be replaced to match existing. Rough sawn timber fascia to be 150x38mm match size of existing fascia. Pulfers 76x50 VS SA Pine. Rafterns 114x38 and 152x38 VS SA Pine to match existing sizes.

WEST ELEVATION
SCALE 1:100

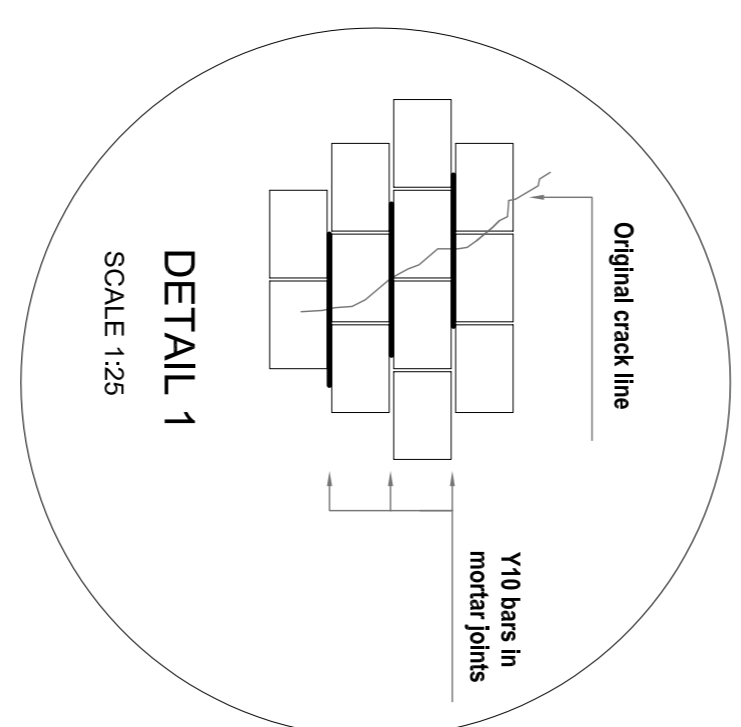
FLOOR PLAN
SCALE 1:50



UNDERPINNING DETAIL
SCALE 1:10



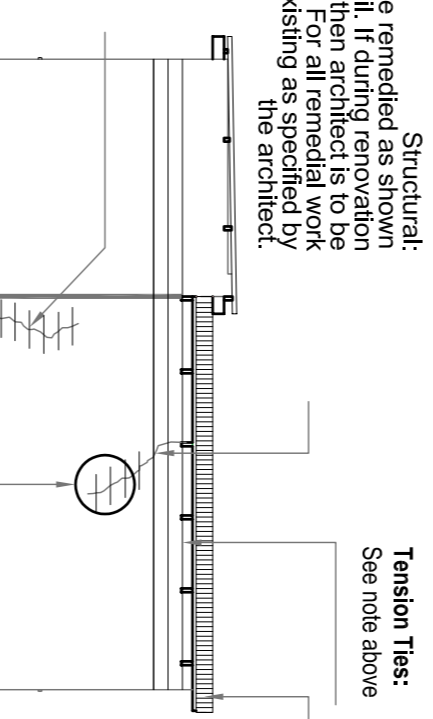
CHANNEL DETAIL
SCALE 1:10



DETAIL 1
SCALE 1:25

Structural:
Wall to be inspected. Cracks to be remedied as shown in architectural detail. If during renovation structural defects are found then architect is to be consulted on remedial work. For all remedial work structural defects are found then architect is to be consulted on remedial work. Exterior paint colour shall match existing as specified by the architect.

Structural:
Wall to be inspected. Cracks to be remedied as shown in architectural detail. If during renovation structural defects are found then architect is to be consulted on remedial work. For all remedial work structural defects are found then architect is to be consulted on remedial work. Exterior paint colour shall match existing as specified by the architect.



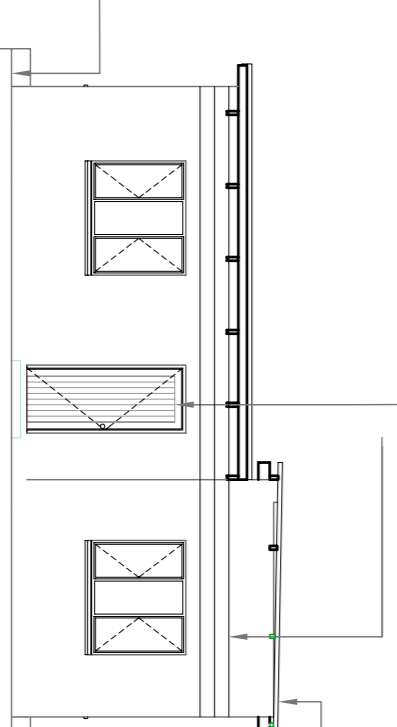
DETAIL 1

SOUTH ELEVATION
SCALE 1:100

Doors:
Door to be sofly cleaned with sugar scoup. All ironmongery, handled in architects crack repair detail. If during renovation ironmongery is beyond repair then the architect is to be consulted on the replacement specification.

Tension Ties:
See note above

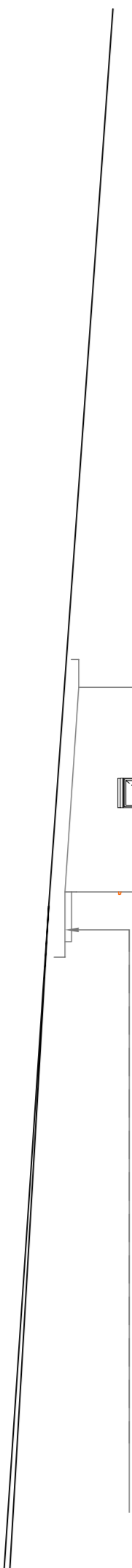
Area around House:
Ground within 500mm band of the building circumference to be dug out to a depth of 120mm and replaced with a compacted 1:1.5 cement clay soil mix. Drainage channel of 100mm in width and 60mm depth to be carved into circumference. Ground around roofed to be gently sloped at 2 degrees towards drainage channel. Newly compacted surface to be covered in loosely laid stones. Water sump and 150mm diameter drainage pipe to be constructed below ground and covered with compacted 1:1.5 cement clay soil mix.



NORTH ELEVATION
SCALE 1:100

Roofing:
Carefully replace damaged roofing members with selected timber members to match existing. Architect to be consulted on the selection of timber roofing members prior to erection. Corrugated iron roof to be carefully replaced with sheeting to match existing. Care to be taken as to not disturb the building integrity in any way. All jointing to be sealed to ensure water tightness. Gutter to be replaced with new gutter to match existing. Existing timber fascia to be replaced to match existing. Rough sawn timber fascia to be replaced to match existing. Existing timber fascia to be replaced to match existing. Rough sawn timber fascia to be replaced to match existing. Existing timber fascia to be replaced to match existing. Rough sawn timber fascia to be replaced to match existing.

Windows:
Replace broken glass pane to match existing. Frame and ironmongery to be cleaned using sugar scoup and steel wool.



EAST ELEVATION
SCALE 1:100

CONSULTANTS	DRAWN	CHECKED
ARCHITECTURAL		
CIVIL		
ELECTRICAL		
MECHANICAL		
STRUCTURAL		
SURVEY		

Stamped by jobs approval committee

REV. NO.	DATE	BY	REVISIONS
00	2013/02/11	ISSUED FOR CONSTRUCTION	

Name	
Signature	Date
Checked by project leader	
Implementing Agent:	



Site description: **OR TAMBO MEMORIAL SITE**
BIZANA, MBZANA
EASTERN CAPE



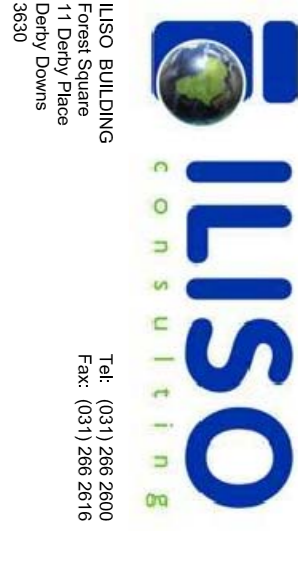
Project: **O.R. TAMBO HOMESTEAD**

Project title:
**TWO BEDROOM DWELLING
FLOOR PLAN & ELEVATIONS
RESTORATION CONSTRUCTION
DETAIL**

Drawn	NL	Code file name:	021H-100 TWO BEDROOM DWELLING
Date	FEB 2013	Revision	00
Consultant	AS SHOWN	Drawn	AS SHOWN

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Date	FEB 2013	Revision	00
Consultant	AS SHOWN	Drawn	AS SHOWN

ISSUED FOR INFORMATION



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