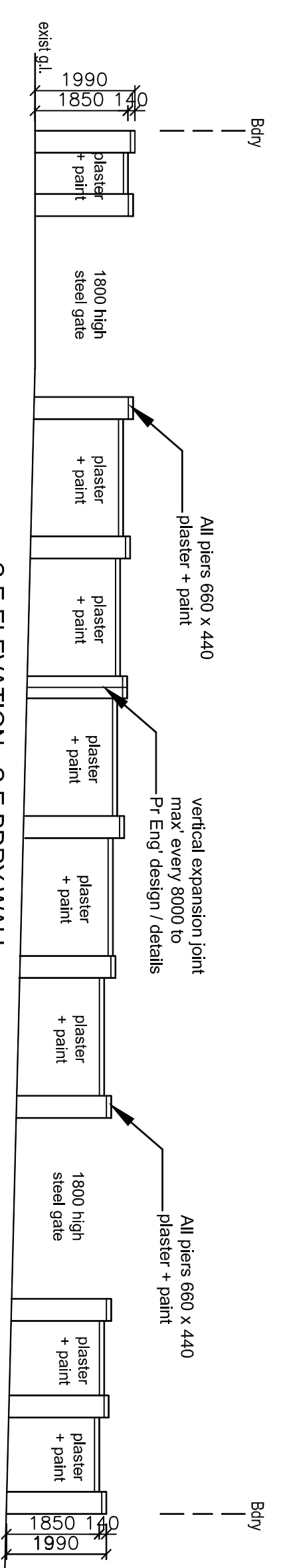
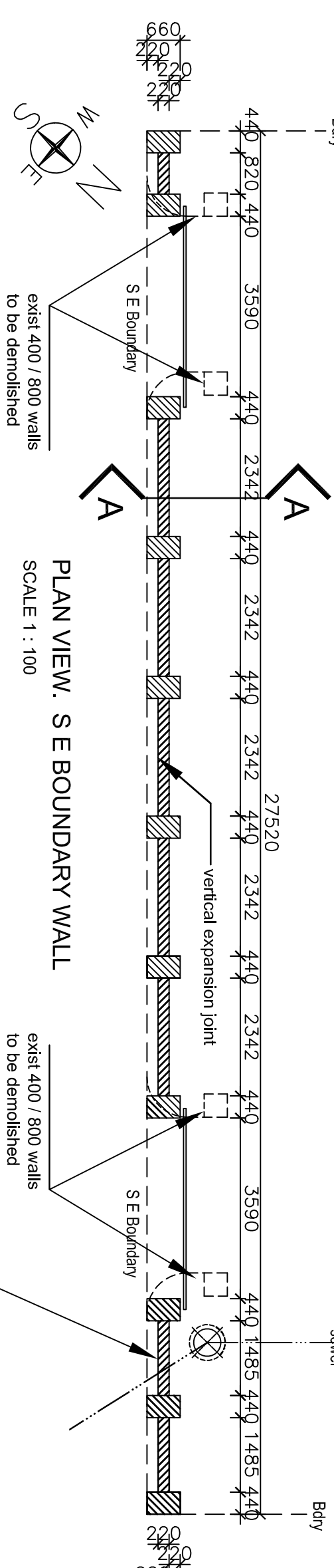


N W ELEVATION, S E BDRY WALL
SCALE 1 : 100

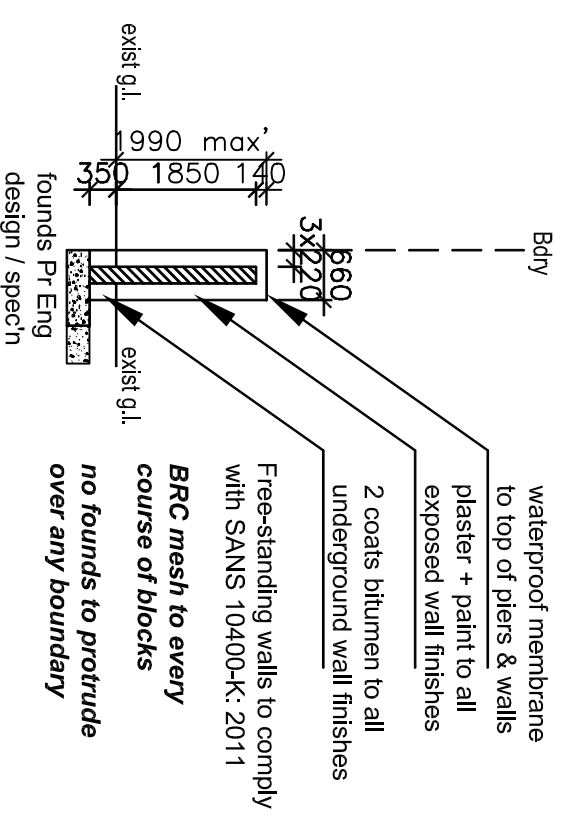


S E ELEVATION, S E BDRY WALL
SCALE 1 : 100

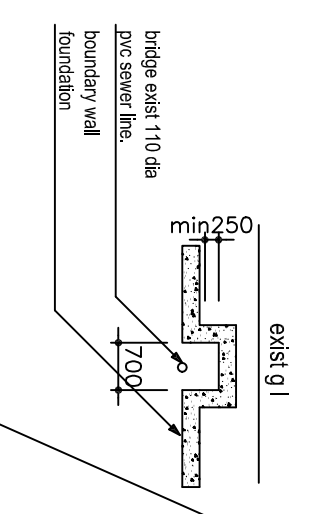


PLAN VIEW, S E BOUNDARY WALL
SCALE 1 : 100

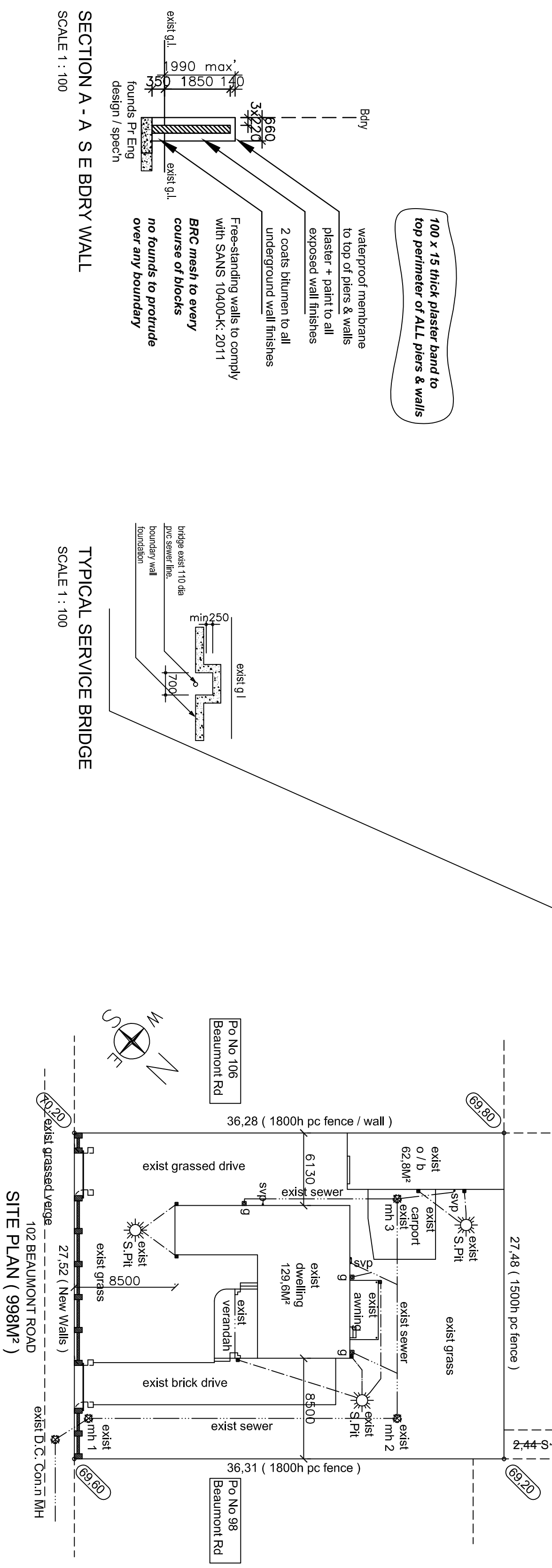
100 x 15 thick plaster band to top perimeter of ALL piers & walls



SECTION A - A S E BDRY WALL
SCALE 1 : 100



TYPICAL SERVICE BRIDGE
SCALE 1 : 100



SITE PLAN (998M²)
SCALE 1 : 300

NOTES
GENERAL NOTES:
CONTRACTORS TO USE FIGURED DIMENSION & NOT SCALED ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. ALL WORKS TO COMPLY WITH CURRENT BY-LAWS & SANS 10400 - PART A
NO CONSTRUCTION WORK SHALL COMMENCE PRIOR TO APPROVAL OF THESE PLANS.
CONTRACTOR / OWNER TO ENSURE THAT NO FOUNDATIONS BUILDINGS OR PART THEREOF PROTRUDE OVER ANY BOUNDARY AND / OR SERVITUDE IN ANY WAY OVER LOCAL AUTHORITY SERVITUDES OR UNDERGROUND SERVICES WITHOUT PRIOR WRITTEN PERMISSION.
CONTRACTOR / OWNER TO INSPECT APPROVED PLANS & TAKE NOTE OF LOCAL AUTHORITY REQUIREMENTS INCLUDING INSPECTION FORMS.
CONTRACTORS TO MAKE GOOD ALL EXISTING WORKS AFFECTED BY ALTERATIONS & ADDITIONS WHERE APPLICABLE.
CONSTRUCTION NOTES:
ALL FOUNDATIONS TO COMPLY WITH SANS 10400 - PART H 2010 STRIP FOUNDATION TO BE 800 x 300 MINIMUM T.O.C. TO BE MIN 250 BELOW F.G.L.
ALL FLOORS TO COMPLY WITH SANS 10400 PART J 2010 ALL FLOOR SLABS ON UPPER LEVELS TO BE MIN 250 REINFC CONC & AS PER PROFESSIONAL ENGINEERS DETAIL
HARDCORE FILL UNDER 100 GROUND FLOOR SLAB WITH REF 193 MESH & POISENED WITH 5% PCP IN SOLUTION
250 micron DPM TO BE FITTED BETWEEN HARDCORE & SLAB.
SABS 1985 TYPE C ANT GUARD DPC & VERTICAL DPCAS REQUIRED
WALL NOTES:
ALL WALLS TO COMPLY WITH SANS 10400 PART K 2011 CONCRETE BLOCKS TO SABS 1214 WITH PLASTER & PAINT FINISH ALL RETAINING WALLS BANKS PLATFORMS & STRUCTURAL WORK TO PROFESSIONAL ENGINEERS DETAIL. ALSO SEE NOTES ON DRAWING.
AGE OF EXISTING BUILDINGS 58 YEARS
ZONING: Special Residential 900
SCHEDULE OF AREAS / M²

SITE AREA	= 998.00
EXISTING DWELLING	= 129.60
EXISTING OUT BLDG	= 62.80
EXISTING FAR	= 192.40
EXISTING AWNING	= 12.20
EXISTING CARPORT	= 28.80
EXISTING VERANDAH	= 11.20
EXISTING COVERAGE	= 244.60
NO ADDITIONS / ALTERATIONS TO EXISTING BUILDINGS	

BOUNDARY BEACONS TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORKS

Title:
PROPOSED FRONT BOUNDARY WALL & ENTRANCE GATES FOR:
M/ D. M. BATTAGLIA
ON PORTION 3 OF ERF 326 OF BLUFF BEAUMONT ROAD
Postal address 102 BEAUMONT ROAD BLUFF 4052

Rate No 2107 6094
Tel No 084 301 9990 Date.....

OWNERS SIGNATURE

Author:
Dave HARPER, Pr. Arch.D, Reg' No D0447
85, LIGHTHOUSE ROAD BLUFF, 4052
Tel. 031 466 2464 Cell: 0833 18 73 78

Signature: Date:.....
Scale Date Dwg No Sheet No
AS, Shared 4 December 2013 Blatt -1347 1 of 1