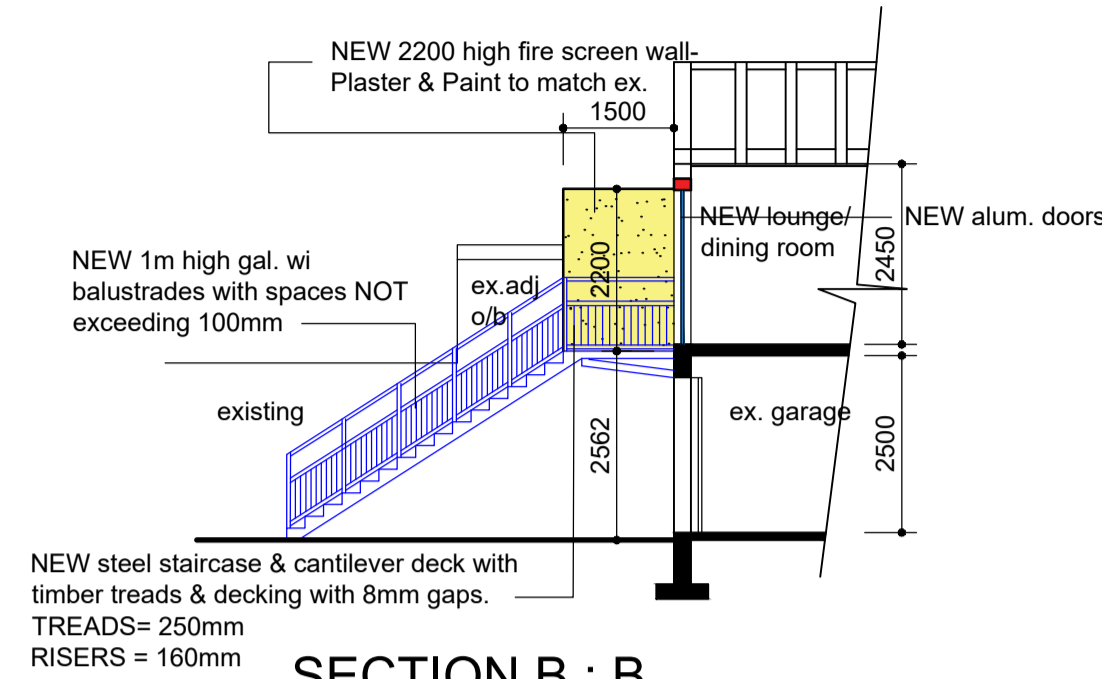
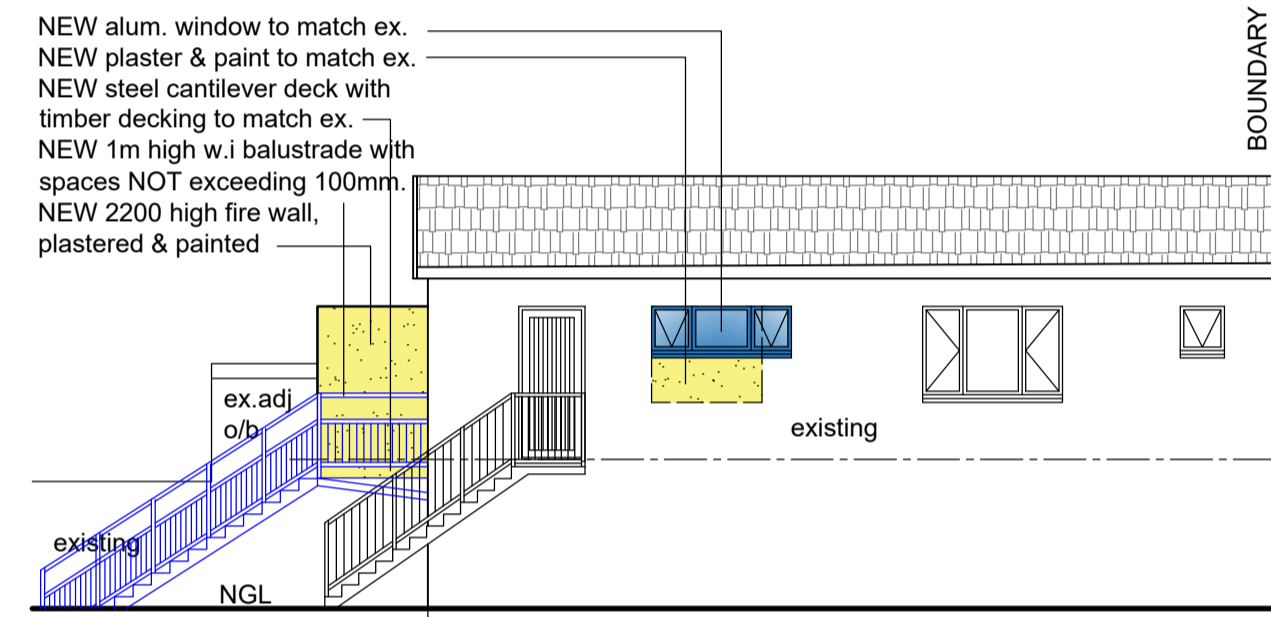


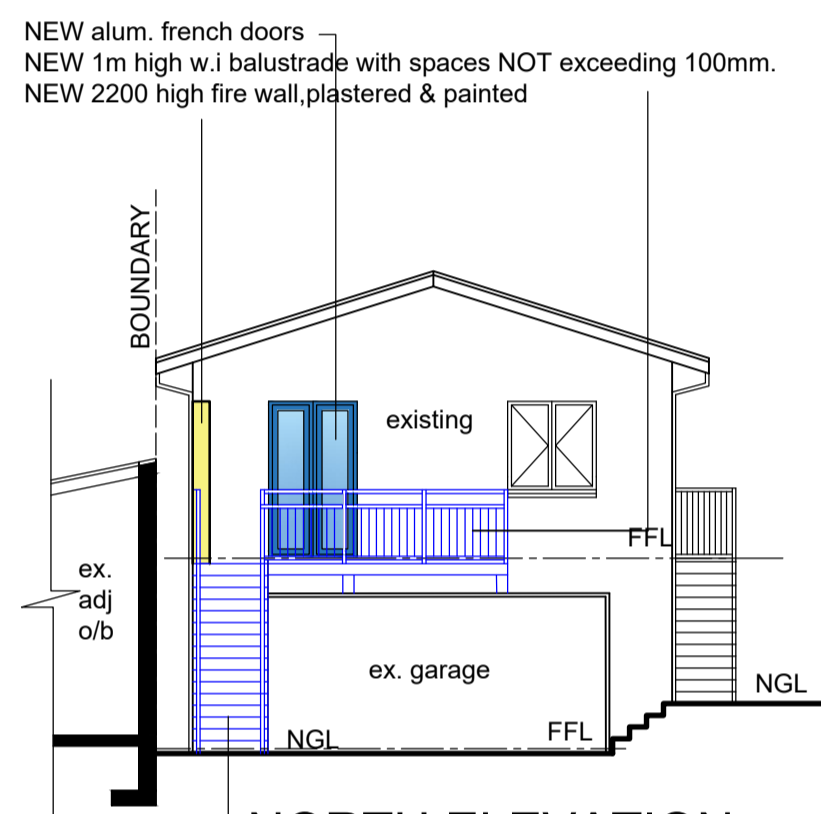
SECTION A : A
SCALE 1:100



SECTION B : B
SCALE 1:100



WEST ELEVATION
SCALE 1:100



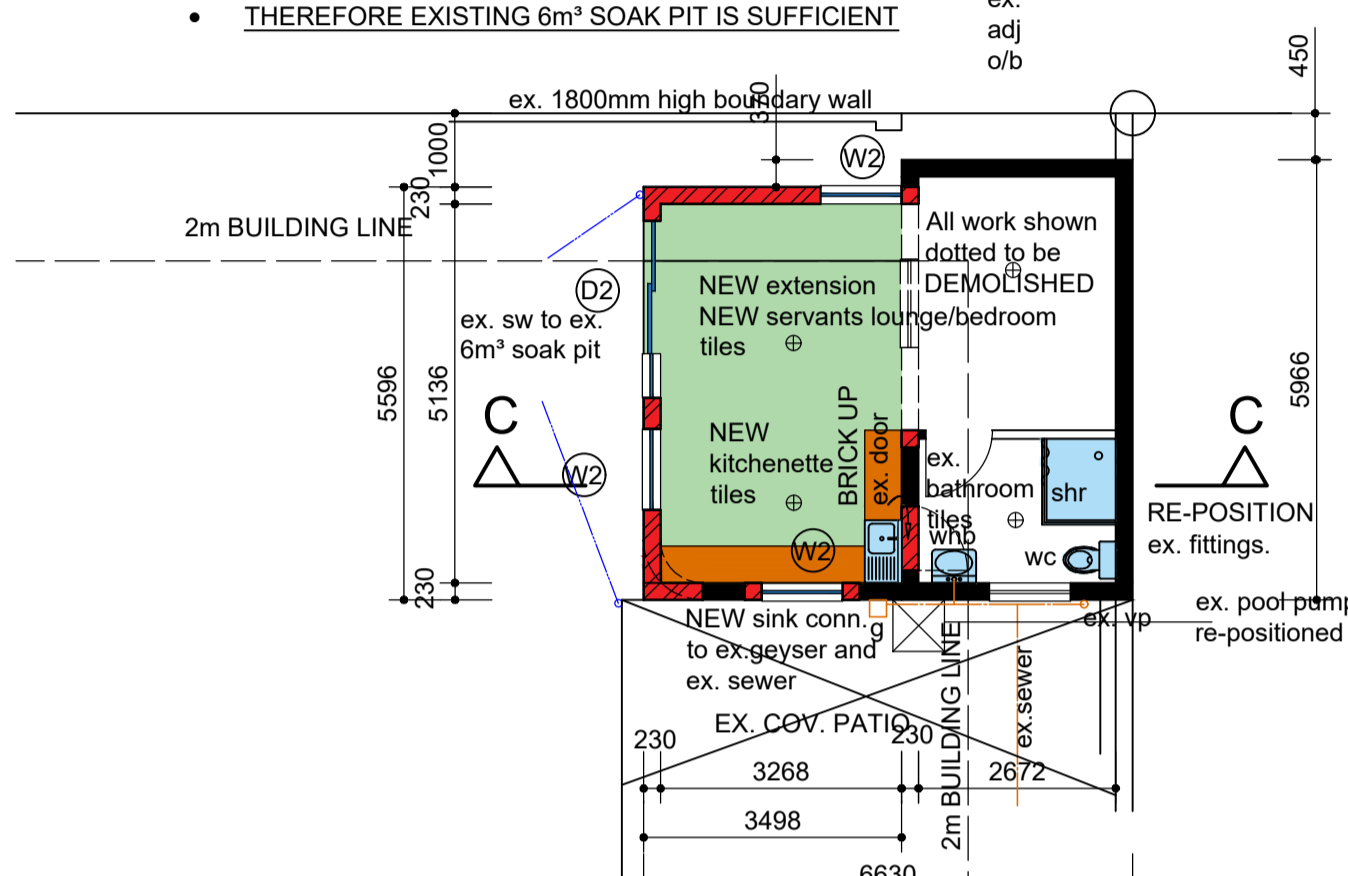
NORTH ELEVATION
SCALE 1:100

DOOR & WINDOW SCHEDULE:

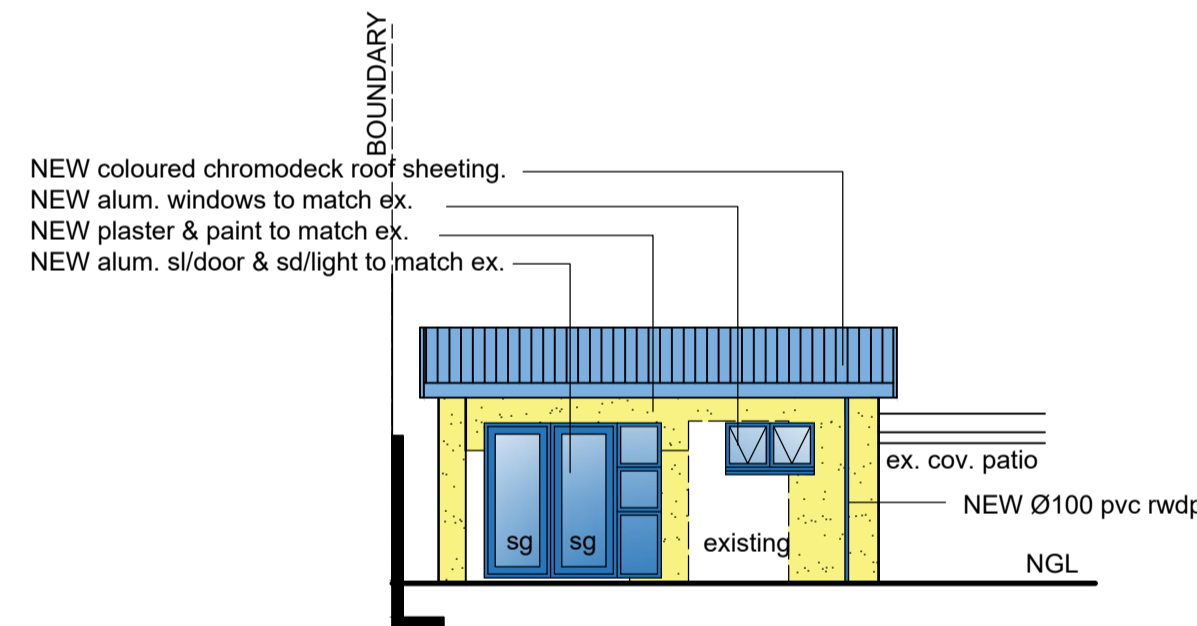
No:	QTY:	SIZE:	FRAMING:	GLASS:
W1	1	1800mm x 600mm	Aluminum	6.3mm Clear T/SG
W2	3	1200mm x 600mm	Aluminum	6.3mm Clear T/SG
D1	1	1200mm x 2100mm	Aluminum	6.3mm Clear T/SG
D2	1	1800mm x 2100mm	Aluminum	6.3mm Clear T/SG
		600mm x 2100mm sd/light	Aluminum	6.3mm Clear T/SG

SOAK PIT CALCULATIONS:

- EXISTING SOAK PIT: 6m³
- TOTAL EXISTING ROOFED AREA: 185.16
- PROPOSED NEW ROOF AREA: 16.90 sq.m
- NEW TOTAL ROOFED AREA: 202.06 sq.m
- 1m³ SOAK PIT PER 40sq.m ROOFED AREA
- = $\frac{202.06 \text{ sq.m}}{40}$
- = 5.05
- THEREFORE EXISTING 6m³ SOAK PIT IS SUFFICIENT



FLOOR PLAN- SERVANTS QUARTERS
SCALE 1:100



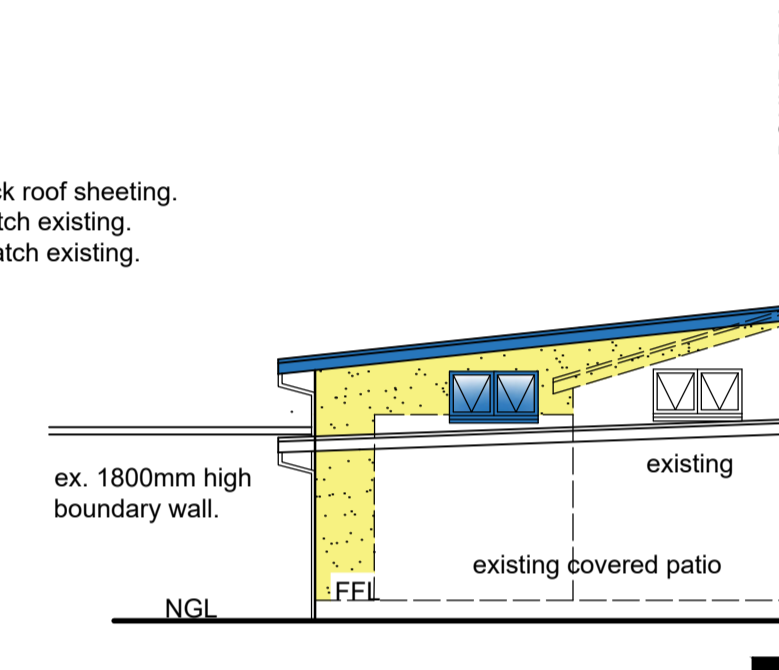
EAST ELEVATION
SCALE 1:100

GENERAL NOTES:

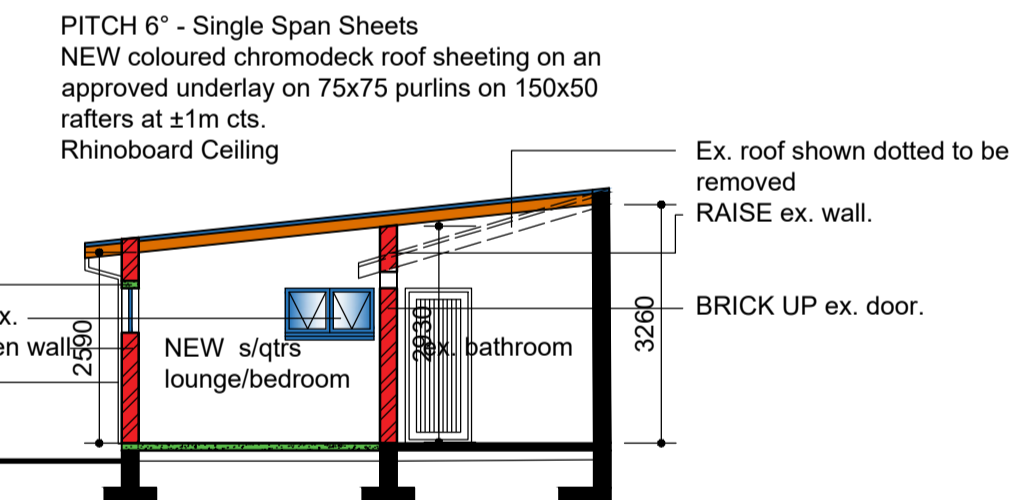
- ZONING - SR900
- OCCUPANCY H4
- All levels and dimensions to be checked on site prior to commencement of work.
- Figured dimensions to be read and not scaled.
- Any deviations from original approval must not deem to comply further without the notice of the author of the plan.
- All structural work- foundations, pc lintols, walls- to ENGINEERS detail and/or design.
- All work must be in accordance with SANS 10400 Standards & Specifications.
- All new work to match existing.

SCHEDULE OF AREAS:

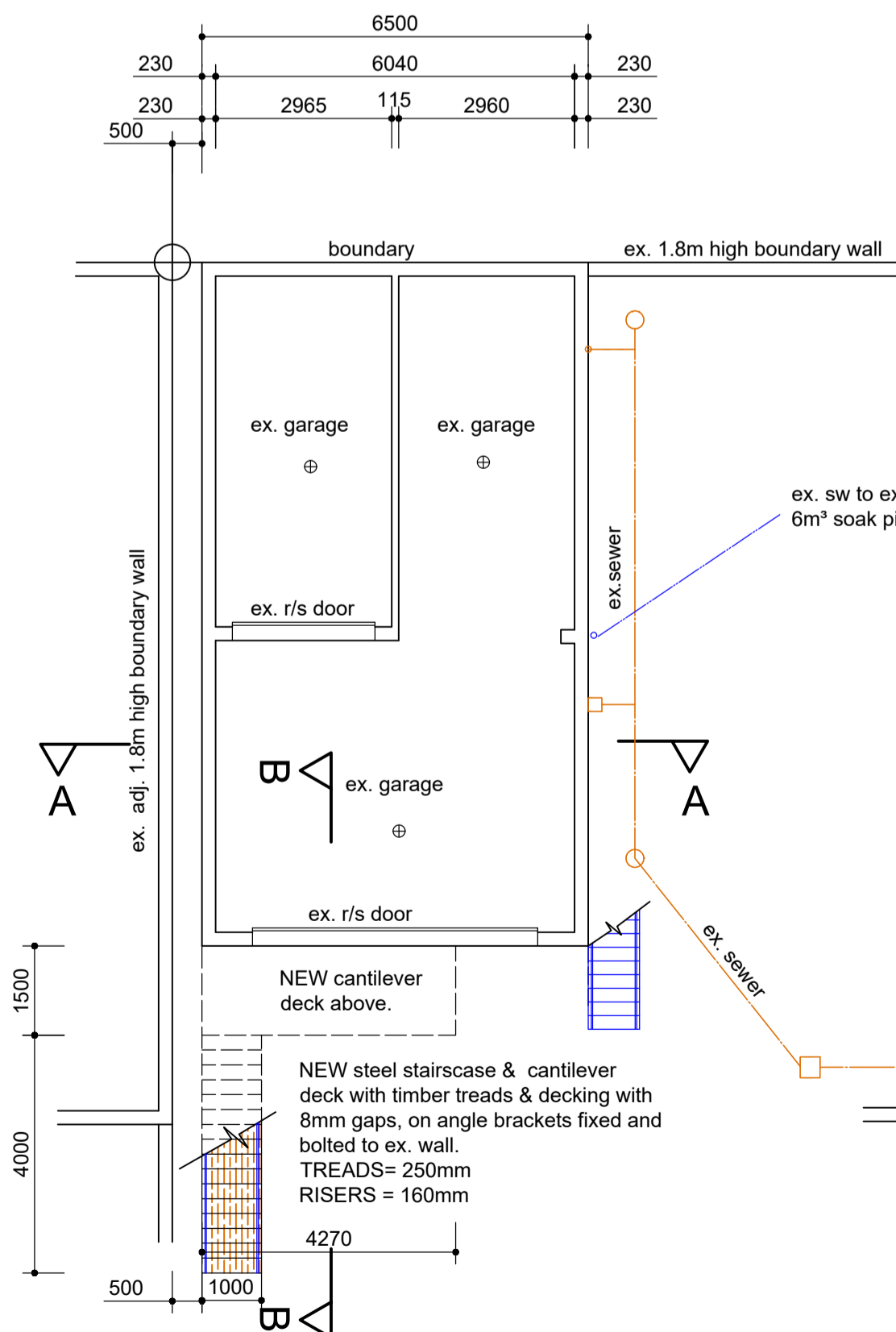
SITE AREA	1021.00	SQ.M
Permitted Coverage (50%)	510.50	SQ.M
Existing Coverage	403.75	SQ.M
Proposed Coverage	19.60	SQ.M
NEW TOTAL COVERAGE	423.35	SQ.M
Existing House	224.00	SQ.M
Existing Garages	74.75	SQ.M
Existing Ancillary Unit	74.75	SQ.M
Existing Outbuilding	18.71	SQ.M
Existing Covered Patios	89.00	SQ.M
TOTAL EXISTING AREA	481.21	SQ.M
PROPOSED addition to ex. outbuilding	19.60	SQ.M
NEW TOTAL AREA	500.81	SQ.M



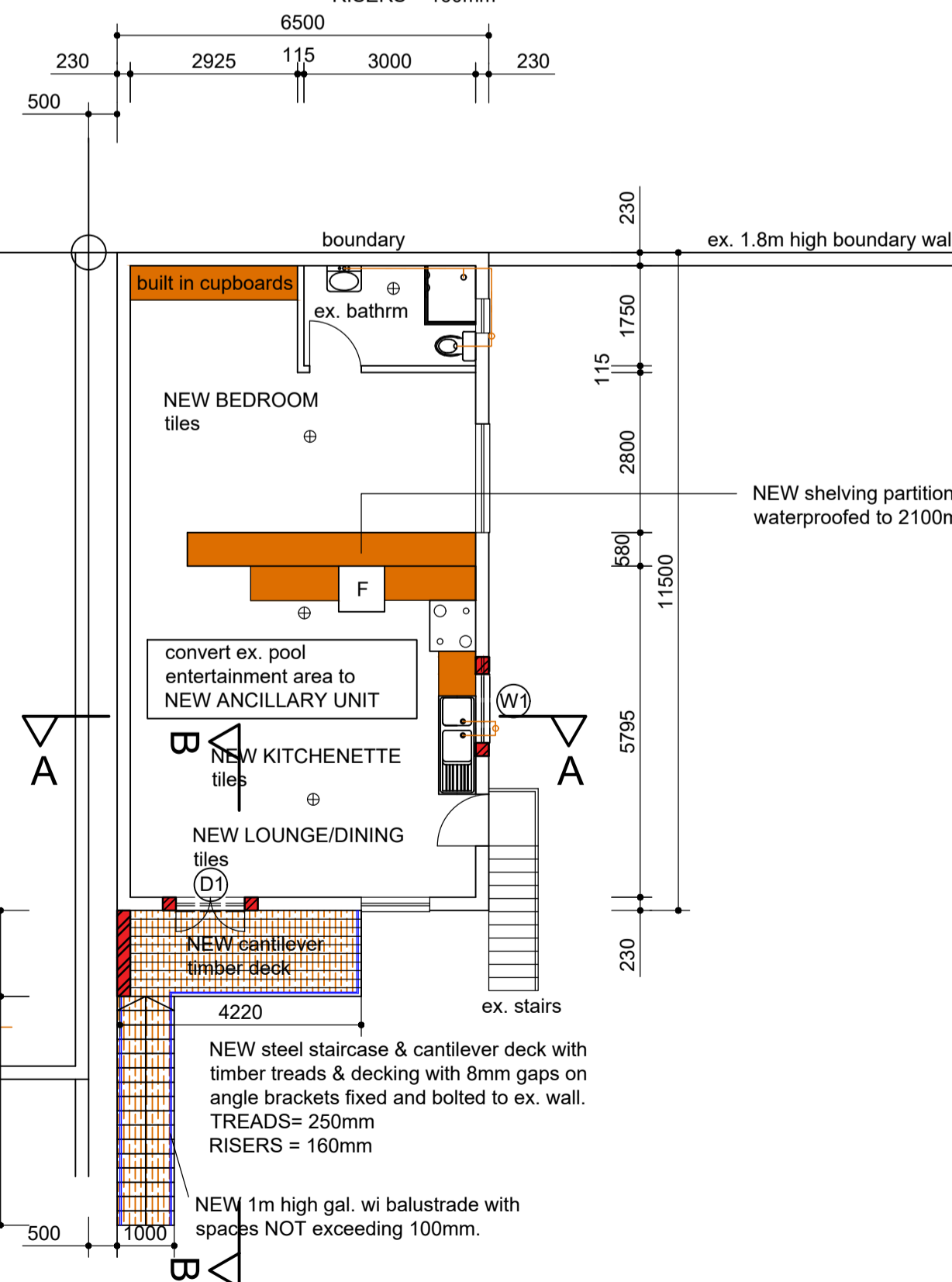
NORTH ELEVATION
SCALE 1:100



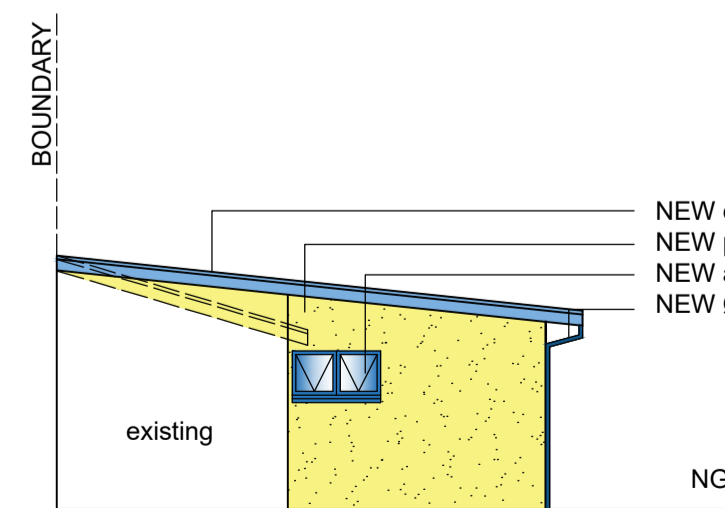
SECTION C : C
SCALE 1:100



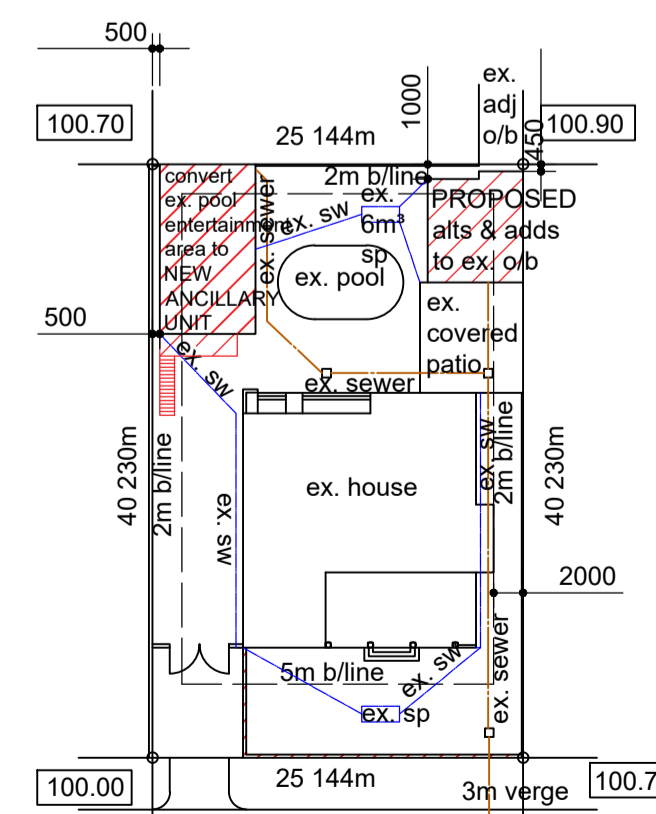
GROUND STOREY FLOOR PLAN GARAGE
SCALE 1:100



FIRST STOREY FLOOR PLAN - NEW ANCILLARY UNIT
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



BECKENHAM PLACE
SCALE 1:500

ADDITIONAL AREA : 19.60 SQ.M

OWNERS SIGNATURE: [Signature] 082 926 7259
TELEPHONE No:

PROPOSED ALTERATIONS AND ADDITIONS TO EX. OUTBUILDING AND NEW ANCILLARY UNIT AT 10 BECKENHAM PLACE ON PORTION 56 OF ERF 958 DURBAN NORTH FOR K.MACHARD & N. MCCARTNEY

GRAHAM BRAUM

ARCHITECTURAL DESIGNER

Pr.S.Arch.T

REG NO: ST0010

13 HELEN JOSEPH ROAD TEL: 031 2054142

DURBAN CELL: 082 4540441

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SCALE : 1 IN 100 & 1 IN 500

DESIGNER : G.P.BRAUM

DRAWN : B.M.BRAUM

DATE : FEBRUARY 2023

DRAWING No: 6715/23