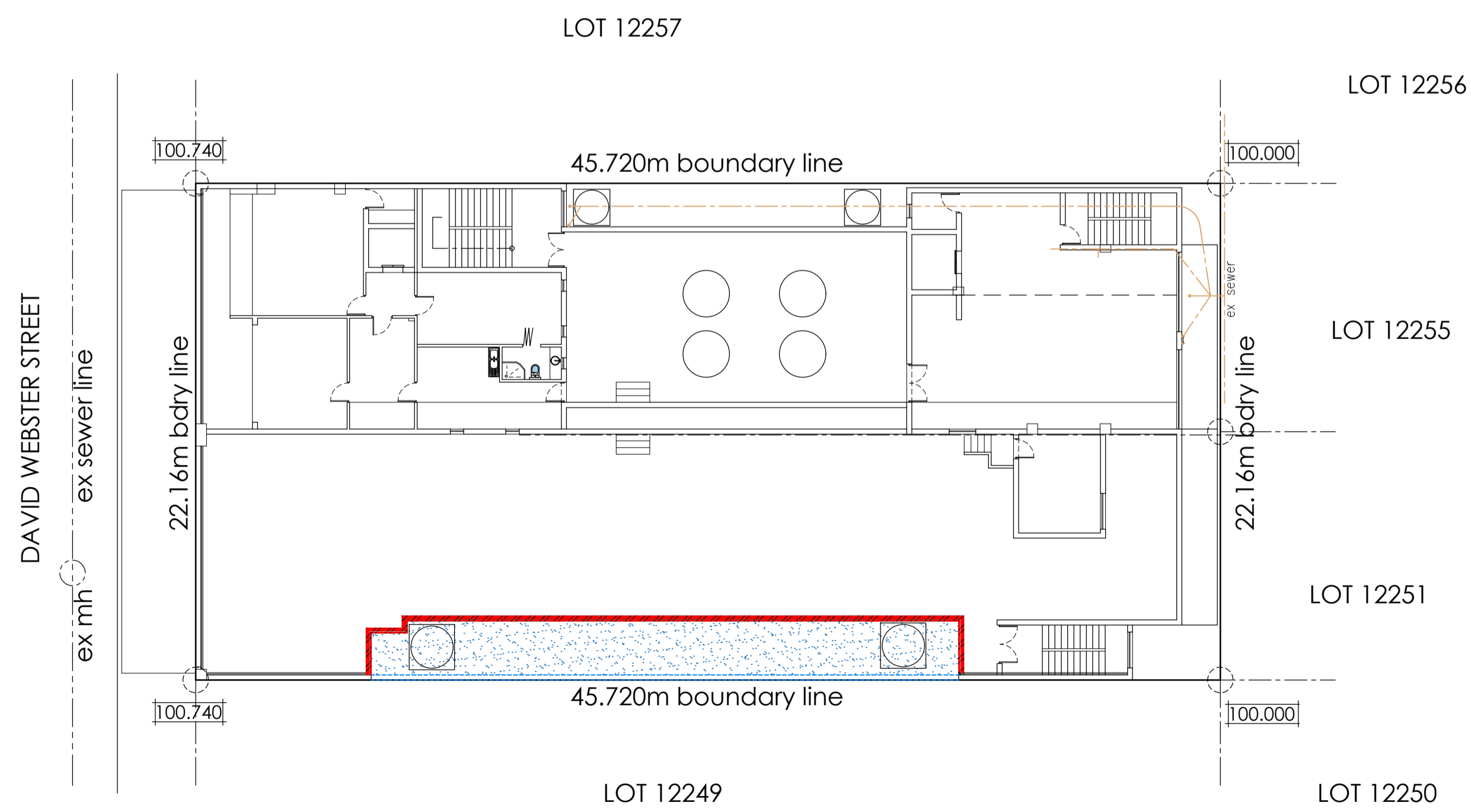


GROUND STOREY PLAN SCALE 1:100



SITE STOREY PLAN SCALE 1:200

SCHEDULE OF RIGHTS AND AREAS
PROPERTY DESCRIPTION

Erf/ Portion : ERF 12254 Site Area: 1013m²
 Township : Durban Central
 Site Address : 27 David Webster Street

ZONING & LAND USE INFORMATION

Authority	: Ethekwini Zoning : h2	
Control	Permissible	Permissible
Floor Area Ratio	8.0	8104m ²
Coverage	N/A	
Height Of Building	N/A	
Parking	N/A	

Coverage

Existing Coverage : 963.0m²

No New Coverage Added

FAR

Existing FAR Ground Floor	765.0m ²
Existing FAR First Floor	765.0m ²
Existing FAR Second Floor	765.0m ²
Existing FAR Third Floor	765.0m ²
Existing FAR Fourth Floor	765.0m ²
Existing FAR Fifth Floor	765.0m ²
Existing FAR Sixth Floor	765.0m ²
Existing FAR Seventh Floor	765.0m ²
Existing FAR Eighth Floor	765.0m ²
Existing FAR Ninth Floor	765.0m ²
Existing FAR Roof Floor	247.0m ²
Total existing FAR (All Floors)	:7132.0m²

NOTES
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PROJECT:
 EXISTING OFFICES CONVERTED TO NEW
 BOARDING HOUSE ON ERF 12254, DURBAN
 ON 27-33 DAVID WEBSTER STREET

DRAWING TITLE:
 FLOOR PLANS & SITEPLAN

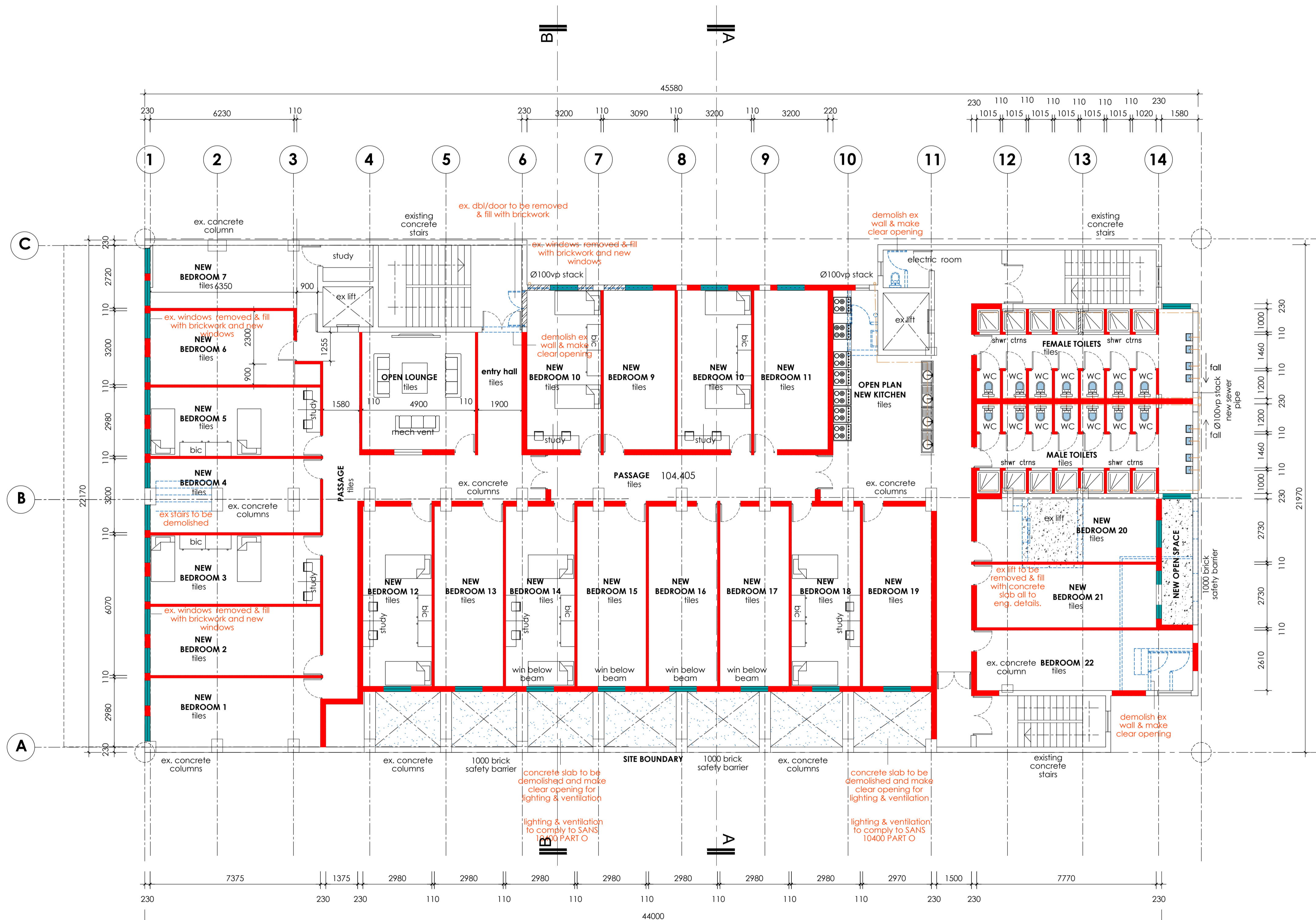
SCALE	1:100 1:200	DATE	25.08.2023
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PROJECT CO-ORDINATOR

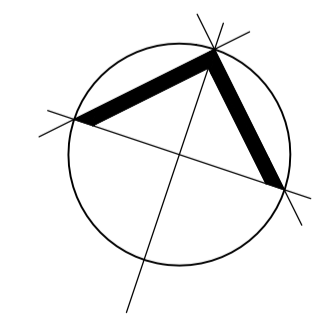
ISSUE STATUS	SUBMISSION -	1/15
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JOB NO:	TYPE:	DWG NO:	REVISION:
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FIRST STOREY PLAN SCALE 1:100



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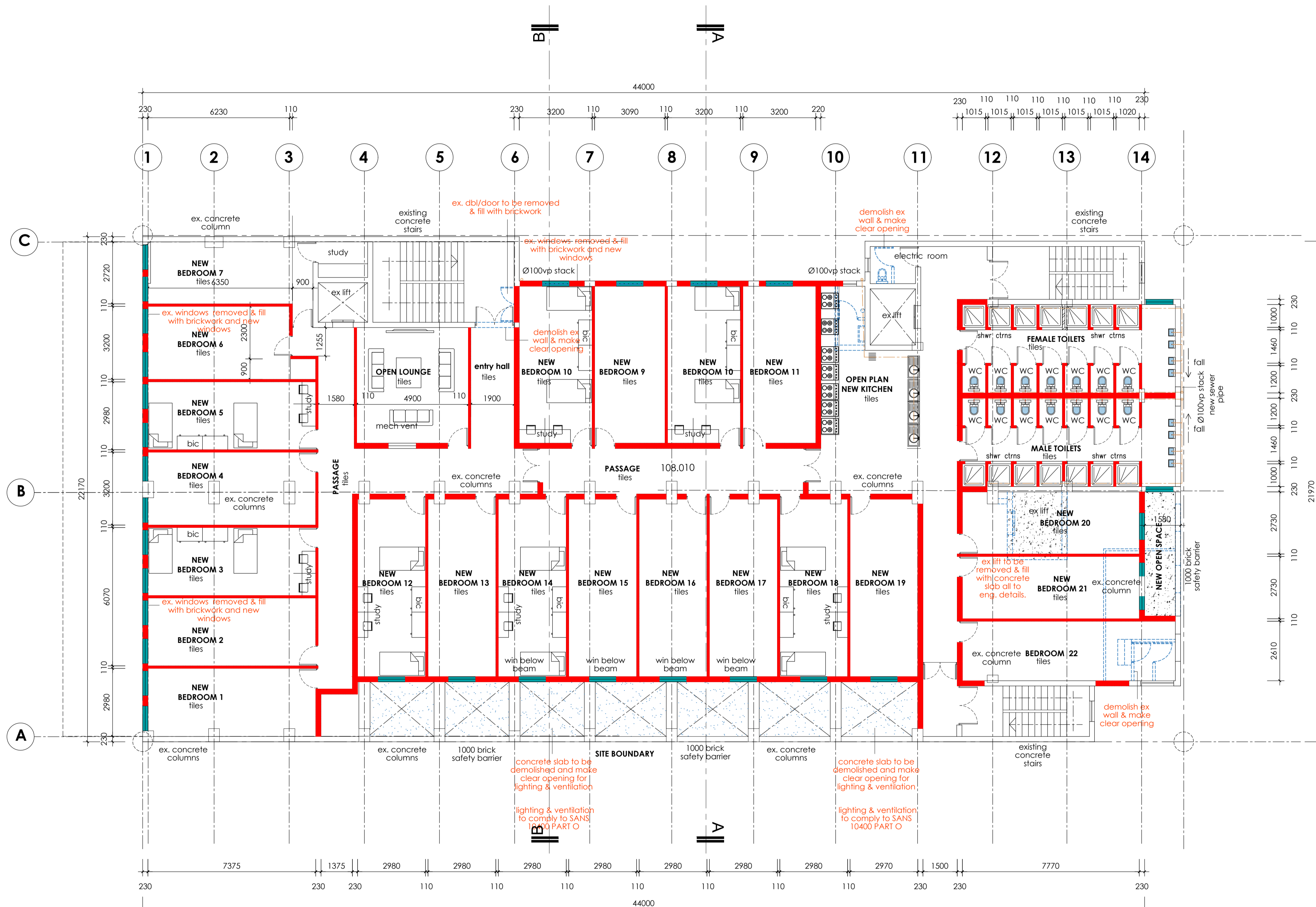
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PROJECT CO-ORDINATOR

ISSUE STATUS SUBMISSION - 2/15

JOB NO:	TYPE:	DWG NO:	REVISION:
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1.8M WALL HEIGHT OF PARTITION WALL

SECOND STOREY PLAN SCALE 1:100

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DRAWING TITLE:
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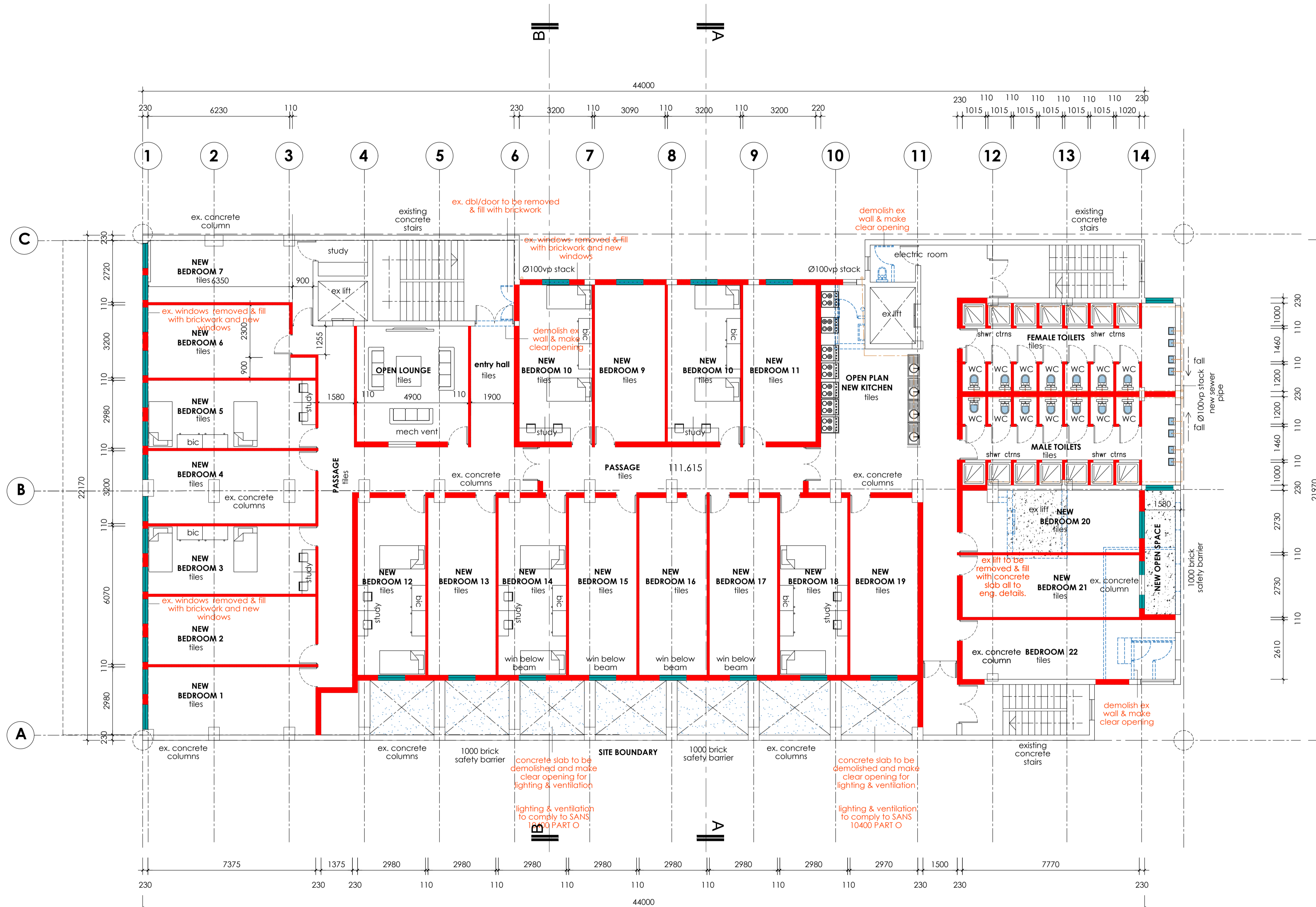
SCALE 1:100 DATE 25.08.2023

PROJECT CO-ORDINATOR

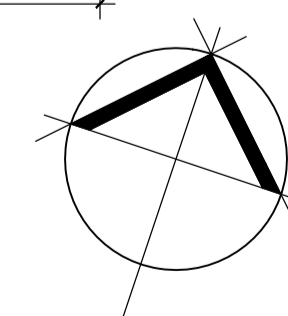
ISSUE STATUS SUBMISSION - 3/15

JOB NO:	TYPE:	DWG NO:	REVISION:
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THIRD STOREY PLAN SCALE 1:100



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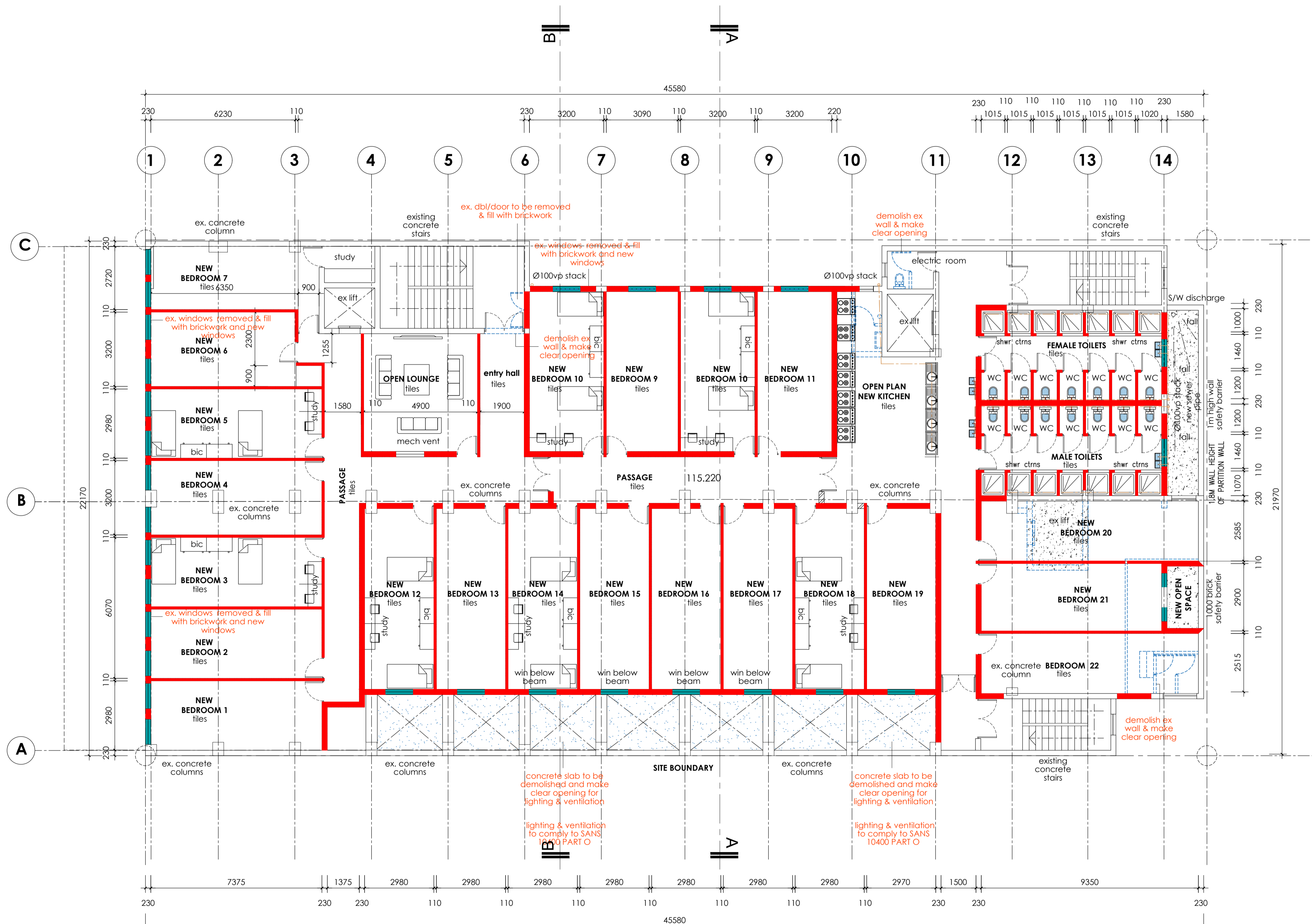
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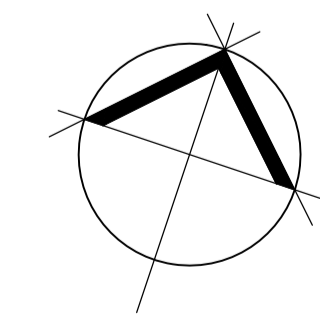
DRAWING TITLE:
 FLOOR PLANS

SCALE	1:100	DATE	25.08.2023
PROJECT CO-ORDINATOR			
ISSUE STATUS	SUBMISSION -		4/15
JOB NO:	TYPE:	DWG NO:	REVISION:
001	H2		

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FOURTH STOREY PLAN SCALE 1:100



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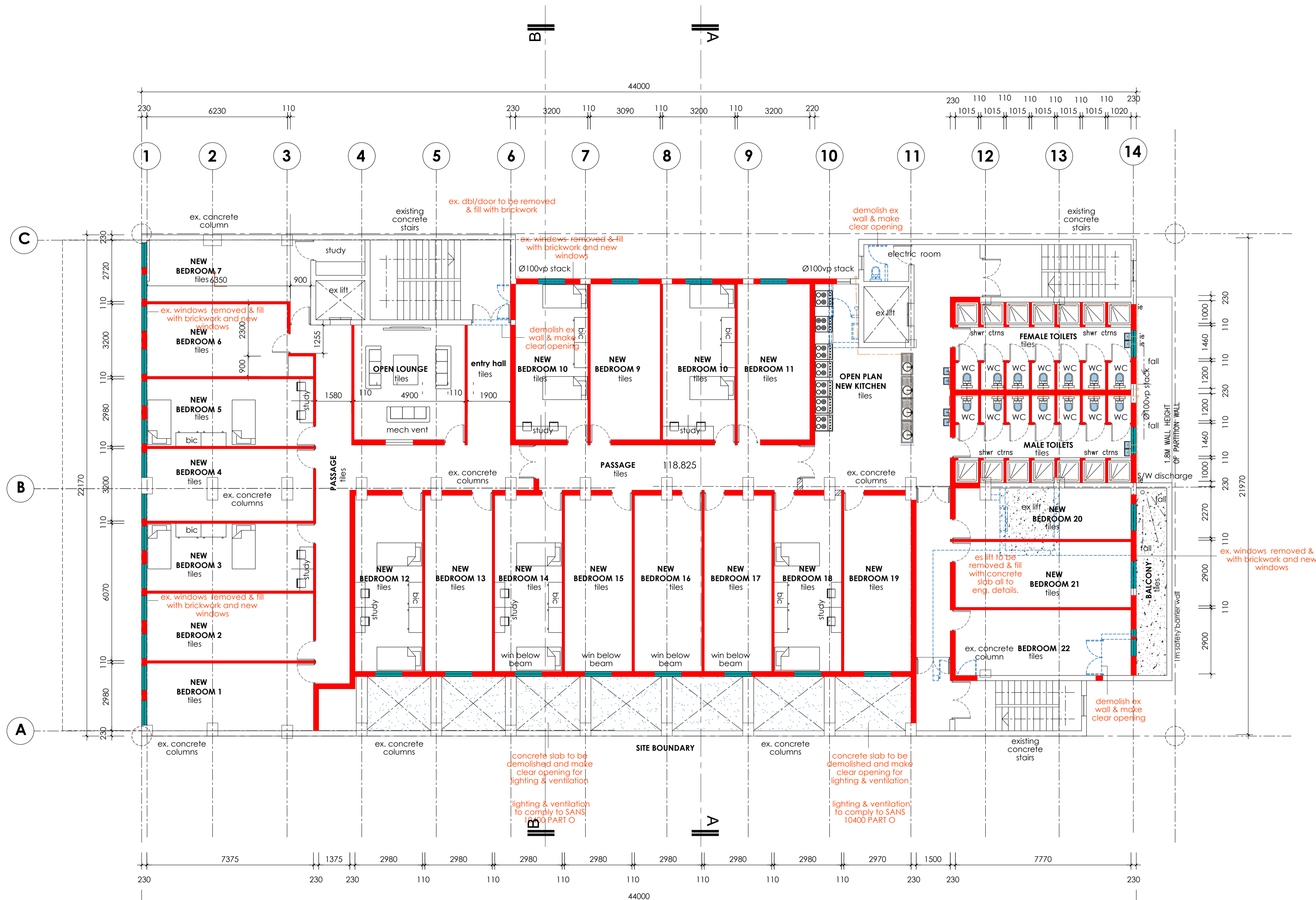
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PROJECT CO-ORDINATOR

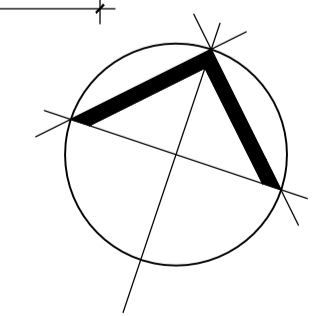
ISSUE STATUS	SUBMISSION -	5/15
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JOB NO:	TYPE:	DWG NO:	REVISION:
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FIVE'TH STOREY PLAN SCALE 1:100



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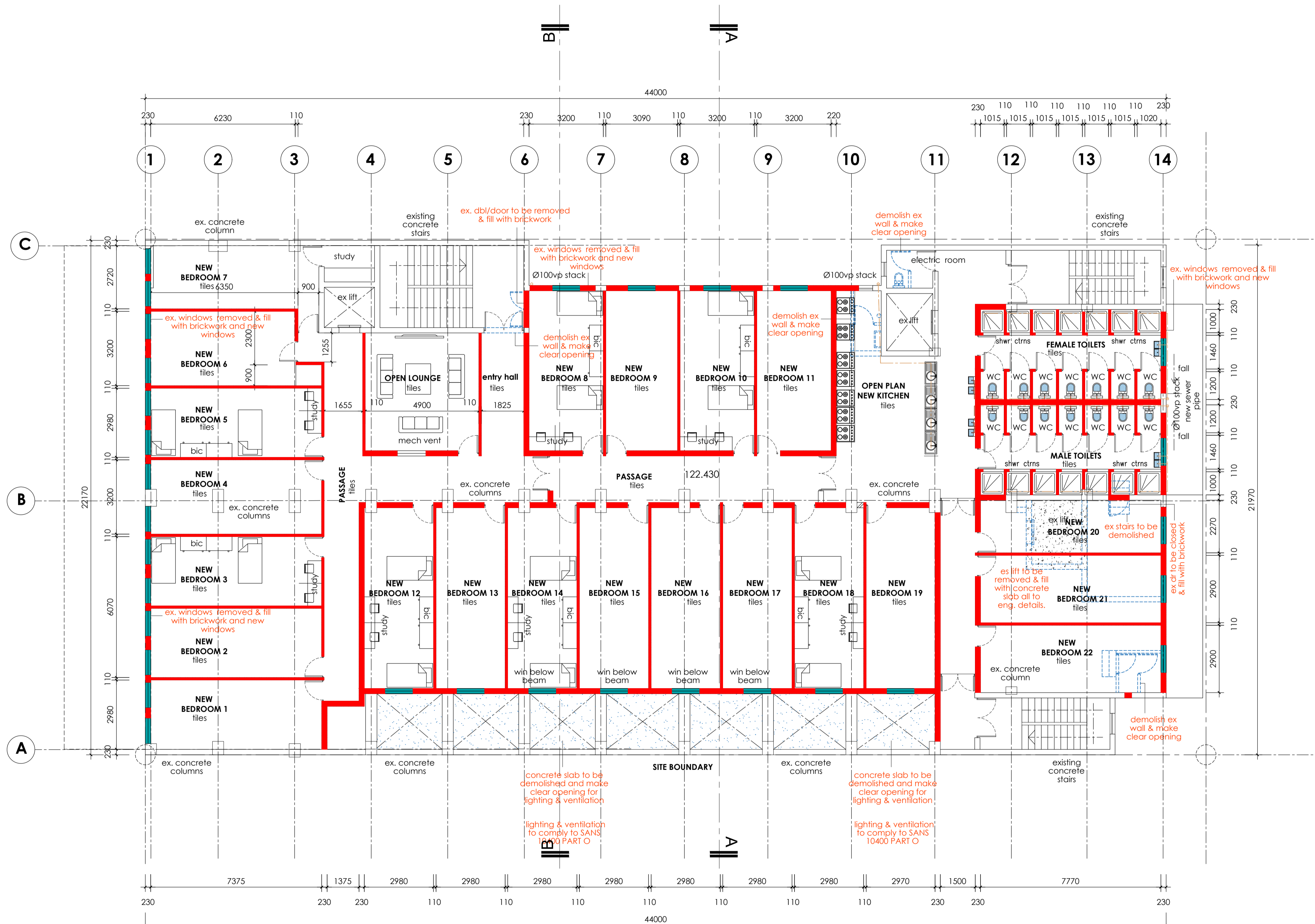
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PROJECT CO-ORDINATOR

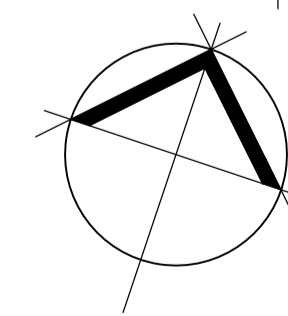
ISSUE STATUS	SUBMISSION -	6/15
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SIX'TH STOREY PLAN SCALE 1:100



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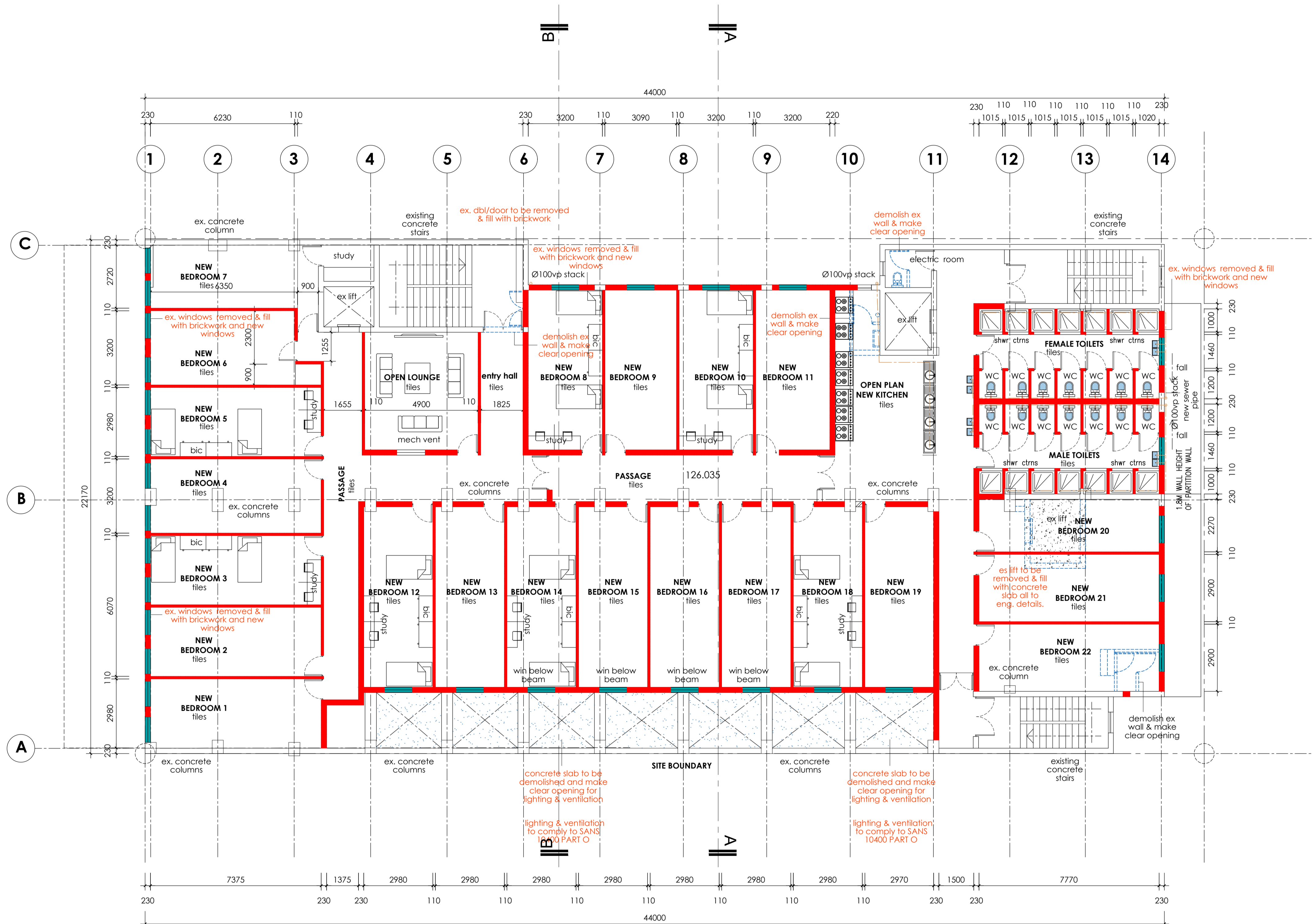
SCALE 1:100 DATE 25.08.2023

PROJECT CO-ORDINATOR

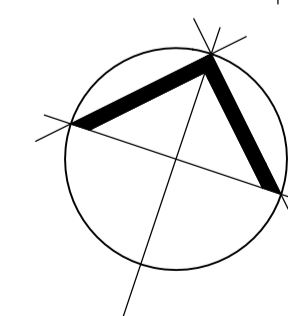
ISSUE STATUS SUBMISSION - 7/15

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SEVENTH STOREY PLAN SCALE 1:100



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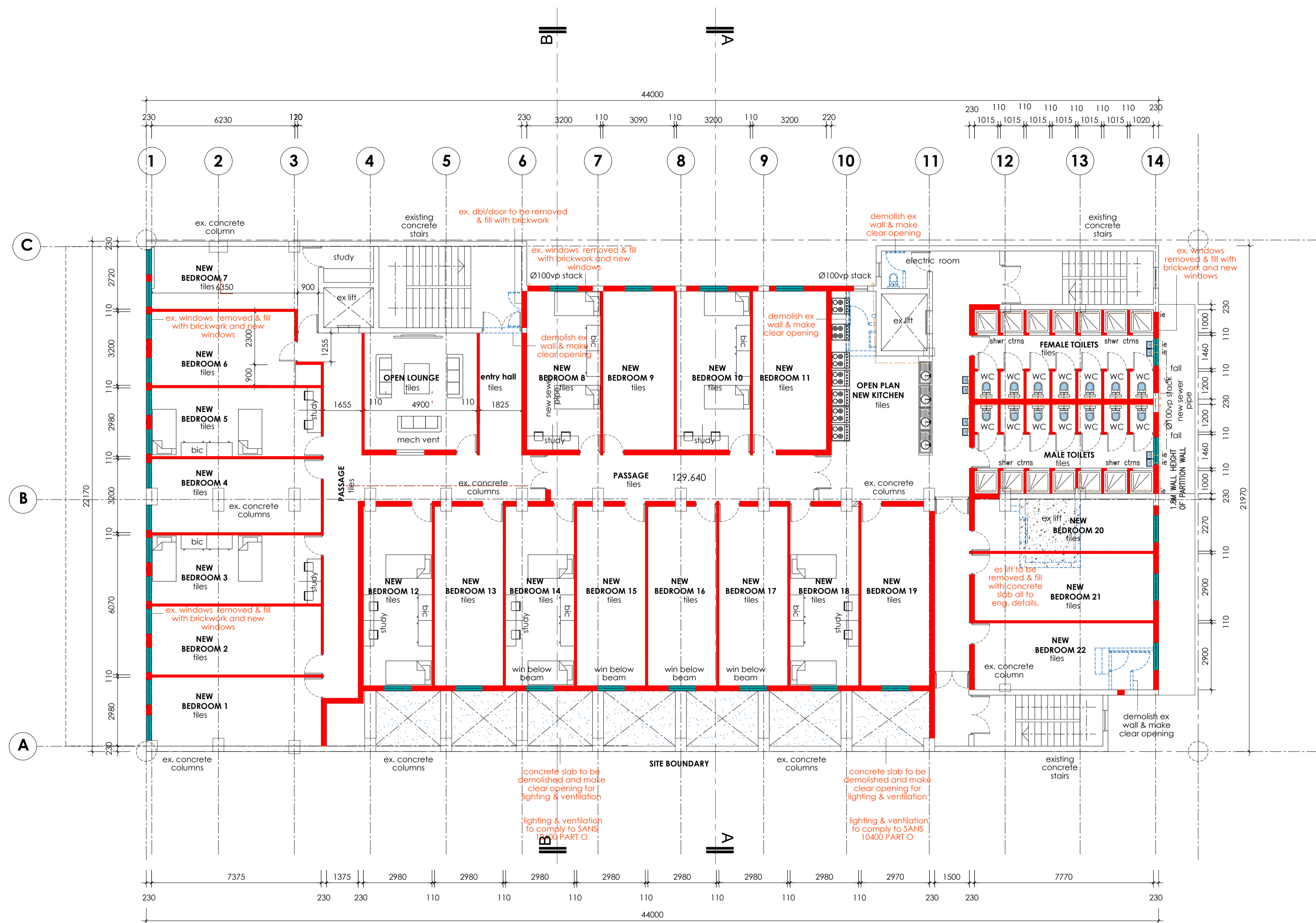
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SCALE	1:100	DATE	25.08.2023
PROJECT CO-ORDINATOR			
ISSUE STATUS	SUBMISSION -		8/15
JOB NO:	TYPE:	DWG NO:	REVISION:
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EIGHTH STOREY PLAN SCALE 1:100

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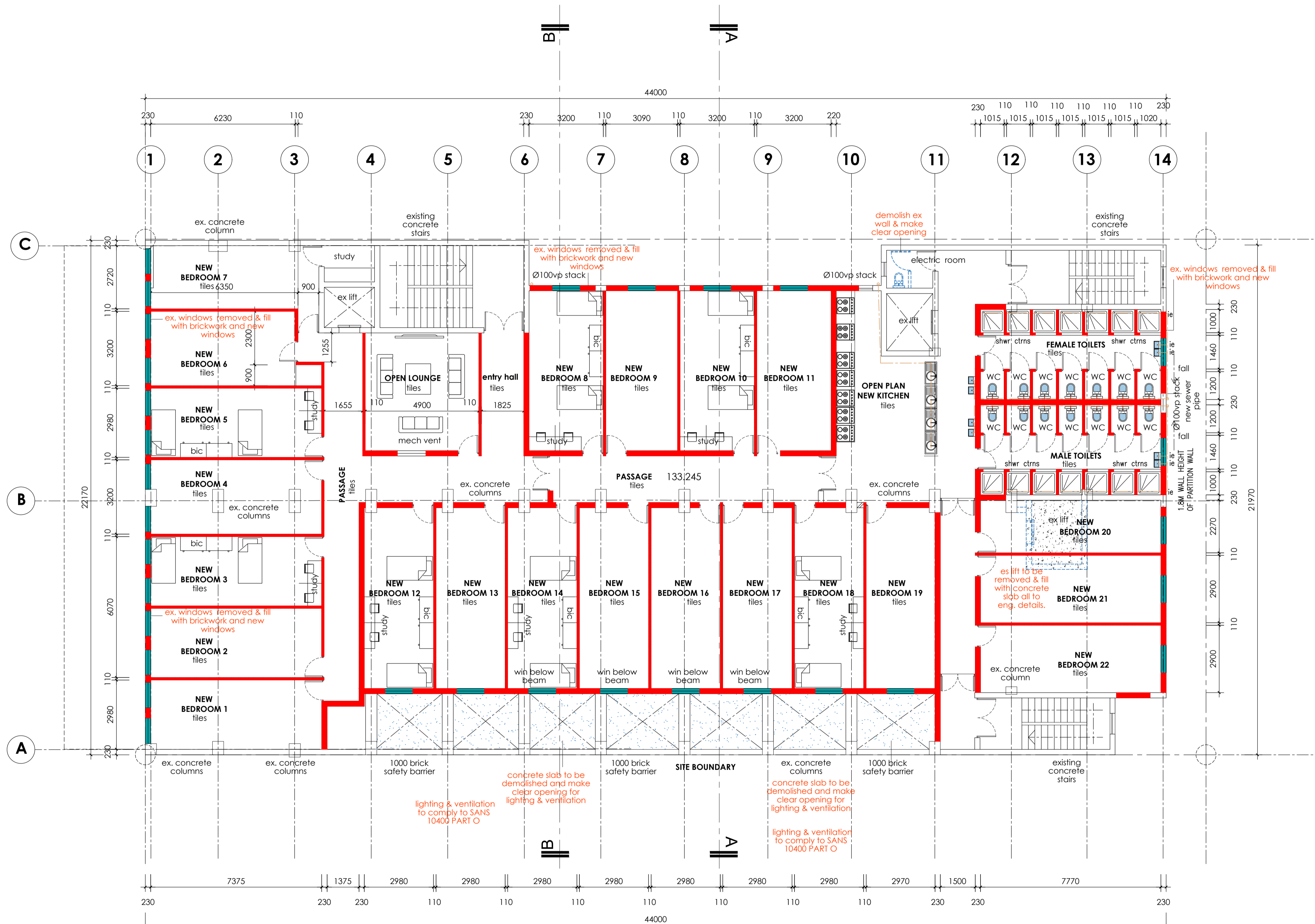
SCALE 1:100 DATE 25.08.2023

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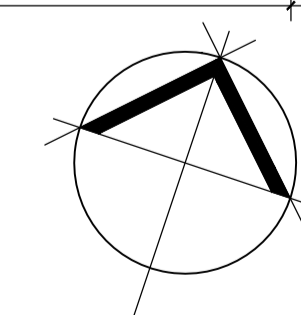
ISSUE STATUS SUBMISSION - 9/15

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NINE'TH STOREY PLAN SCALE 1:100



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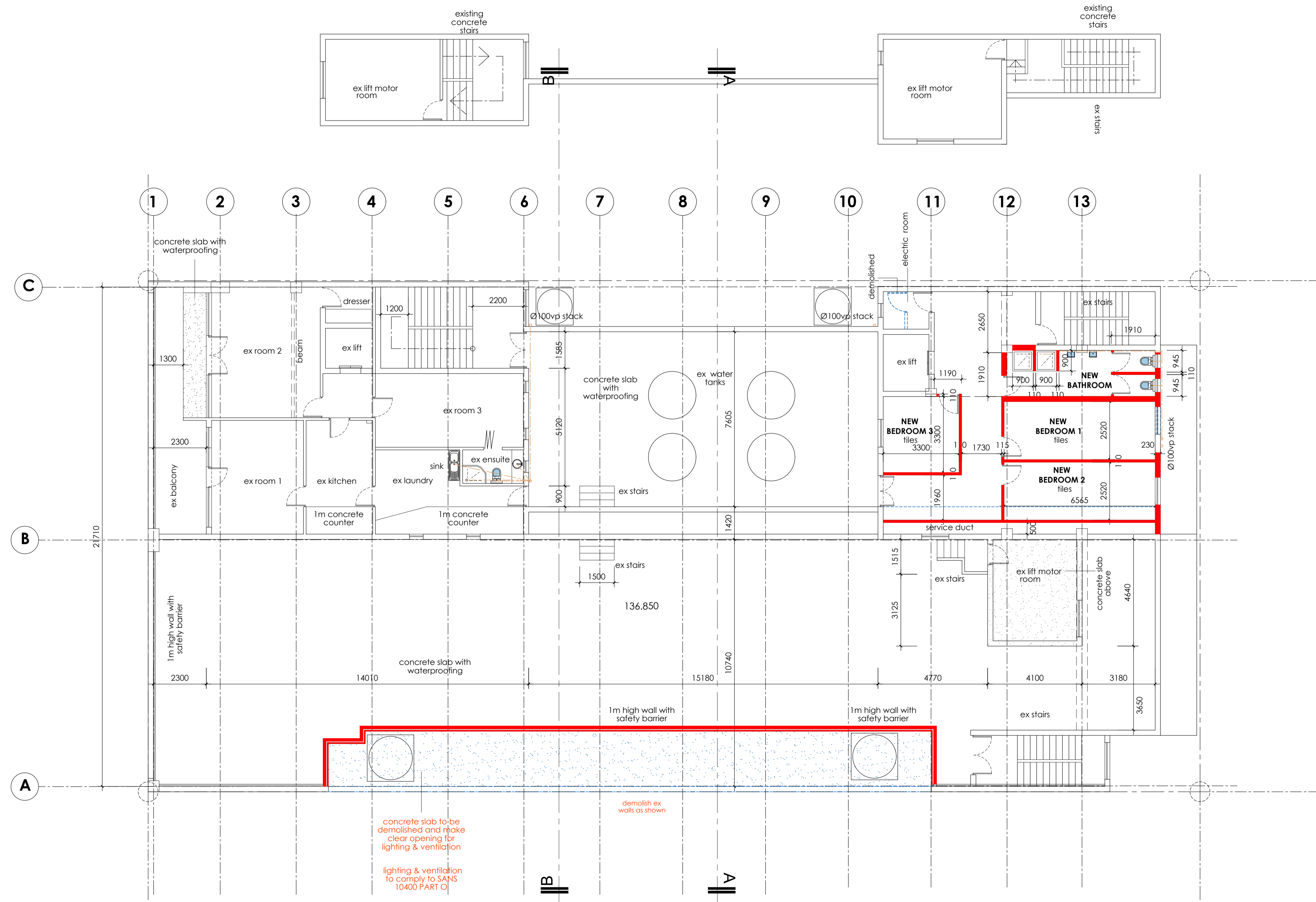
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PROJECT CO-ORDINATOR

ISSUE STATUS SUBMISSION - 10/15

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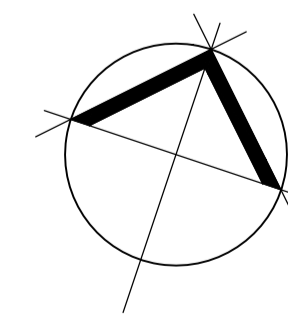
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concrete slab to be demolished and make clear opening for lighting & ventilation
 lighting & ventilation to comply to SANS 10400 PART C

demolish ex walls as shown

TEN'TH (ROOF SLAB) STOREY PLAN SCALE 1:100



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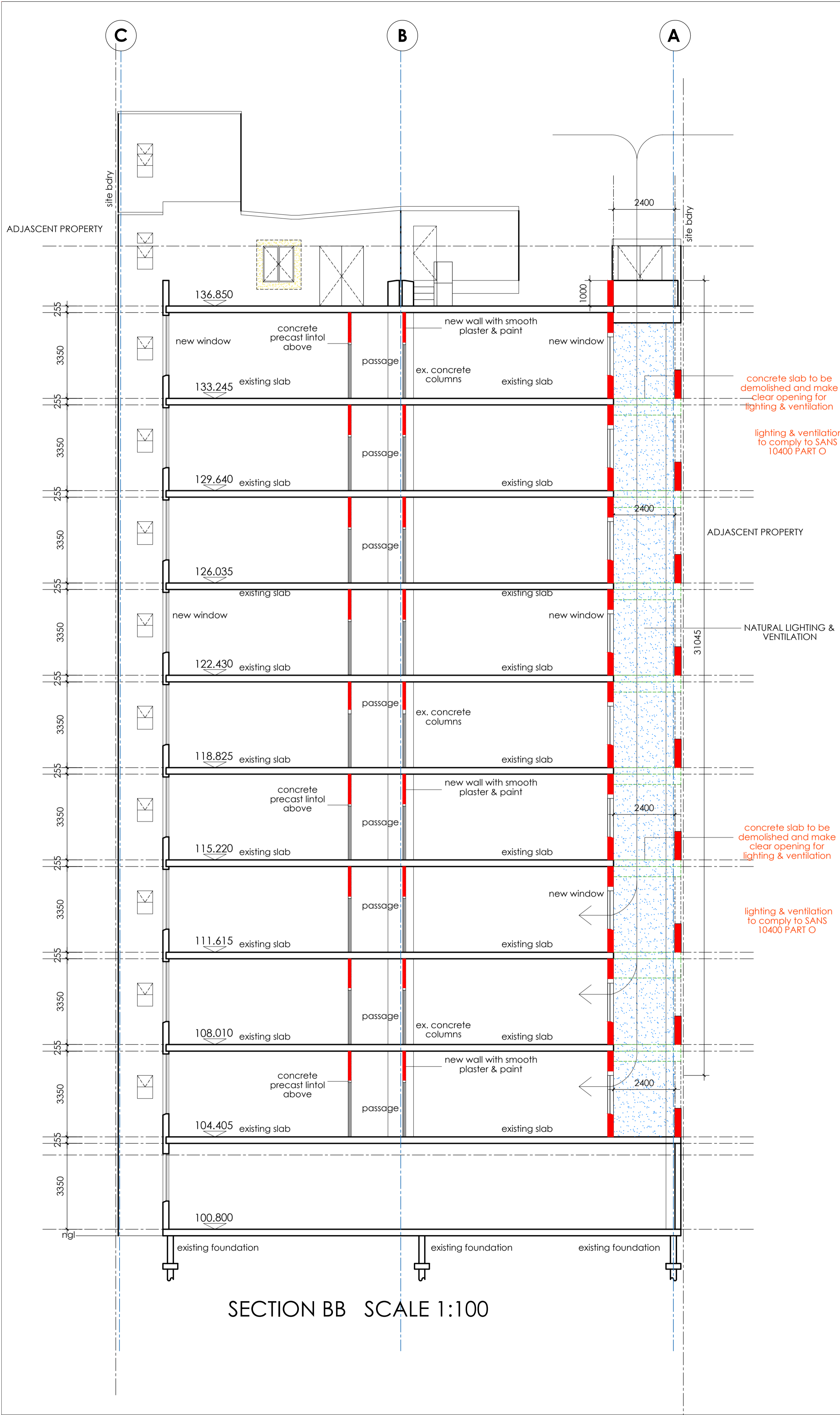
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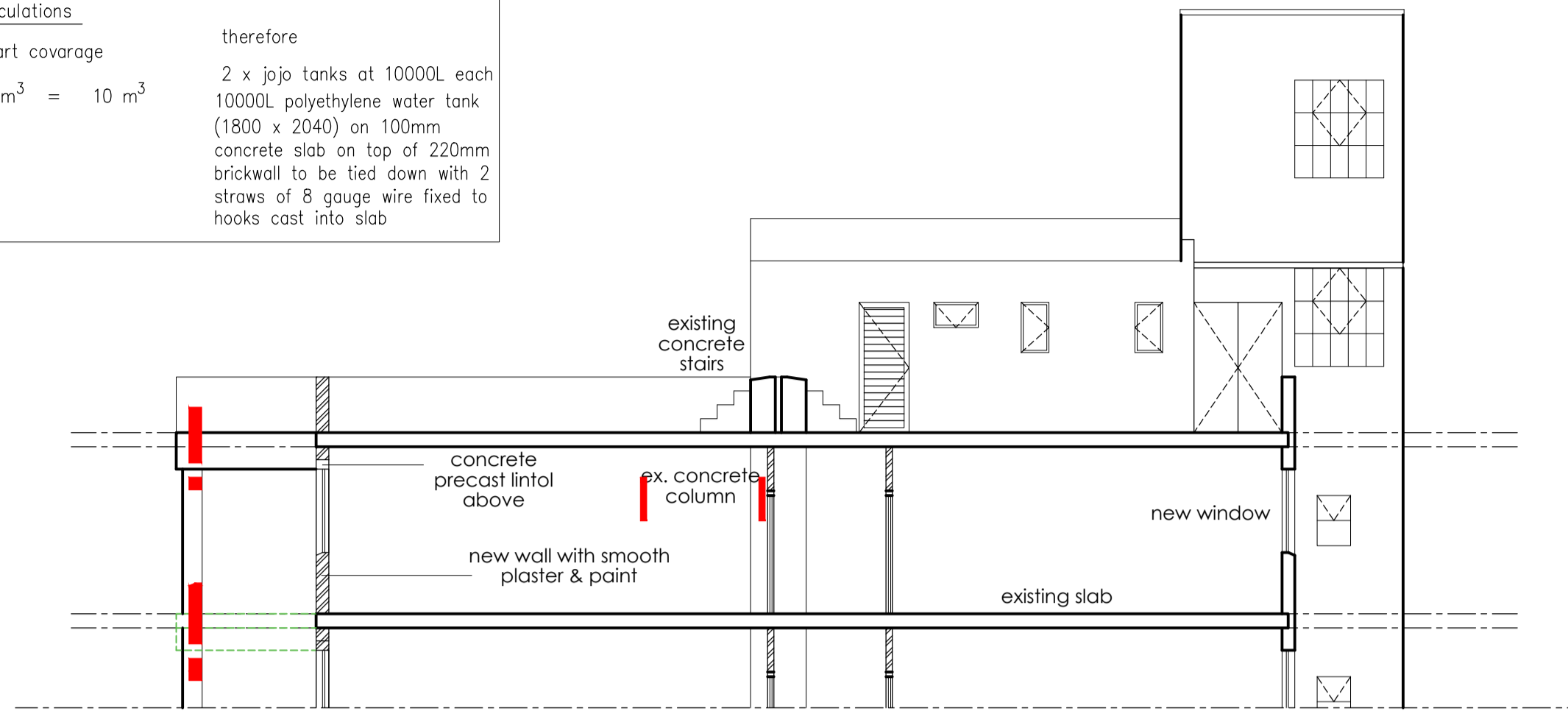
ISSUE STATUS SUBMISSION - 11/15

JOB NO:	TYPE:	DWG NO:	REVISION:
001	H2		



SECTION BB SCALE 1:100

stormwater calculations
 400.00 sqm part coverage therefore
 400.0 sqm / 40 m³ = 10 m³ 2 x jojo tanks at 10000L each
 4.25 m³ x 1.67 10000L polyethylene water tank
 16.7 m³ (1800 x 2040) on 100mm
 16700L concrete slab on top of 220mm
 brickwall to be tied down with 2
 straws of 8 gauge wire fixed to
 hooks cast into slab



PART SECTION AA SCALE 1:100

	W1	W2	W3	W4	W5	W6	W7	W8	W9	W10
max pane size	1 off	4 off	8 off	50 off	72 off	126 off	18 off	3 off	12 off	10 off
total areas	0.23	0.70	0.23	0.70	0.80	0.70	0.30	0.70	0.50	0.60
thickness & type	aluminium top hung opening	aluminium sides opening	aluminium top hung opening	aluminium sides opening	aluminium sides opening	aluminium sides opening	aluminium top hung opening	aluminium sides opening	aluminium sides opening	aluminium sides opening
	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey	aluminium powder coated - grey
	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass	6mm toughened safety glass

ALL GLASS TO COMPLY WITH PART N OF SANS 10400

- ALL CONSTRUCTION WORK, MATERIALS AND INSTALLATIONS, INCLUDING CONTRACTOR AND ALL SUB-CONTRACTOR BASED, IS TO COMPLY WITH ALL LOCAL AUTHORITY, GOVERNMENT, NBR REQUIREMENTS AND SANS 10400 STANDARDS THAT APPLY. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE REGISTERED WITH THE APPLICABLE PROFESSIONAL COUNCILS / ORGANIZATIONS. WHERE CONFLICTS, DISCREPANCIES OR UNCERTAINTIES MAY EXIST, CONFIRMATION FROM THE ARCHITECT IS TO BE OBTAINED BEFORE WORK IS PUT TO HAND.
- OUTER FACE OF INNER SKIN OF BRICKWORK BAGGED AND SEALED WITH TWO COATS 'BRIXEAL' BITUMEN EMULSION WATERPROOF COATING.
- BRICKFORCE TO NON-CAVITY WALLS EVERY THIRD COURSE OF BRICKWORK, EVERY COURSE OF BRICKWORK ABOVE OPENINGS, AND AROUND OPENINGS TO COMPLY WITH SABS 785.
- BUTTERFLY TIES TO CAVITY WALLS AND AT JUNCTIONS OF WALLS TO ENGINEER'S DETAIL; WHERE POSSIBLE, JUNCTIONS ARE TO BE TOOTHED KEYS AND BONDED.
- INTERNAL CEMENT PLASTER TO COMPRISE 12MM THICK (1:5 CEMENT/SAND MIX), UNLESS OTHERWISE STATED.
- EXTERNAL CEMENT PLASTER TO COMPRISE 12MM THICK (1:4 CEMENT/SAND MIX), UNLESS OTHERWISE STATED.
- GRANOLITHIC SCREED TO COMPRISE (1:3 CEMENT/SAND MIX), THICKNESS AS SPECIFIED.
- 375MICRON DPC AT ALL WINDOW HEAD AND SILL, (UNLESS OTHERWISE STATED) BUILT IN TO DETAIL.
- 375MICRON STEPPED DPC AT ALL WALL/FLOOR JUNCTIONS.
- 250MICRON 'GUNPLAS' UCB GREEN DPM UNDER ALL GROUND SLABS WITH CONTINUOUSLY TAPED SEALED JOINTS WITH MINIMUM 150MM OVERLAP ON MINIMUM 50MM SAND BUNDLING; LAID OVER BRICKWORK, UNDER DPC. SOIL BENEATH TO BE POISONED.
- FLOOR LEVELS INCLUDING FINISH TO ACHIEVE 40MM COVER ABOVE TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- 3X30MM BRASS STRIP BETWEEN ALL FLOOR FINISH CHANGES.
- PLASTER SHOULD HAVE A RULED JOINT AT ANY EXPOSED JUNCTION WHERE A SKIN OF BRICKWORK IS FLUSH WITH THE EDGE OF A CONCRETE MEMBER.

GENERAL

- ALL WORK TO COMPLY WITH N.B.R. AND STANDARD ACTS SANS 10400
- ALL DIMENSIONS AND LEVELS TO BE CHECKED
- SAFETY GLASS TO BE USED WITHIN 300MM OF FFL

ALL CLAZING TO COMPLY WITH PART NN2 & NN3 OF SANS 10400 1910 & SABS 0137

- FRESH AIR TO BE SUPPLIED AT A RATE OF 7.51 PER SEC. PER PERSON
- AIR TO BE UNIFORMLY DISTRIBUTED THRU HABITABLE AREAS VELOCITY MAX. 0.5m/s, MIN 0.2m/s
- ALL ROOMS TO HAVE 10% NATURAL LIGHT
ALL PASSAGES, TOILETS AND KITCHENS TO HAVE MIN 160 LUX.

STRUCTURE

- ALL RETAINING WALLS AND STRUCTURAL WORK TO PROF. ENG. DETS
- ALL SOIL EXCAVATION AND FILLING TO PROF. ENG. DETAIL
- RC FLOOR SLABS AND BEAMS TO PROF. ENG. DETAIL
- PC LINTELS TO ALL NON BEAM OPENINGS

- 100 PVC SEWER PIPE @ MIN 1:60 FALL
- 100 PVC STORMWATER PIPE @ MIN 1:60 FALL
- 100 upvc heavy duty pipe encased in concrete where any structure passes over sewer & stormwater lines being protected from any loads imposed on the drain

written dimensions to be taken in preference to scaling
 N.G.L. is in approx. position

- ROOFS - SANS 10400 - PARTS B,L & XA COMPLIANCE
 - MINIMUM REQUIRED TOTAL R-VALUE FOR ROOF ASSEMBLY AS PER TABLE 7 OF SANS 10400X=2.7(CLIMATE ZONE 5):
- WALLS - SANS 10400 - PART B,T&XA COMPLIANCE
 - ALL WALLS TO COMPLY WITH SANS 10400-B TO ENGINEERS DETAILS.
 - ALL WALLS TO COMPLY WITH PART T OF SANS 10400-T.
 - EXTERNAL WALLS ARE DOUBLE SKIN MANSORY WALLS AND COMPLY WITH 4.4.3.2 OF SANS 10400-XA INTERMS OF R-VALUE REQUIREMENTS.
- FLOORS - SANS 10400 - PART XA COMPLIANCE
 - FLOORS DO NOT HAVE UNDERFLOOR HEATING AND THE BUILDING IS SITUATED IN CLIMATE ZONE 5 AND THEREFORE COMPLIES WITH SANS 10400 -XA & SANS 204 CLAUSE 4.3.2 FOR FLOORS.
- HOT WATER - SANS 10400 - PART XA COMPLIANCE
 - HOT WATER SUPPLY TO COMPLY WITH 4.1 OF SANS 10400-XA
 - HOT WATER SERVICE TO COMPLY WITH 4.5.1 OF SANS 204
 - ESTIMATED HOT WATER CONSUMPTION IS 140L/DAY
 - HEAT PUMP TO BE INSTALLED
- LIGHTING AND POWER - SANS 10400 - PART XA COMPLIANCE
 - LIGHTING AND POWER TO COMPLY WITH 4.5.1 OF SANS 204 REFER TO THIS SHEET FOR LIGHTING LAYOUTS AND ENERGY CONSUMPTION CALCULATIONS
 - LIGHT TYPE 1 USED : LED (LIGHT EMITTING DIODE)
 - LIGHT TYPE 2 USED : CFL (COMPACT FLUORESCENT LAMP)
 - PHOTO CELL

WALLS TO COMPLY WITH :- SANS 10400 - K
 EXTERNAL WALLS - IMPERIAL BRICK, PLASTER AND PAINT
 FINISH WITH 30mm CAVITY

NOTES
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PROJECT:
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 BOARDING HOUSE ON ERF 12254, DURBAN
 ON 27-33 DAVID WEBSTER STREET

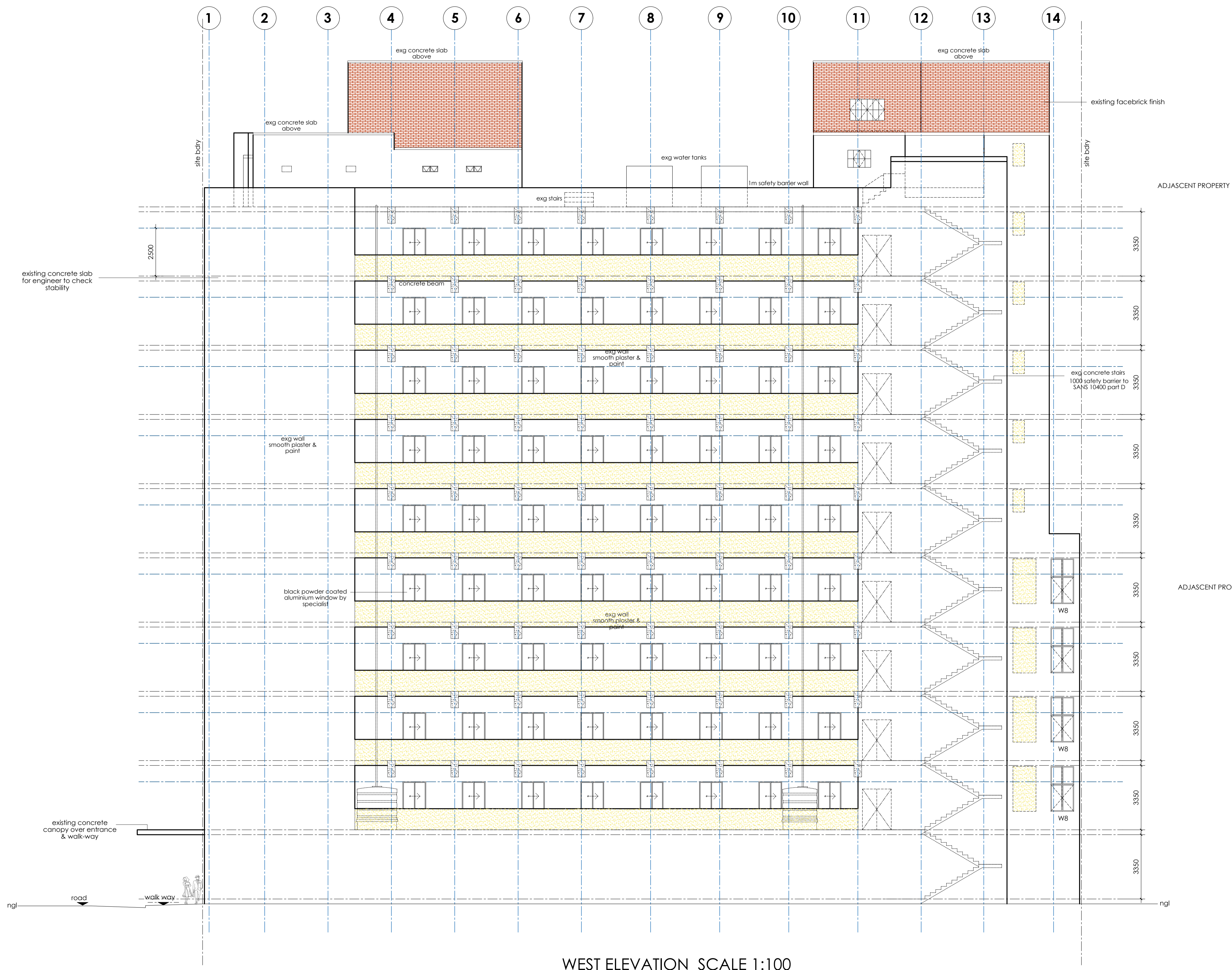
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 SECTIONS

SCALE 1:100 DATE 25.08.2023

PROJECT CO-ORDINATOR

ISSUE STATUS SUBMISSION - 12/15

JOB NO: 001 TYPE: H2 DWG NO: REVISION:



WEST ELEVATION SCALE 1:100

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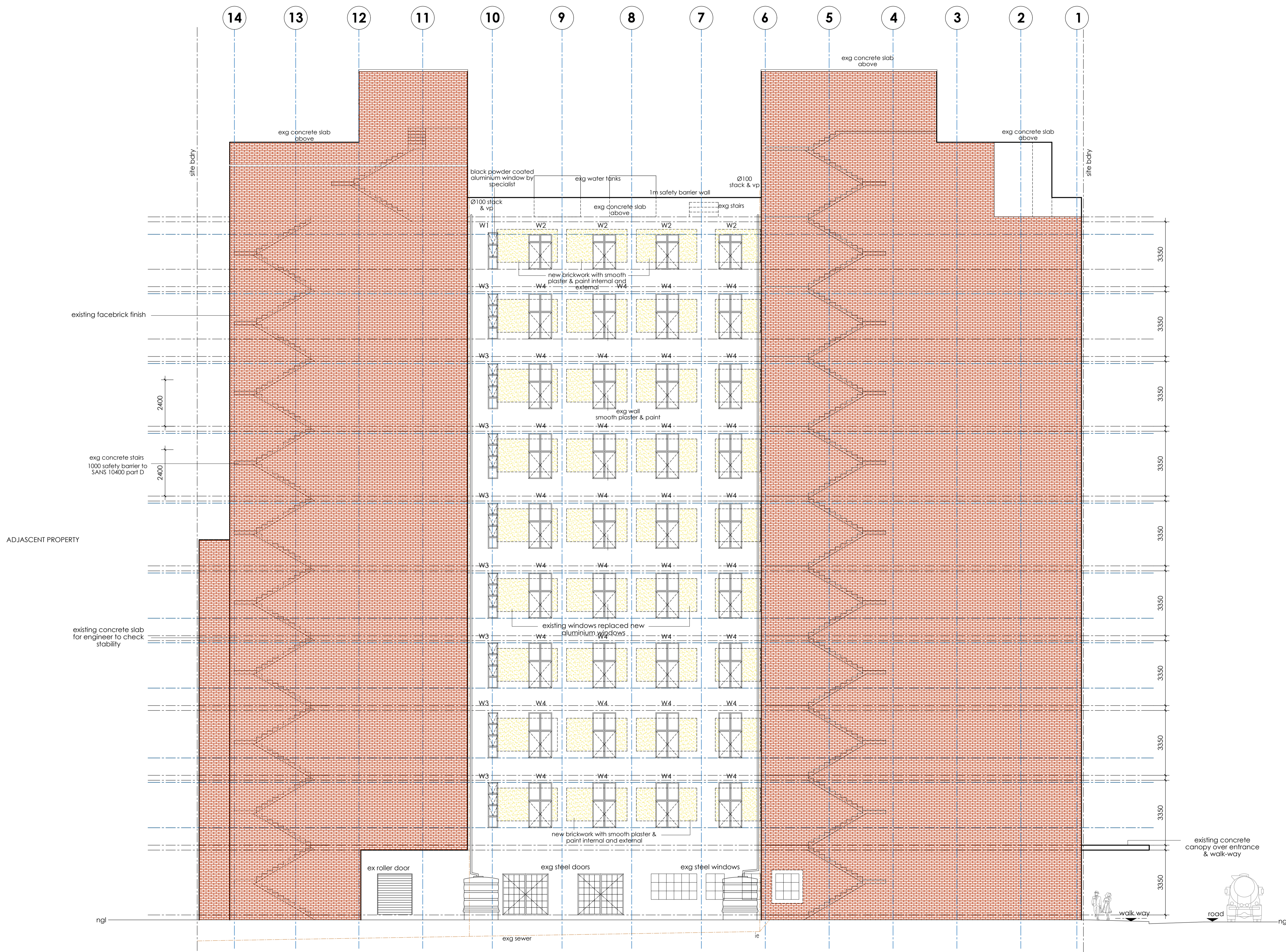
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ISSUE STATUS SUBMISSION - 14/15

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EAST ELEVATION SCALE 1:100

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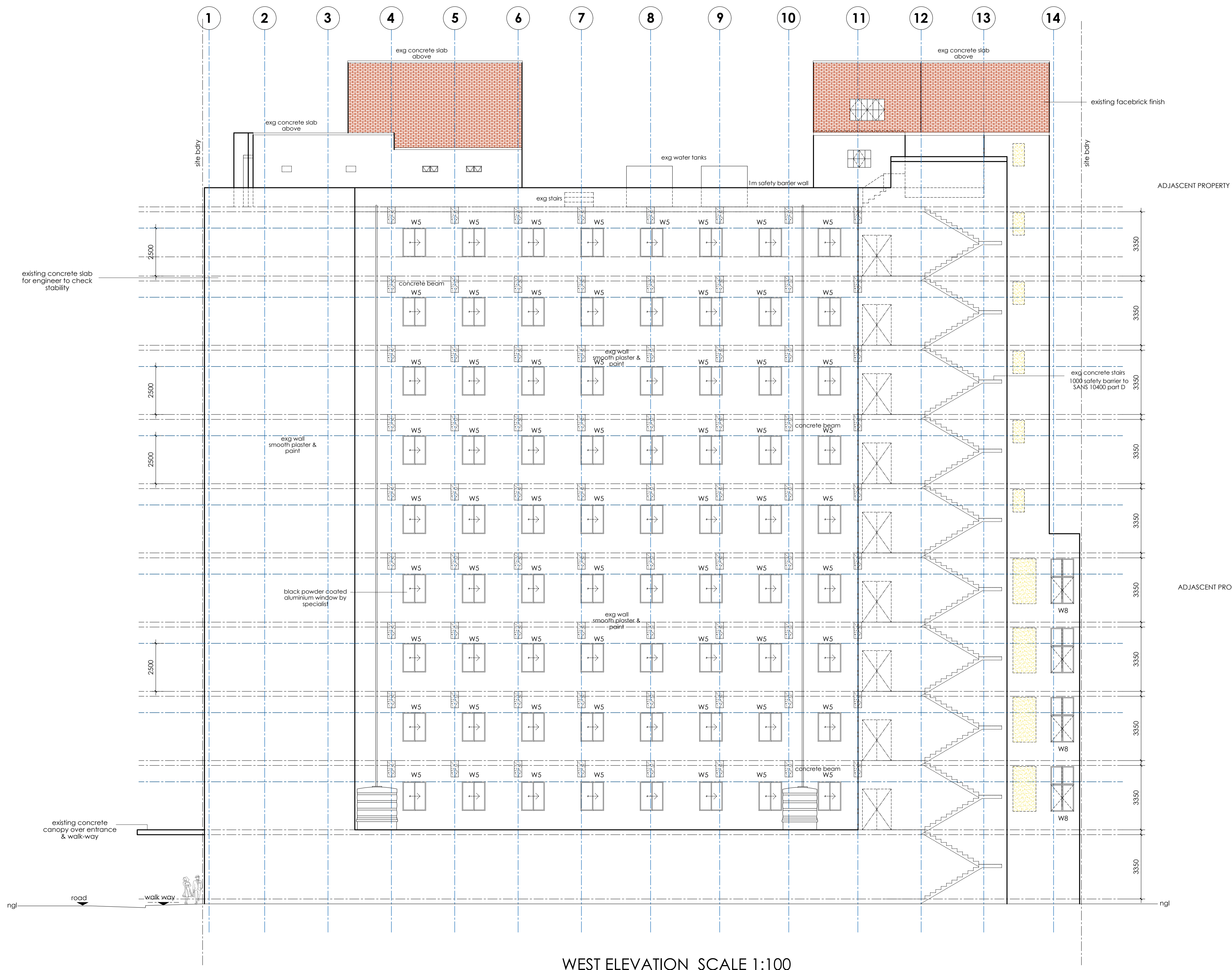
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WEST ELEVATION SCALE 1:100

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NORTH ELEVATION SCALE 1:100



SOUTH ELEVATION SCALE 1:100

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