

NEIGHBOURS CONSENT			
ADDRESS	NAME	TEL. No	SIGNATURE
9 Anthony Road	LES JANSZ	083 224869	<i>[Signature]</i>
12 Anthony Road	E. Landberg & Landberg	079 1055490	<i>[Signature]</i>
14 Anthony Road	C. ROBERT	082 521347	<i>[Signature]</i>
16 Anthony Road	R. ROBERT	082 5213561	<i>[Signature]</i>
17 Anthony Road	J. NAUCKER	083 6214438	<i>[Signature]</i>
17A Underwood Road	A. DURANT	082 7462915	<i>[Signature]</i>
18 Underwood Road	A. MATTIOLI	082 519402	<i>[Signature]</i>
20 Underwood Road	A. MATTIOLI	082 519402	<i>[Signature]</i>
251 High Ridge Road	V. COCKLE	0722617899	<i>[Signature]</i>

DRAWING NOTES:

- Do not scale this drawing.
- All dimensions and levels to be checked on site before commencing work.
- All discrepancies to be brought to author's notice.
- No foundations to encroach over boundaries/servitudes.
- Depth of foundations to be determined on site - min. 4 courses.
- All work to comply with SANS 10400 and L.A. building regulation's.
- Contractor to locate and protect ex. services on site during construction.

ENGINEER'S NOTES:

THE FOLLOWING ARE TO BE THE ENGINEER'S RESPONSIBILITY:

- SLABS
- BEAMS
- COLUMNS
- FOUNDATIONS
- STAIRS
- ROOF STRUCTURE
- TIMBER DECK
- POOL
- MECHANICAL LIGHTING AND VENTILATION

DWELLING - BASEMENT STOREY
SCALE 1-100

- DEVIATION LEGEND**
- ① - TITLE BLOCK UPDATED
 - ② - SCHEDULE OF AREAS UPDATED
 - ③ - NOTES UPDATED
 - ④ - SERVICE PASSAGE OMITTED
 - ⑤ - DOOR RETAINED
 - ⑥ - PROPOSED DOOR OMITTED
 - ⑦ - 2 NEW TIMBER FULL PANE WINDOWS ADDED
 - ⑧ - POOL SIZE AND SHAPE ALTERED
 - ⑨ - PLANTABLE RETAINING WALL ALTERED IN SHAPE, SIZE AND POSITION
 - ⑩ - PART OF RETAINING WALL ALTERED
 - ⑪ - STAIR CONFIGURATION ALTERED
 - ⑫ - WALL RETAINED
 - ⑬ - NEW VP C/W CONCRETE WALLS/COLUMN
 - ⑭ - 1.2m HIGH FENCE WITH SELF LOCKING GATE RELOCATED
 - ⑮ - NEW WALK IN CLOSETS
 - ⑯ - PRECAST WALLS EXCEED 2M IN HEIGHT IN PLACES
 - ⑰ - LAYOUT OF PRECAST FENCE ALTERED TO ACCOMMODATE EX. MAN HOLE
 - ⑱ - NO BACK FILL, NOW SUSPENDED SLAB
 - ⑲ - WALL RESHAPED
 - ⑳ - CONCRETE STAIRS OMITTED
 - ㉑ - EXISTING RE NOT M/H
 - ㉒ - PROPOSED STAIRS OMITTED
 - ㉓ - WINDOW GLAZING SCHEDULE UPDATED

General Notes

Structural engineer:
All piling, footings, foundations, columns, beams and elevated slabs to structural engineers specification and detail.
All structures to comply with SANS 10400 - B, Structural Design.
Demolitions SANS 10400 - E
All demolitions to comply with SANS 10400-E.
Site Operations SANS 10400 - F
Sanitary facilities to be provided for duration of contract to comply with SANS 10400- F.4.2 and F.11.
Soil poisoning to comply with SANS 10400- F.4.3 and F.5 in accordance with SANS 10124.
Public protection to comply with SANS 10400 - F.1.
Control of dust and noise levels to comply with SANS 10400- F6
Explorative cutting into, laying open or demolition to comply with SANS 10400 - F.7.
Site cleaning to comply with SANS 10400 - F.8.
Site accommodation to comply with SANS 10400 - F.10.
Excavations SANS 10400 - G
All excavations to comply with SANS 10400 - G1 and 2 and subject to engineer's specification and detail.
Foundations SANS 10400 - H
All foundations to structural engineer's specification and detail.
Floors SANS 10400 - J
Concrete floors are to be concrete surface beds on 250 mm 40mm unpoisoned consolidated fill to comply with SANS 10400-J.4.4.
Suspended timber floor to comply with SANS 10400-J.2.8 & 2.9

Walls SANS 10400 - K
All walls to comply with SANS 10400 - K and structural engineer's specifications and detail.
All lintels to comply with SANS 10400 - KA.2.9
Full protection to be provided to comply with SANS 10400-M.3
Lintels SANS 10400-K.4.2.9
220 collar jointed wall with window & door openings less than 1.5m to use pre-cast pre-stressed concrete lintels and above a minimum 4 courses with brickwork with a minimum bearing of 150mm.
Brickface secondary reinforcement to be provided in uppermost bed joint.
Slab cover min. 15mm & max. 30mm
Lintels to be supported for not less than 7 days after completion.
Roofs SANS 10400 - L
Roofing to comply with SANS 10400-L and structural engineer's specifications and detail.
Waterproofing & flashing to comply with SANS 10400-L.5
Glazing SANS 10400 - N
Waste material on site to comply with SANS 10400-N.
Glazing installation to comply with SANS 10400-N.2.
Lighting and ventilation SANS 10400 - O
Lighting and ventilation to comply with SANS 10400-O
Category 1 building: glazed openings including frames and glazing bars, shall not be less than 5% of respective room's net area or 0.1 sqm.
Gardener's toilet's window - 0.495 sqm or 25.12% of toilet's net area.
All windows have zones of space free of obstructions
Stormwater disposal SANS 10400 - R
All stormwater management systems to comply with SANS 10400-R.

Mechanical engineer:
All artificial ventilation systems by approved accredited HVAC engineer to comply with SANS 10400-0.
All to comply with SANS 10400 - T for fire protection and SANS 10400 - W for fire installation.
All stormwater to comply with SANS 10400 - R (Stormwater Disposal)
All sewers to comply with SANS 10400 - P (Drainage).
Non water borne sewer to engineer's design & specifications
FINISHES:
ROOF:
-Cement fibre barges, fascias to match ex.
-aluminium rain water gutters & pvc down pipes to match ex.
-Approved flashing to all parapets.
WALLS:
-Scratch plaster to be removed & replaced with smooth plaster throughout.
-Cement plaster bands
GLAZING:
-Min. 6,38mm safety glazing to all glass within 300mm off FFL.
-Tile cills to be replaced with moulded concrete cills.
PLUMBING:
-Le's at all bends, junctions & changes in direction
-Rooftops to discharge to distal gully's.
-Required Fire Resistance of Division Separating Elements as per SANS 10400 T4.6.2 Table 5 - 60 minutes.

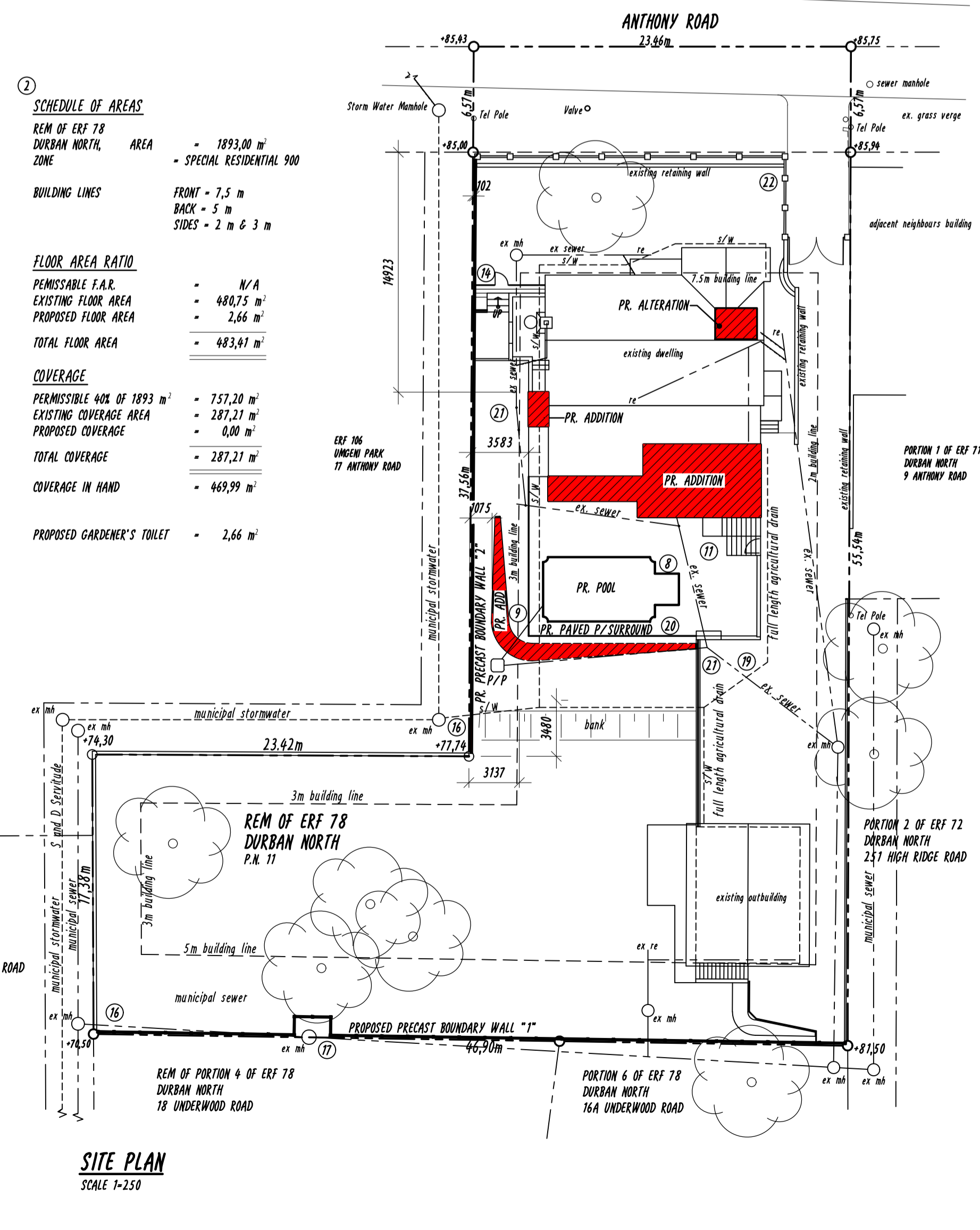
SCHEDULE OF AREAS

REM OF ERF 78 DURBAN NORTH, ZONE - 1893,00 m²
- SPECIAL RESIDENTIAL 900

BUILDING LINES
FRONT - 7,5 m
BACK - 5 m
SIDES - 2 m & 3 m

FLOOR AREA RATIO
PERMISSIBLE F.A.R. - N/A
EXISTING FLOOR AREA - 480,75 m²
PROPOSED FLOOR AREA - 2,66 m²
TOTAL FLOOR AREA - 483,41 m²

COVERAGE
PERMISSIBLE 40% OF 1893 m² - 757,20 m²
EXISTING COVERAGE AREA - 287,21 m²
PROPOSED COVERAGE - 0,00 m²
TOTAL COVERAGE - 287,21 m²
COVERAGE IN HAND - 469,99 m²
PROPOSED GARDENER'S TOILET - 2,66 m²



HYPERASE SYSTEMS cc OK 94/13816/23 1/A

Ian Whitaker
Drafting Designs
COMPUTER AIDED DRAWINGS
REG. No. D0783

PROFESSIONAL ARCHITECTURAL DRAUGHTING PERSON CELL No. 083 303 8863
8 UP THE HILL, SUNNINGDALE, 4051 TEL: 031 5620310

Owner:
J.K.B. BOSSERT & G. BOSSERT

Property Details:
11 ANTHONY ROAD
ATHLONE
REM OF ERF 78
DURBAN NORTH

Proposal:
DEVIATIONS TO APPROVED
PLANS No. 159 06 13

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING

OCCUPANCY: H3 CLIMATE ZONE: 5

DRAWING TITLE
SUBMISSION - SITE PLAN, FLOOR PLANS & NOTES

PROJECT NO: WD19/29 DRAWING NO: WD19/29/oi/s01 REV. NO: A

SCALE: 1:100 & 1:250 DATE: 28-10-2019

AUTHOR'S SIGNATURE: *[Signature]*

OWNER'S SIGNATURE: *[Signature]*