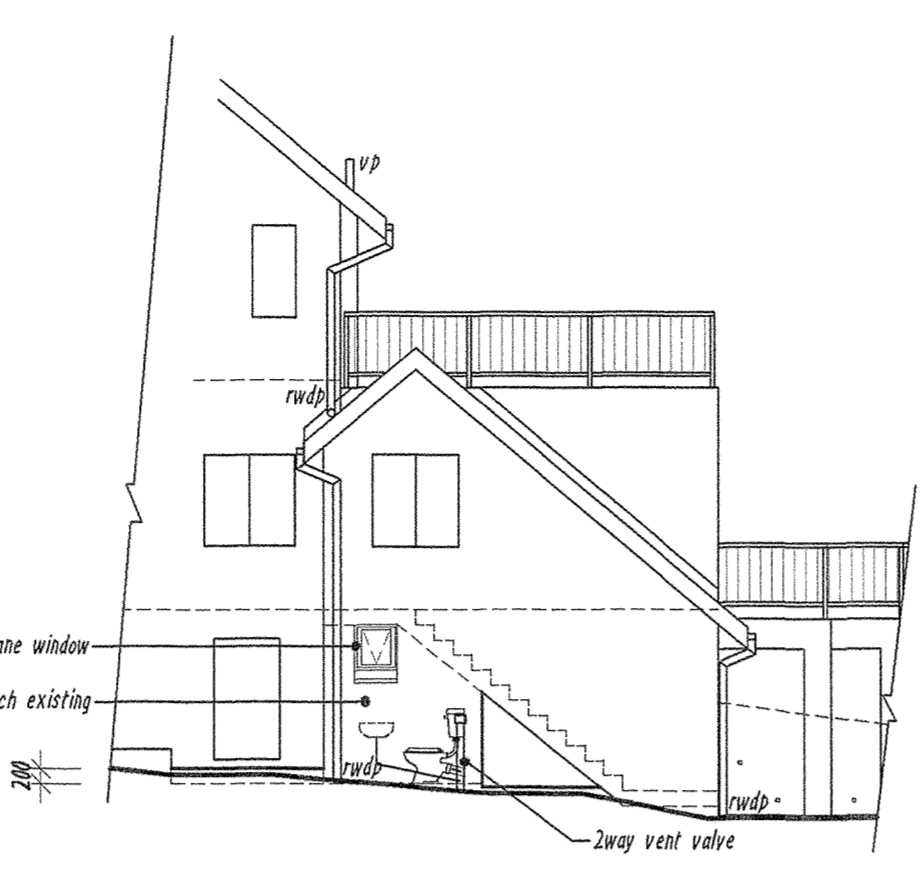
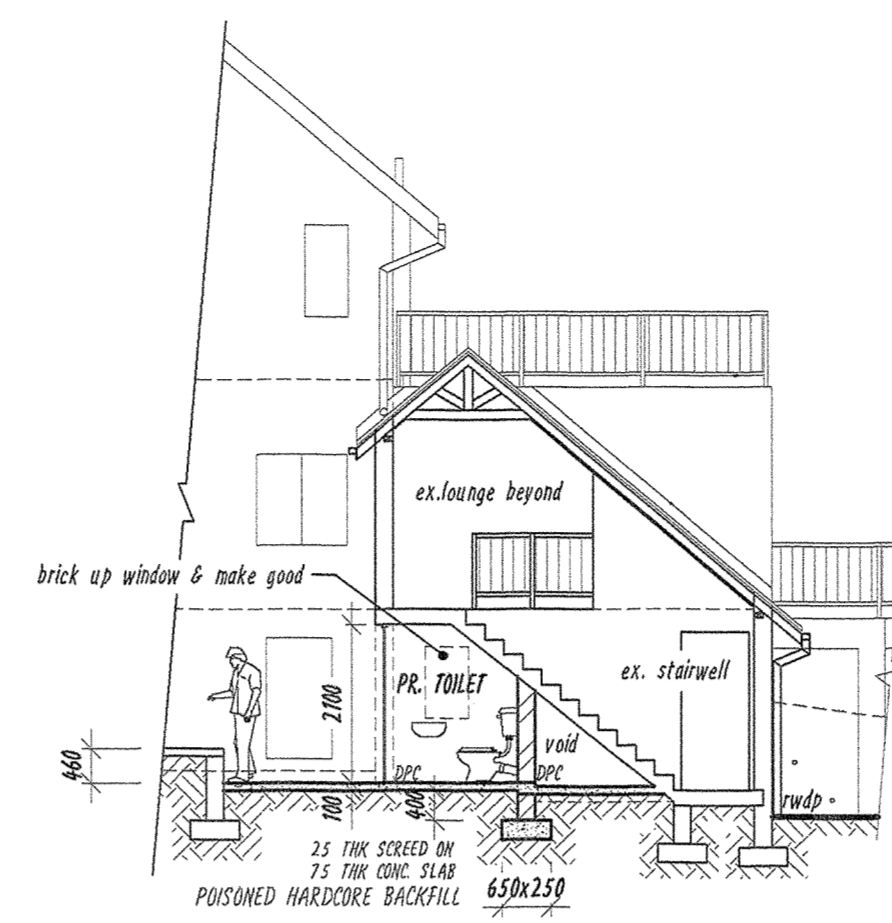


**NORTH ELEVATION - DWELLING**  
SCALE 1:100



**WEST ELEVATION - DWELLING**  
SCALE 1:100



**SECTION "A-A"**  
SCALE 1:100

**GENERAL NOTES**

**Structural engineer:**  
All piling, footings, foundations, columns, beams and elevated slabs to structural engineer's specification and detail.  
All structures to comply with SANS 10400 - B, Structural Design.  
All stormwater to comply with SANS 10400 - R (Stormwater Disposal).  
All sewers to comply with SANS 10400 - P (Drainage).

**Demolitions SANS 10400 - E**  
All demolitions to comply with SANS 10400-E.

**Site Operations SANS 10400 - F**  
Sanitary facilities to be provided for duration of contract to comply with SANS 10400-FA.2 and F11.  
Soil poisoning to comply with SANS 10400- F 4.3 and F5 in accordance with SANS 10129.  
Public protection to comply with SANS 10400 - F1.  
Control of dust and noise levels to comply with SANS 10400- F6.  
Explorative cutting into, laying open or demolition to comply with SANS 10400 - F7.  
Waste material on site to comply with SANS 10400 - F8.  
Site cleaning to comply with SANS 10400 - F9.  
Site accommodation to comply with SANS 10400 - F10.

**Excavations SANS 10400 - G**  
All excavations to comply with SANS 10400 - G1 and 2 and subject to engineer's specification and detail.

**Foundations SANS 10400 - H**  
All foundations to structural engineer's specification and detail.

**Floors SANS 10400 - J**  
All floors are to be concrete surface beds on 250 micron open on positioned consolidated fill to comply with SANS 10400- J 4.4.  
All slabs to be designed by structural engineer to comply with SANS 10400- H.A.

**Walls SANS 10400 - K**  
All walls to comply with SANS 10400 - K and structural engineer's specification and detail.  
All lintels to comply with SANS 10400 - K6.2.3  
Full protection to be provided to comply with SANS 10400- K6.3  
All external walls to 230 thick with a minimum CR-value of 40.

**Lighting and ventilation SANS 10400 - O**  
All lighting and ventilation to comply with SANS 10400- O

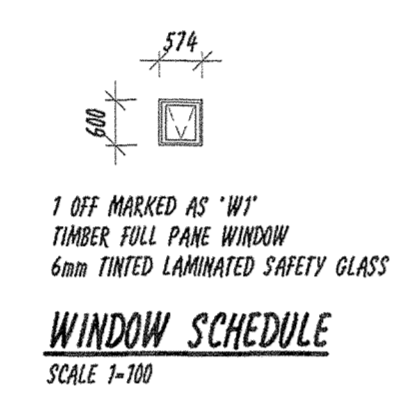
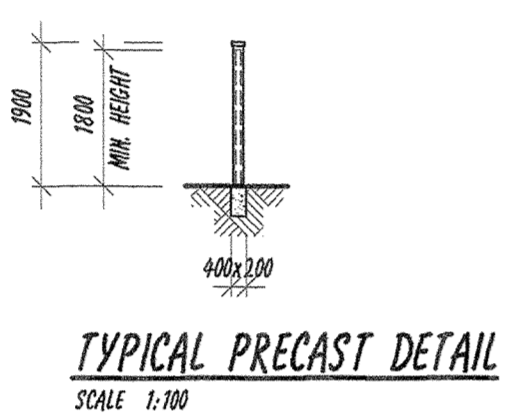
**Glazing SANS 10400 - N**  
All glazing to comply with SANS 10400- N.  
Glazing installation to comply with SANS 10400- N.2.  
All glazing to be tinted Double Low E and timber framed.

**Stormwater disposal SANS 10400 - R**  
All stormwater management systems to comply with SANS 10400- R.

NEIGHBOURS CONSENT			
ADDRESS	NAME	TEL. No	SIGNATURE
9 Anthony Road	C. Robert	0825225447	[Signature]
12 Anthony Road	S. Ross	0824500897	[Signature]
14 Anthony Road	L. J. Jones	0832724869	[Signature]
16 Anthony Road	T. Naicker	0836274488	[Signature]
17 Anthony Road	B. G. G. G.	0827222588	[Signature]
16A Underwood Road	A. MATTIOLI	0825793982	[Signature]
18 Underwood Road	A. MATTIOLI	0825793982	[Signature]
20 Underwood Road	D. Redfern	0829263589	[Signature]
251 High Ridge Road	A. M. D. A. D.	0843950788	[Signature]

**Energy Efficient notes:**  
Building orientation in accordance with SANS 204:2011 4.2  
Floor in accordance with SANS 204:2011 4.3.2  
No under floor heating  
External walls in accordance with SANS 204:2011 4.3.3  
New 230 thick external wall to have a CR-value of 40.  
Penetration in accordance with SANS 204:2011 4.3.4  
See J4 calculations  
New windows to be timber frame to match existing  
All glazing to be tinted Double Low E  
Shading in accordance with SANS 204:2011 4.3.5  
Building sealing to be in accordance SANS 204:2011 4.4  
All edges sealed with either cornice or skirting  
All edges for external doors & windows to be sealed  
Services:  
Lighting and power in accordance with SANS 204:2011 4.5.1 and SANS 10400-0  
Hot water services in accordance with SANS 204:2011 4.5.2  
Hot pump to supply hot water for new service pipes.  
All new exposed hot water pipes to 6" from cylinder & central heating system to be insulated with a min. R-Value of 1.00  
Insulation to be protected from weather and sunlight.

**DWELLING - BASEMENT STOREY**  
SCALE 1:100



**XA Calculations:**  
House - Basement Storey Servants WC  
Net Floor Area = 2.78 sqm  
Area of glazing elements serving this space = 0.34 sqm (12.23%)  
Therefore glazing elements area < 15%

**SCHEDULE OF AREAS**

REM OF ERF 78  
DURBAN NORTH, AREA = 1893,00 m<sup>2</sup>  
ZONING SPECIAL RESIDENTIAL 900

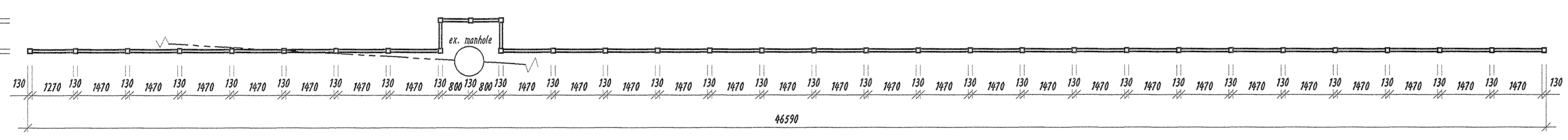
**FLOOR AREA RATIO**

PERMISSIBLE F.A.R. N/A  
EXISTING FLOOR AREA = 480,75 m<sup>2</sup>  
PROPOSED FLOOR AREA = 2,66 m<sup>2</sup>  
TOTAL FLOOR AREA = 483,40 m<sup>2</sup>

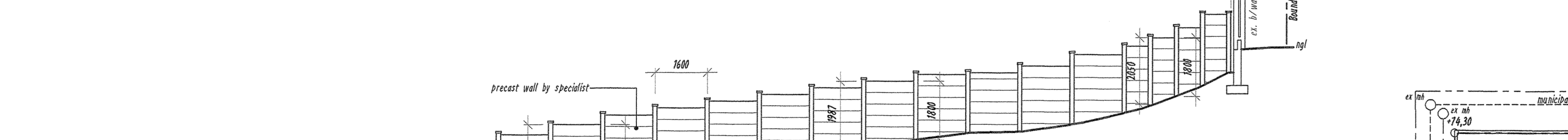
**COVERAGE**

PERMISSIBLE 40% OF 1893,00 m<sup>2</sup> = 757,20 m<sup>2</sup>  
EXISTING COVERAGE = 287,21 m<sup>2</sup>  
PROPOSED COVERAGE = 0,00 m<sup>2</sup>  
TOTAL COVERAGE = 287,21 m<sup>2</sup>  
COVERAGE IN HAND = 469,99 m<sup>2</sup>

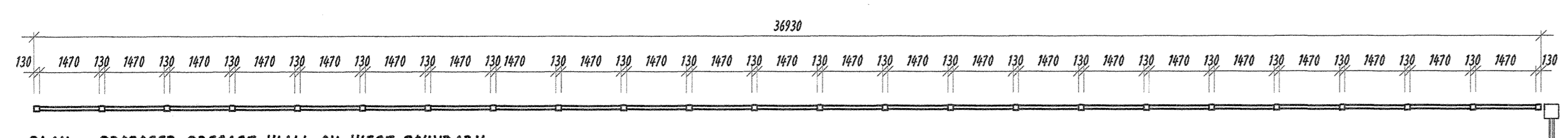
**SOUTH ELEVATION - PROPOSED PRECAST WALL ON SOUTH BOUNDARY**  
SCALE 1:100



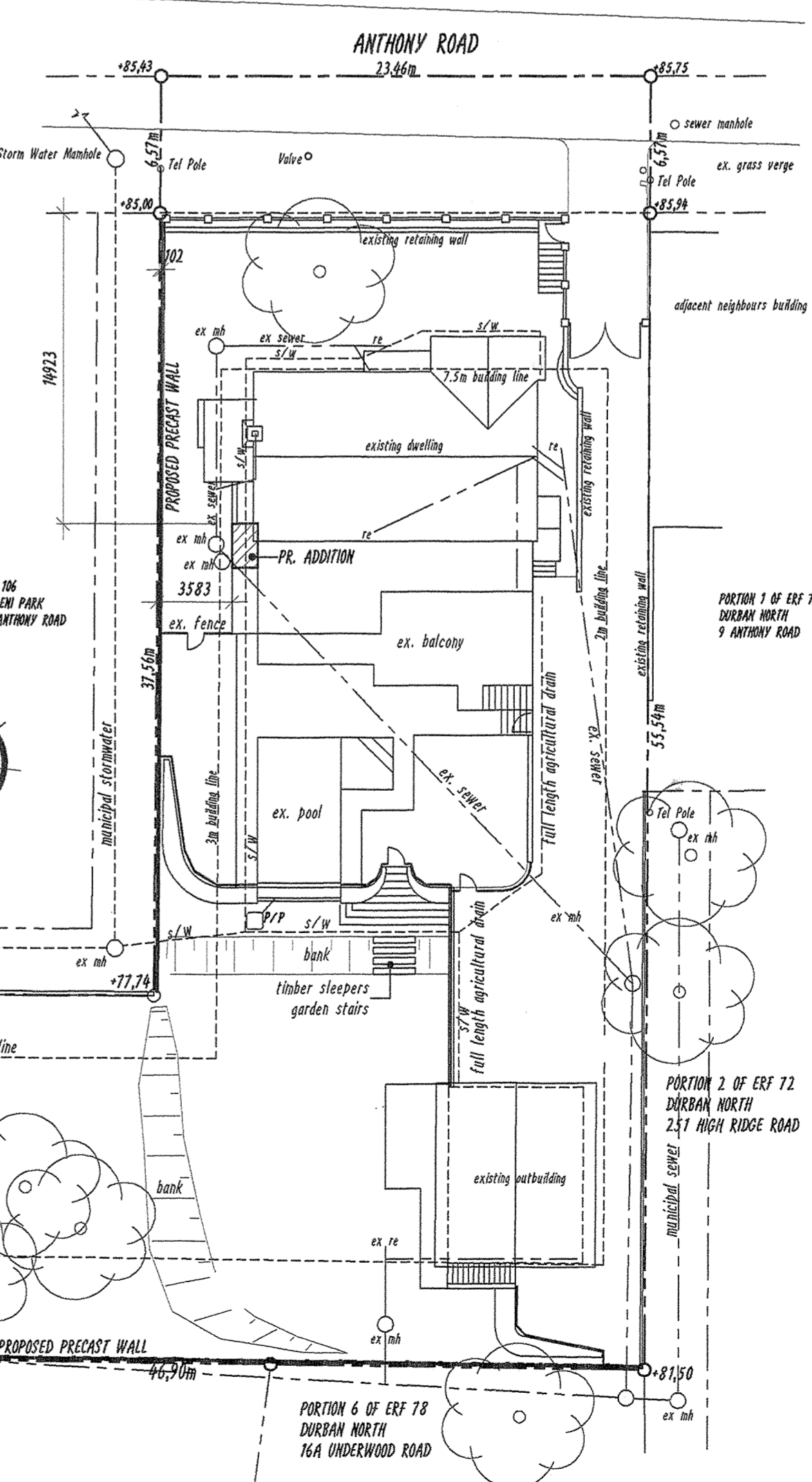
**PLAN - PROPOSED PRECAST WALL ON SOUTH BOUNDARY**  
SCALE 1:100



**EAST ELEVATION - PROPOSED PRECAST WALL ON WEST BOUNDARY**  
SCALE 1:100



**PLAN - PROPOSED PRECAST WALL ON WEST BOUNDARY**  
SCALE 1:100



**SITE PLAN**  
SCALE 1:250

HIPERBASE SYSTEMS cc 08 94/1806/23 T/A

**Ian Whitaker**  
Drafting Designs  
COMPUTER AIDED DRAWINGS  
REG. No. 00785

PROFESSIONAL ARCHITECTURAL DRAUGHTS PERSON CELL No. 083 303 886  
8 UP THE HILL, SUNNINGDALE, 4051 TEL: 031 5620310 FAX: 0866 409530

Alterations & Additions to Existing Dwelling and Proposed Boundary Fences For J.K.B. & G. Bossert  
11 Anthony Road  
REM OF ERF 78  
Durban North  
Tel No. 083 778 8955

DRAWING TITLE  
SUBMISSION DRAWING - SITE PLAN, FLOOR PLANS, ELEVATIONS SECTIONS & WINDOW SCHEDULE

PROJECT NO: WD13/29 DRAWING NO: WD13/29/s04 REV. NO: B

SCALE: 1:100 & 1:250 DATE: 05-06-2013

AUTHOR'S SIGNATURE: [Signature]  
OWNER'S SIGNATURE: [Signature]