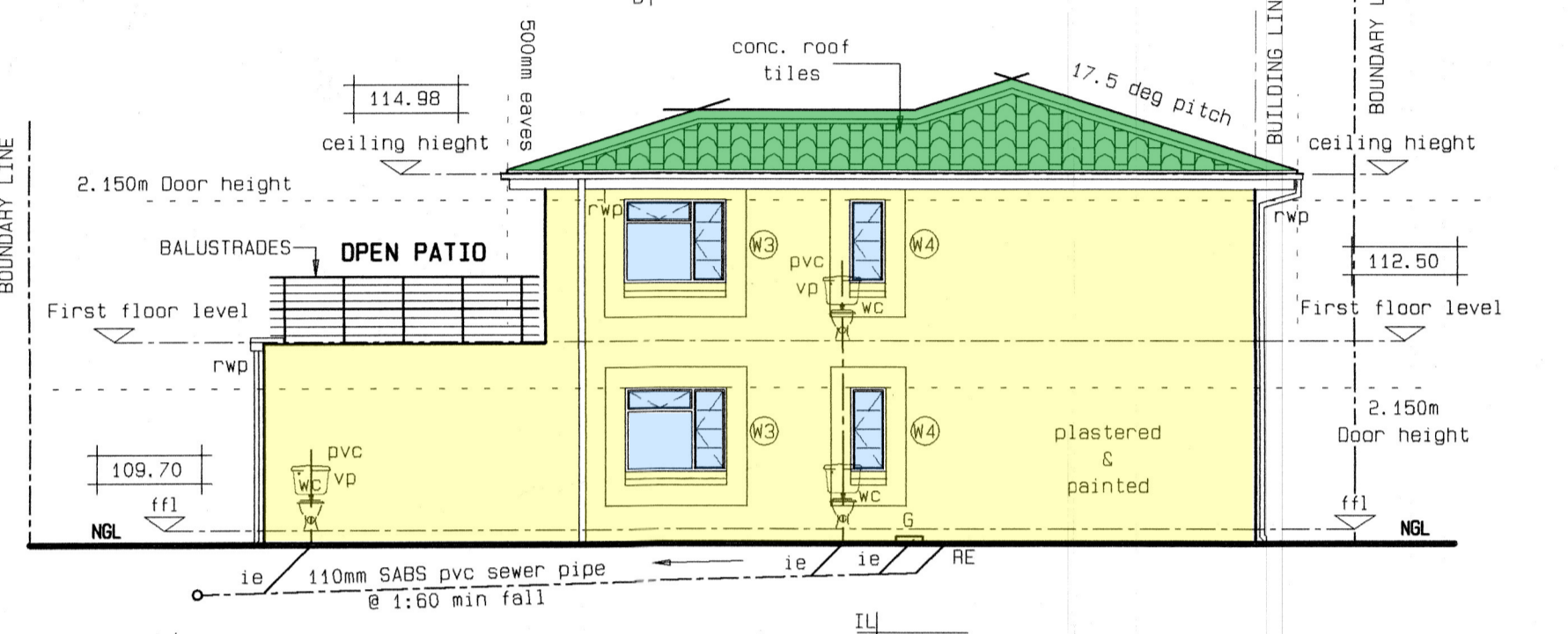
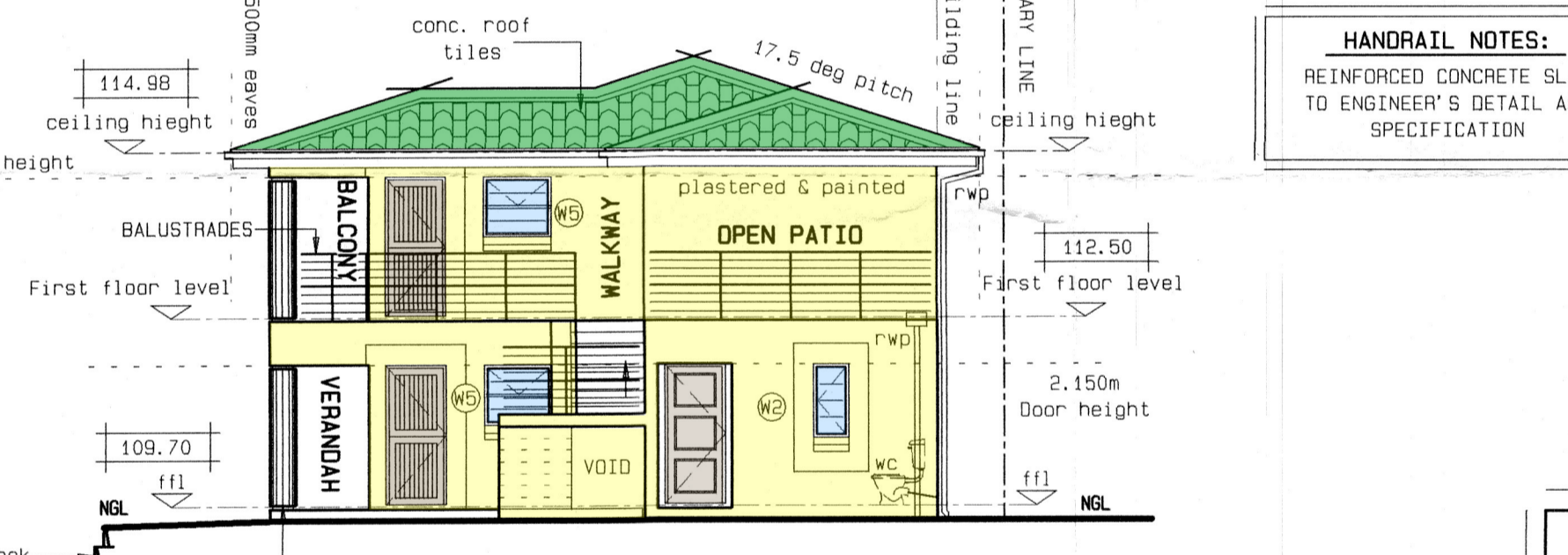


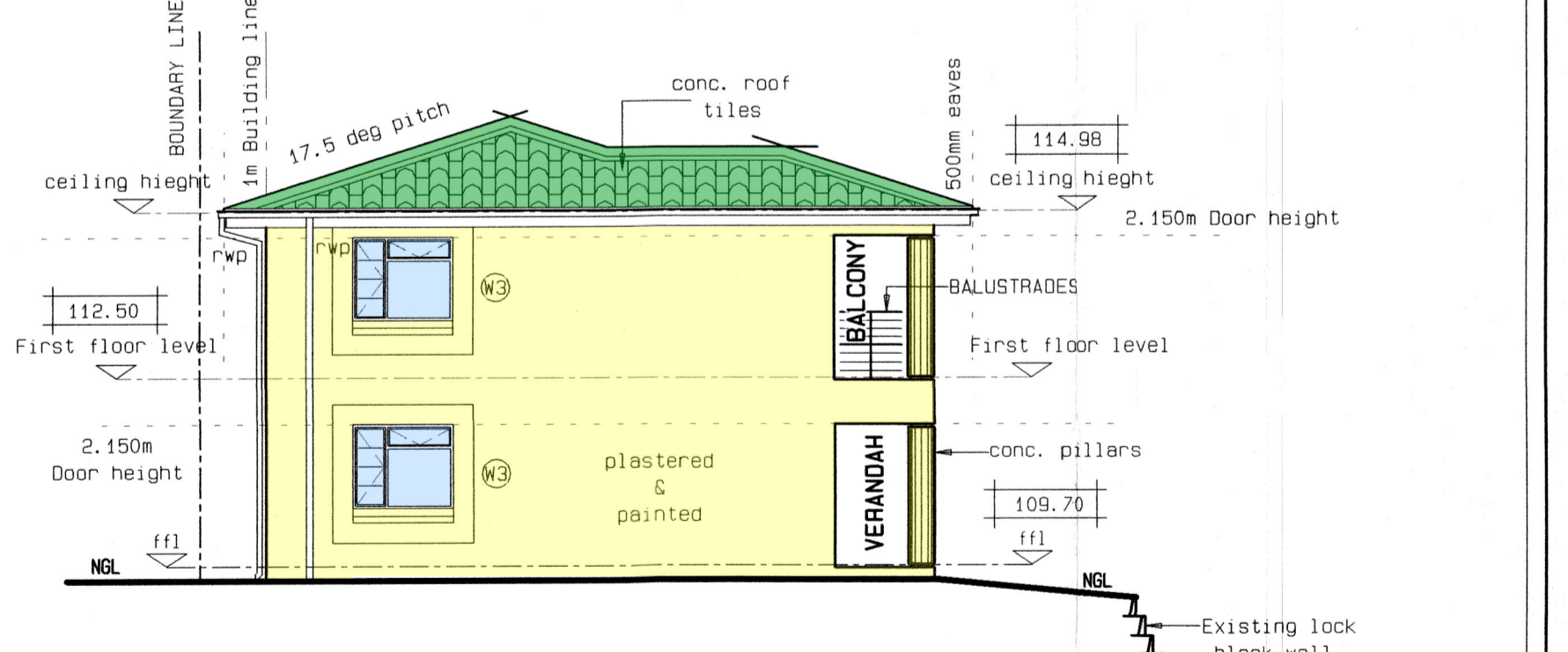
EAST ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

BALUSTRADE NOTES:
REINFORCED CONCRETE SLAB TO ENGINEER'S DETAIL AND SPECIFICATION

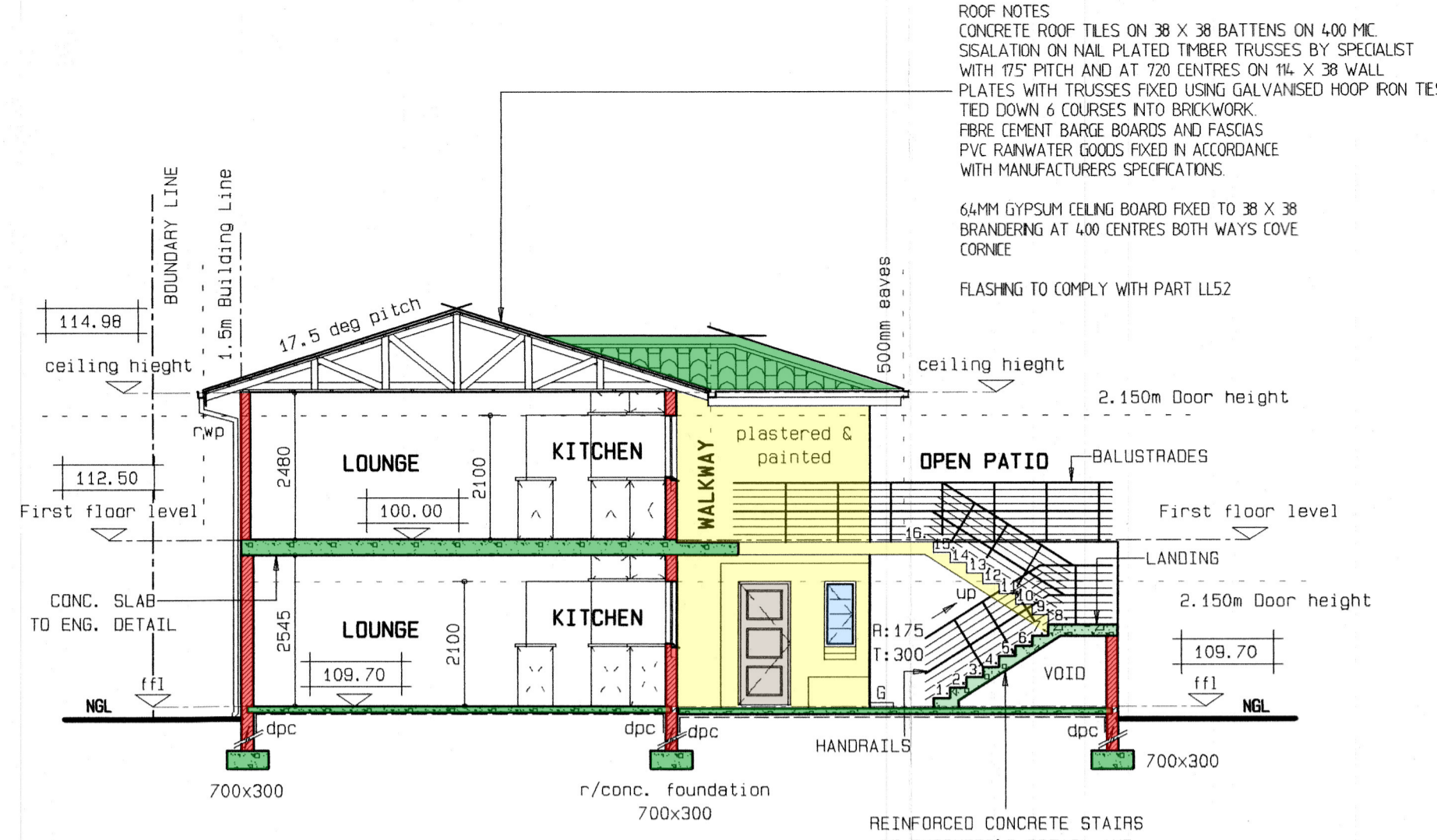
HANDRAIL NOTES:
REINFORCED CONCRETE SLAB TO ENGINEER'S DETAIL AND SPECIFICATION

SANS 10400.XA COMPLIANCE
CALCULATION DEEM TO SATISFY

OCCUPANCY CLASSIFICATION OF BUILDING	
Occupancy	H4
Nett Area	248.09 sqm
Total F.A.R	434.6 sqm
Design Occupancy Time	24hrs/per day/7 days a week
Building Orientation	?

FENESTRATION				
GLAZING AREA:				
REF NR.	QTY	LENGTH X HEIGHT	AREA	
W1	4	0.6 X 2.1	5.04 sqm	
W2	2	0.5 X 1.0	1.2 sqm	
W3	4	1.5 X 1.1	6.6 sqm	
W4	2	0.6 X 1.1	1.32 sqm	
W5	2	1.0 X 0.9	1.8 sqm	
W6	1	2.4 X 0.5	1.2 sqm	
D1	2	2.1 X 2.1	8.82 sqm	
			Total Glazing	25.98 sqm
CALCULATIONS				
(Glazing area/nett floor area) x 100% x (415)				
(25.98 sqm/248.09sqm) x 100 = 11.02%				
15% of N/F/A (36.71) = 10.47%				
10.47 sqm < 14.7 sqm (complies)				
Roof unventilated - R value				
Solid gray tiled - 0.48				
Gypsum board ceiling - 0.06				
80mm Fibre glass blanket - 2.38				
			Total R Value	2.92 > 2.7 (complies)
HOT WATER CONSUMPTION				
4 Person x 20-L per day				
Annual consumption 26.12 k/k				
50% = 1456 by heat pump				
			Total Nett Area	186 sqm
COMPLY WITH max 15% as per SANS 10400XA				

ENERGY DEMAND			ENERGY CONSUMPTION		
ALLOWED :5 M/m			ALLOWED: 5kWh/m.a. adde=1 (1year)		
CALCULATION:			5kWh/m.a x nett floor area = ****kWh.a		
Total Watt / Nett floor area = ****W/m			5kWh/m.a x 33.74m = 168.7kWh.a		
			Max Allowed = 168.7 kWh.a		
			CALCULATIONS:		
			ASSUMPTIONS:		
			Assume lights lamps are on from 17:00-22:00 each day/year, that is 5h/day		
			-52(weeks) x 7(days) x 5(hours) = 1820 h.a		
			-44 W = 0.44kW		
			0.72		
DO COMPLY			DO COMPLY		
No Further Calculations Needed.			No Further Calculations Needed.		

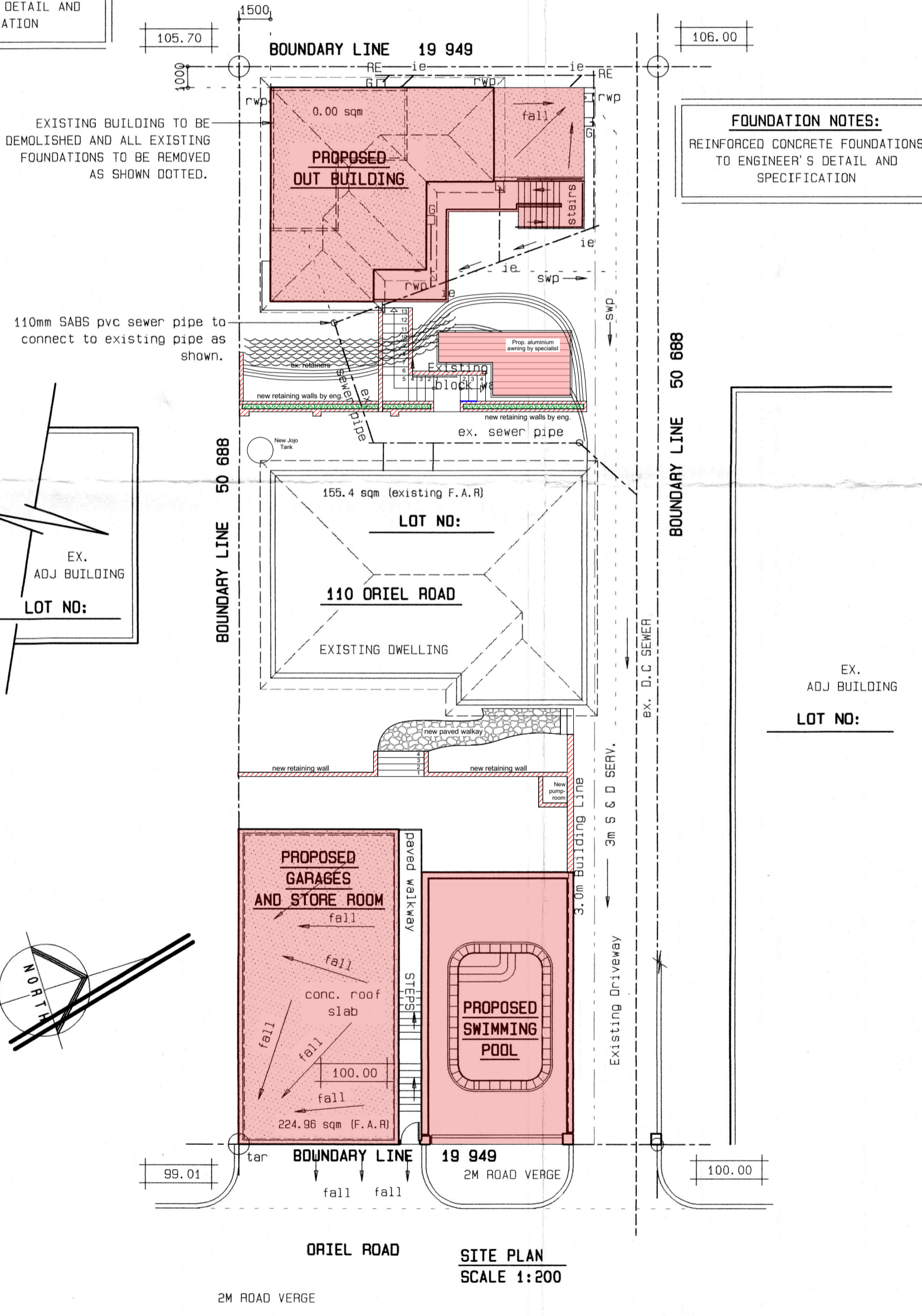


SECTION A-A
SCALE 1:100

CONC. SLAB NOTES:
REINFORCED CONCRETE SLAB TO ENGINEER'S DETAIL AND SPECIFICATION

ROOF NOTES:
CONCRETE ROOF: TILES ON 38 X 38 BATTENS ON 400 MC SICALATION ON NAL PLATED TIMBER TRUSSES BY SPECIALIST WITH 17.5 PITCH AND AT 700 CENTRES ON 14 X 38 WALL PLATES WITH TRUSSES FIXED USING GALVANISED HOOP IRON TIES TIED DOWN & COURSES INTO BRICKWORK.
FIBRE CEMENT BARRIE BOARDS AND FASCIAS
PVC RAINWATER GOODS FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
64MM GYPSUM CEILING BOARD FIXED TO 38 X 38 BRANDING AT 400 CENTRES BOTH WAYS COVE CORNER
FLASHING TO COMPLY WITH PART LL52

FOUNDATION NOTES:
REINFORCED CONCRETE FOUNDATIONS TO ENGINEER'S DETAIL AND SPECIFICATION



ORIEL ROAD
SITE PLAN
SCALE 1:200

Lisa Coleman-Louis 103 Dunville Road 780120005084
cel: 0198845111

Quality of materials and workmanship to comply with the relevant S.A.B.S & B.S.S specification & shall conform to the minimum standards specified in the National Building Regulations.
The Contractor is to check all dimensions shown on these drawings before any work is put on hand and is to report any discrepancies to the Architect for rectification. The Contractor shall correct at his own cost any work incorrectly performed as a consequence of his failure to observe this instruction.
All Contractors to check the details shown on these drawings for compliance with standards of good building practice with particular reference to special requirements necessitated by local and/or on site conditions and to refer any comment(s)/queries to the Architect.
Contractors are to locate & identify existing services on site & to protect these from damage throughout the duration of the works.

Any errors, discrepancies or omissions on these drawings to be reported to the Architect immediately before any work is put on hand.
Contractor is to build in approved d.p.c.'s whether or not these are shown on drawings to all external walls, at each floor, beam or parapet level & to all windows, doors, grilles or other openings in external walls.
These drawings are not to be scaled. Figured dimensions to be used at all times.
Engineer's drawings to be checked against Architect's drawings. Any discrepancies to be brought to the Architect's attention immediately.
All levels to be confirmed on site prior to construction and any discrepancies to be brought to the Architect's attention.
All construction detail, unless otherwise specified to be in accordance with manufacturer's written specification.

PLUMBING
All plumbing & drainage work & installation of sanitary fittings to comply with the relevant N.B.R.'s, Local Authority by-laws & requirements.
Provide I.E.'s to all bends & junctions with suitable markers at ground level.
Provide approved reveal traps to all waste fittings & I.E.'s to foot of all soil stacks.
25mm polyprop pipes underground & copper pipes above ground.

FOUNDATIONS
Unless otherwise specified, all foundations to be of 20 MPa concrete & to be taken to natural ground level.

FLOOR
100mm BRC mesh reinforced surface bed unless otherwise specified by Engineer, on 250 micron plastic underlay with taped overlapping joints on 50mm river sand blinding layer on 150mm well compacted & poisoned fill.
Suspended floor slabs, beams, columns, retaining walls to Engineer's detail.

WALLS
115mm internal, 230mm external clay stock bricks to be plastered & painted.
Provide two courses brickwork at cill & head level.

Revisions			
No.:	Date:	By:	Description:

RANZY ARCHITECTURAL SERVICES
OFFICE NO. 53 1ST FLOOR
ITHALA INDUSTRIAL PARK
UMLAZI, 4066
TEL: 031 836 0931 CELL:083 340 0478

Professional Sign: *[Signature]*

Project Description:
PROPOSED OUT BUILDING, GARAGE & POOL AREA
AT: 110 ORIEL ROAD, BLUFF
FOR: MR TI & MRS LD ALFREDS

Drawing Description:
SUBMISSION DRAWING

Date:	Author:	Checked:
DEC 2021	N B ADAMS	B. M. NDLOVU
Scale:	Revision:	Drwg.: No.:
1:100/200	B	

INDORCEMENTS

OWNER'S SIGN: *[Signature]*
ID NUMBER: 710225232084

OWNER'S SIGN: *[Signature]*
ID NUMBER: 8501255278086