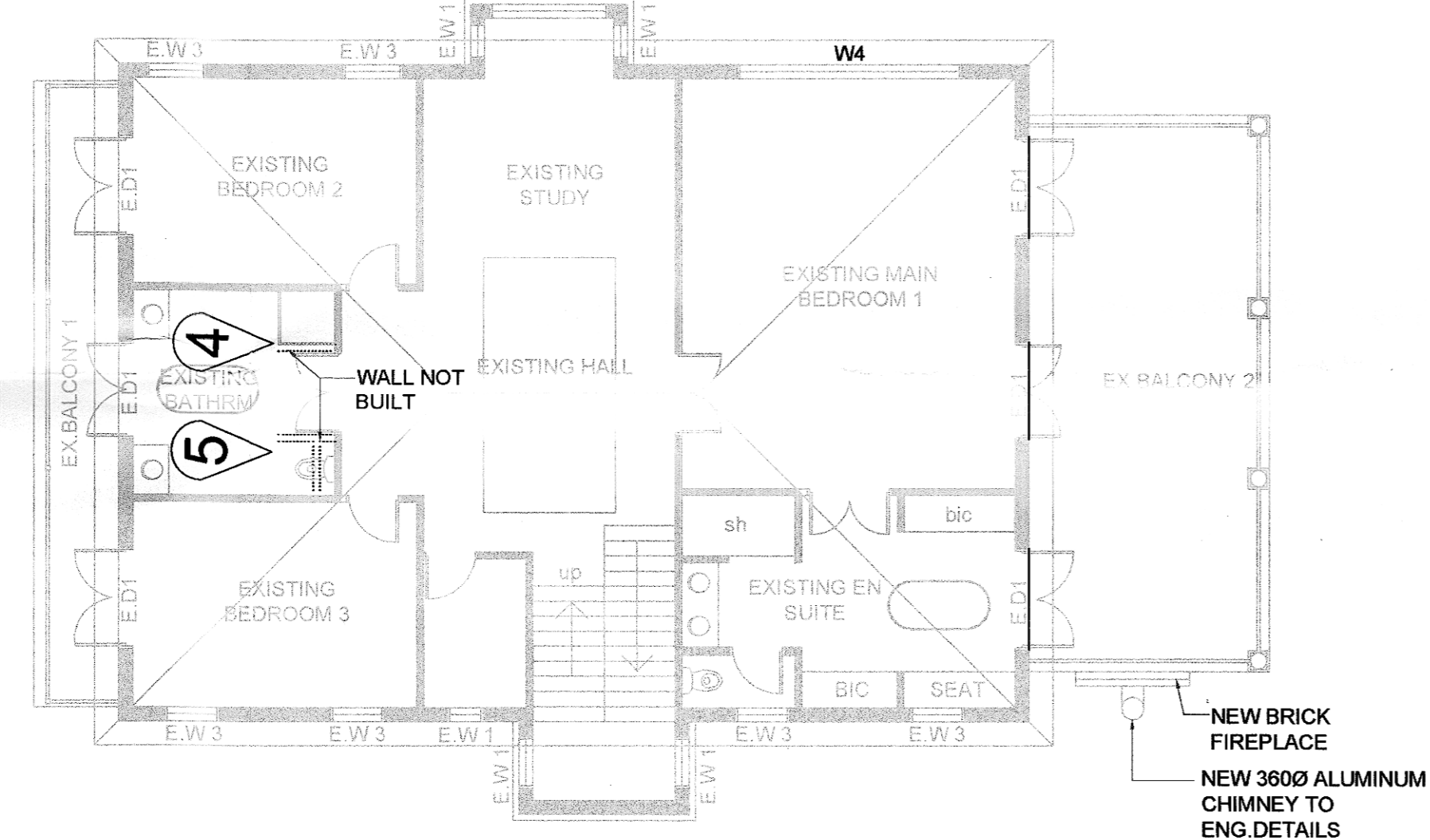
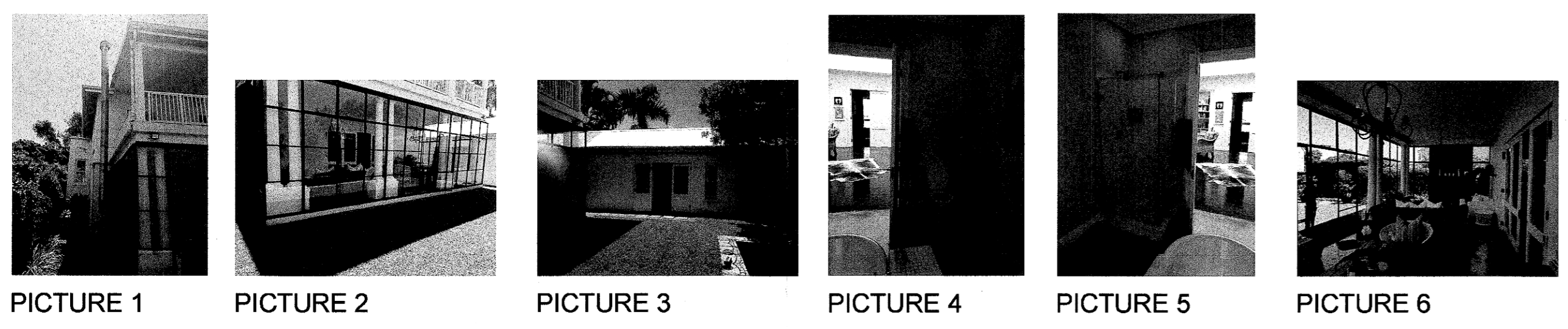


PLAN VIEW: EXISTING GROUND PLAN
SCALE 1:100



PLAN VIEW: EXISTING UPPER PLAN
SCALE 1:100

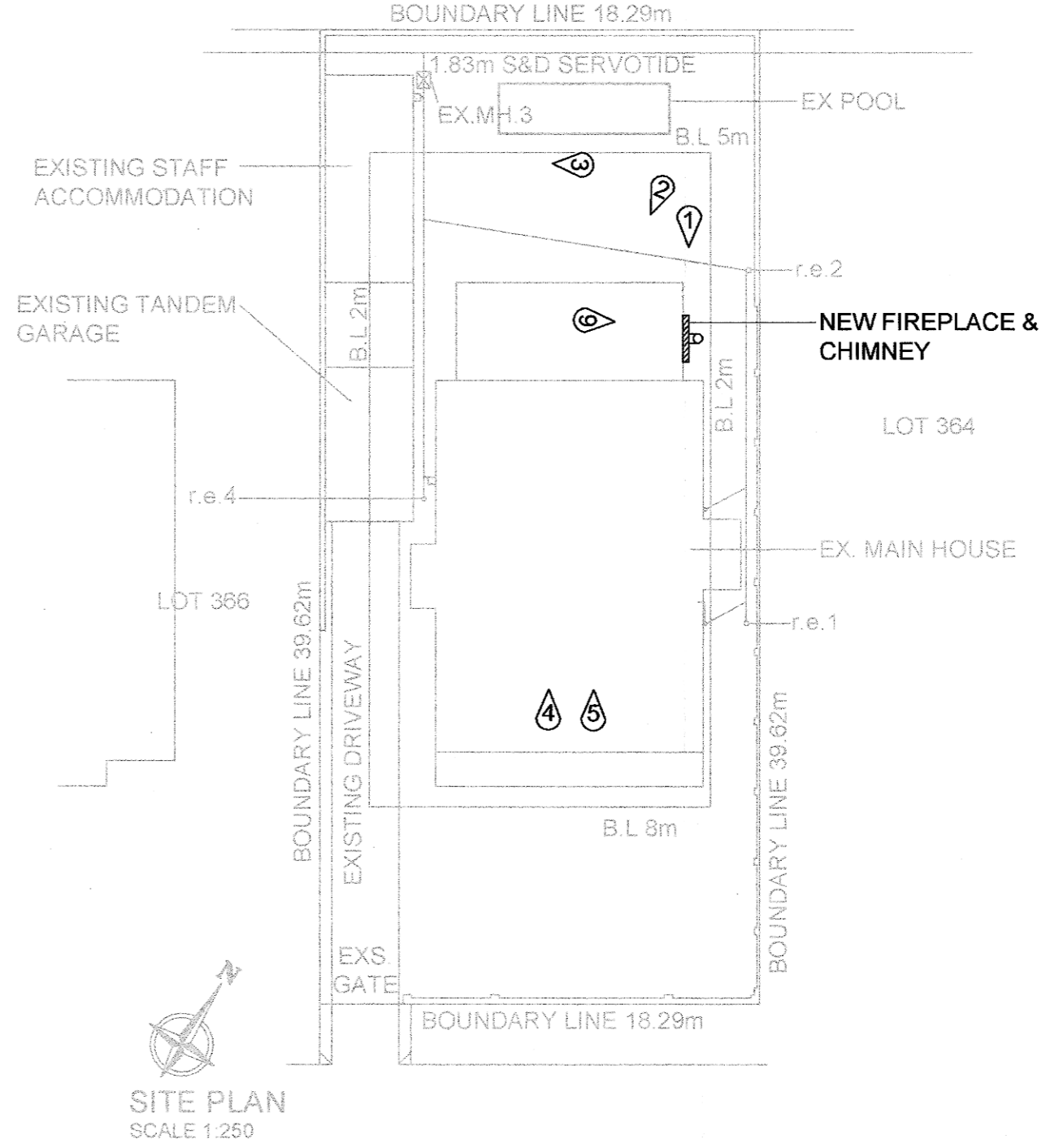


NEW WENDY HOUSE WINDOW & DOORS SCHEDULE	EAST ELEVATION, 3x DOUBLE DOORS - W1		NORTH ELEVATION, 1x DOUBLE DOOR - W2		SOUTH ELEVATION - W3		W4		W5 x 2	
	WINDOW NUMBER	GLAZING AREA	WINDOW NUMBER	GLAZING AREA	WINDOW NUMBER	GLAZING AREA	WINDOW NUMBER	GLAZING AREA	WINDOW NUMBER	GLAZING AREA
FRAME MATERIAL	ALUMINUM_CURTAIN FRAME DETAILS		ALUMINUM_CURTAIN FRAME DETAILS		ALUMINUM_CURTAIN FRAME DETAILS		ALUMINUM		ALUMINUM	
FRAME TYPE	FIXED		FIXED		FIXED		FIXED		FIXED	
GLAZING MATERIAL	SAFETY GLASS		SAFETY GLASS		SAFETY GLASS		SAFETY GLASS		SAFETY GLASS	
NO. OF SIDES SUPPORTED	2 SIDES		2 SIDES		2 SIDES		2 SIDES		2 SIDES	
GLAZING PANE MIN. THICKNESS	6mm		6mm		6mm		3mm		4mm	
GLAZING PANE MAX. AREA	27.3 / 2 = 13.65m ²		11.7 / 2 = 5.85m ²		5.9 / 2 = 2.95m ²		4.4m ²		1.2 / 2 = 0.6m ²	

- GENERAL NOTES:**
1. ALL MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH S.A.B.S. SPECIFICATIONS AND CODES OF PRACTICE.
 2. READ THIS DRAWING IN CONJUNCTION WITH THE ENGINEERS, LAND SURVEYOR OR OTHER SPECIALISTS DRAWINGS & DETAILS, WHICHEVER MAY BE APPLICABLE.
 3. THE CONTRACTOR SHALL NOTIFY THE SUPERVISING CONSULTANT AT LEAST 24 HOURS IN ADVANCE OF COMMENCING ANY SECTION OF WORK.
 4. SHOULD ANY DISCREPANCY EXIST BETWEEN ANY DIMENSIONS AND/OR DETAILS AND/OR THE SPECIFICATION THE CONSULTANT SHALL BE NOTIFIED WITHOUT DELAY AND HE WILL TAKE THE FINAL DECISION.
 5. SHOULD DEVIATION FROM THE DETAILS BE DESIRED THE CONSULTANTS WRITTEN APPROVAL SHALL BE OBTAINED BEFOREHAND.
 6. ALL STIPULATIONS OF THE LOCAL AUTHORITY AND/OR STATUTORY BODY WITH RESPECT TO CONSTRUCTION AND/OR THE SITE AND THE LIKE, SHALL BE STRICTLY ADHERED TO.
 7. ONLY THE DRAWING WITH THE MOST RECENT REVISION WILL BE VALID, UNLESS IT IS REPLACED BY A WRITTEN INSTRUCTION.
 8. ONLY WRITTEN DIMS AND/OR LEVELS SHALL BE USED.
 9. FIREWALLS MUST ALWAYS BE 220MM THICK WALLS.
 10. DAMPCOURSE UNDER ALL WINDOW SILLS AND WALLS.
 11. CONCRETE RAINWATER CHANNELS UNDER ALL RAINWATER PIPES.
 12. ALL ELECTRICAL AND PLUMBING WORK MUST BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS.
 13. RAFTERS MUST BE BOLTED AT ALL JUNCTIONS.
 14. PURLINS-RAFTERS CONNECTIONS MUST BE TIED WITH SUITABLE WIRE.
 15. ALL WORK MUST BE CARRIED OUT STRICTLY IN ACCORDANCE TO DIMENSIONS GIVEN.
 16. ALL INTERNAL PLASTER MUST HAVE A SMOOTH FINISH.
 17. ALL WINDOWS MUST BE APPROVED DESIGN.
 18. ALL WALLS LONGER THAN 2500M MUST BE PROVIDED WITH BRICKFORCE IN EVERY THIRD LAYER.
 19. APPROVED CORRUGATED ROOF SHEETING @ 20° PITCH ON 38 x 38 TIMBER PURLINS @ MAX. 800 mm C/C ON APPROVED DAMP PROOF MEMBRANE ON TIMBER TRUSSES ON TIMBER WALL PLATES.
 20. CONCRETE BRICKS WITH BRICKFORCE AT EVERY 3 COURSES TO BE STEEL FLOAT PLASTERED INTERNALLY WITH 2 COATS PAINT. WOOD FLOAT PLASTER EXTERNALLY WITH PRIMER & BONDING LIQUID, UNDERCOAT, FILLERCOAT AND 2 FINAL COATS PAINT. PRECAST CONCRETE LINTOLS ABOVE WALL OPENINGS.
 21. ALUMINIUM WINDOWS WITH GLASS TO COMPLY WITH NN2 & NN3 OF NBR'S.
 22. 12MM RHINOBOARD CEILING BOARD FIXED TO 38X38MM SA PINE BRANDERS AT 400MM CENTRES TO BE SKIMMED AND PAINTED. MOULDED CORNICES TO CLIENT'S SPECIFICATIONS.
 23. FLOOR FINISHES TO OWNERS CHOICE. GROUND FLOOR TO BE 25MM CEMENT SCORED ON 100MM REINFORCED CONC. SURFACE BED TO ENGINEERS DETAILS WITH BRC MESH ON SABS APPROVED DPM ON WELL COMPACTED & POISONED SOIL. UPPER FLOOR SLAB SIZE TO BE SPECIFIED BY ENGINEER.
 24. MOULDED SKIRTINGS TO MATCH EXISTING.
 25. SMOOTH PLASTER & PAINT AS SHOWN.
 26. SMOOTH PLASTER & PAINT ON DOOR AND WINDOW SURROUNDS.
 27. DAMP PROOF MEMBRANE BY SPECIALIST.
 28. ALUMINIUM RAIN WATER GOODS.
 29. RETAINING WALLS TO ENG. DETAIL & SUBJECT TO SITE CONDITIONS.
 30. 100Ø PVC SEWER PIPE.
 31. 100Ø PVC SEWER PIPE ON ANCHOR BLOCKS.
 32. STORMWATER CHANNEL WITH STEEL GRATING.
 33. CONC. BEAM TO ENGINEERS DETAIL.
 34. TIMBER BEAM TO ENG. DETAIL.
 35. 100MM PLASTER BAND AROUND WINDOW.

SCHEDULE OF AREA

SITE AREA	724.65m ²
EX. GROUND FLOOR	165.4m ²
EX. VERANDA 1	21.2m ²
EX. VERANDA 2	36.7m ²
EX. UPPER FLOOR	171.3m ²
EX. BALCONY 1	14.5m ²
EX. BALCONY 2	36.7m ²
EX. GARAGE	20.9m ²
EX. SERVANT QUARTER	26.0m ²
EX. COVERAGE	269.4m ²
EX. F.A.R	362.7m ²
NEW F.A.R	
EX. VERANDA 2	36.7m ²
TOTAL NEW F.A.R	399.4m ²



SITE PLAN
SCALE 1:250

Notes:
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All dimensions to be checked on site by the Contractor
Where discrepancy occur the Contract Administrator must be notified immediately

STAMP BLOCK:

Rev	Date:	Description
1		

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Architect name: **Pooven Ellen**
Signatures: *[Signature]*

Owner name: **1. Paulette Olivia Litkie**
Signatures: *[Signature]*

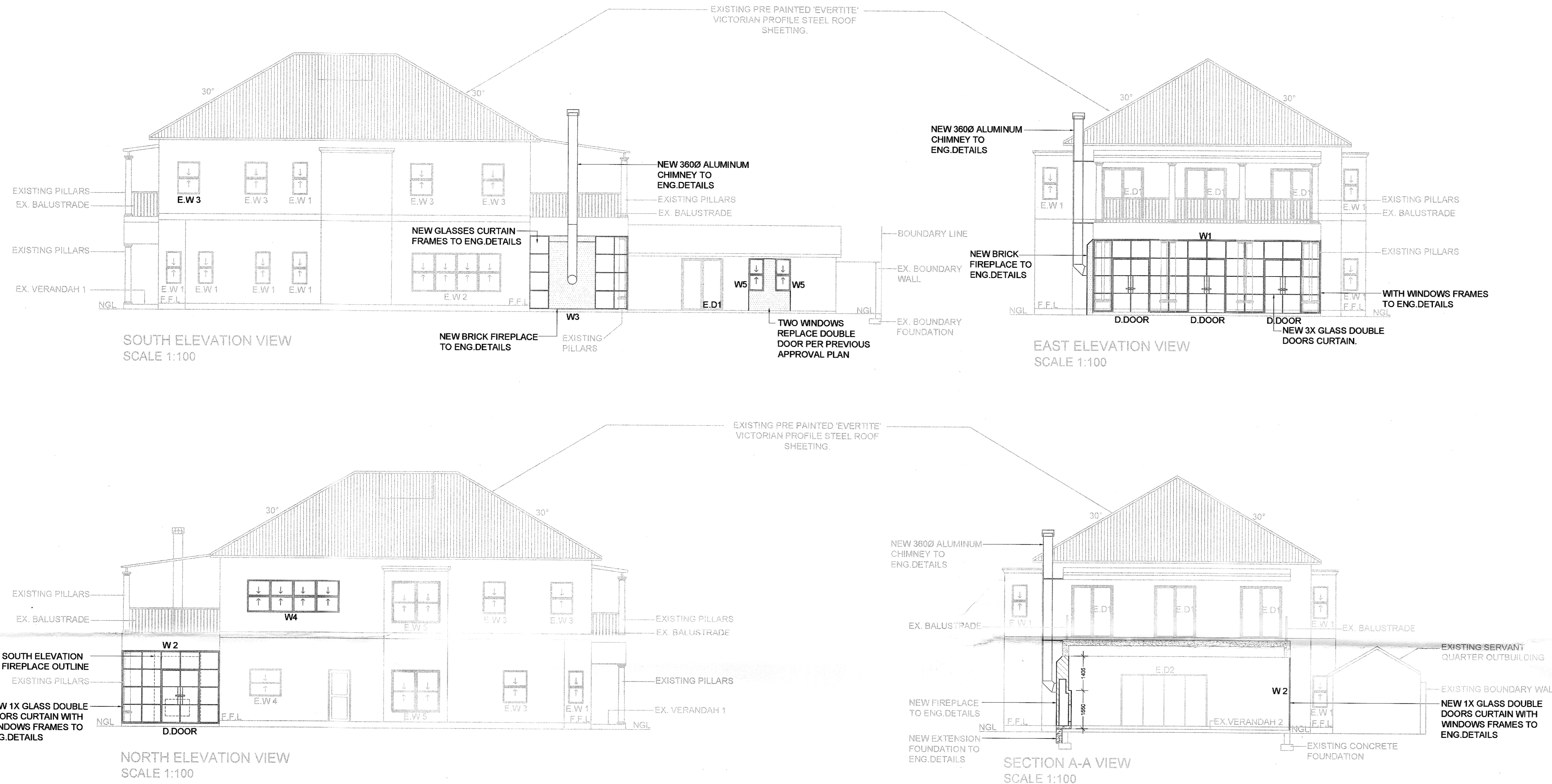
Project Title:
Additions & Alterations Previous Approved Plan:

SITE:
**15 Morningside Road
Durban
LOT 45 OF BLOCK AB**

Drawing Titles
**Floor Plan, Site Plan
Area of Schedule, Photos**
SCALE: As Shown
DRAWING NO: 114AAA
DATE: 16/02/2022
DRAWN: A.F REVISION:
CHECKED: D.W 0

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Rev	Date:	Description
1		

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Architect name:	Signatures:
Pooven Ellen	<i>[Signature]</i>

Owner name:	Signatures:
1. Paulette Olivia Litkie	<i>[Signature]</i>

Project Title:
 Additions & Alterations
 Previous Approved Plan:
 -

SITE:
 15 Morningside Road
 Durban
 LOT 45 OF BLOCK AB

Drawing Titles
 Elevations,
 Section A-A
SCALE: As Shown
DRAWING NO: 114AAA
DATE: 16/02/2022
DRAWN: A.F
CHECKED: D.W
REVISION: 0

FENESTRATION CALCULATIONS : MAIN HOUSE

MAIN HOUSE GROUND FLOOR + VERANDAH 2	SOUTH ELEVATION		NORTH ELEVATION		EAST ELEVATION		WEST ELEVATION		TOTAL FENESTRATION
	window no.	window area.	window no.	window area.	window no.	window area.	window no.	window area.	
proposed net area	E.W 1 x 5 E.W 2 x 1 W3	0.6 x 5 = 3.0 5.1 5.9 / 2 = 2.95	E.W 1 x 2 E.W 3 x 1 E.W 4 x 1 E.W 5 x 1 W2	0.6 x 2 = 1.2 0.5 1.2 / 2 = 0.6 3.0 11.7 / 2 = 5.85	W1	27.3 / 2 = 13.65	E.W 6 x 2 E.W 1 x 3	4.6 x 2 = 9.2 0.6 x 3 = 1.8	20.9%
202.1m ²									
TOTAL		11.05		1.15		13.65		16.56	42.41m ²

FENESTRATION CALCULATIONS : STAFF ACCOMMODATION

MAIN HOUSE UPPER PLAN	SOUTH ELEVATION		NORTH ELEVATION		EAST ELEVATION		WEST ELEVATION		TOTAL FENESTRATION	TOTAL FENESTRATION
	window no.	window area.	window no.	window area.	window no.	window area.	window no.	window area.		
proposed net area	E.W 1 E.W 3 x 4	0.6 0.5 x 4 = 2.0	E.W 3 x 2 E.W 5 x 1 W 4 x 1	0.5 x 2 = 1.0 3.0 4.4	E.D1 x 3	1.65 x 3 = 4.95	E.D1 x 3	1.65 x 3 = 4.95	7.7%	26.0m ²
171.3m ²										
TOTAL		2.6		8.4		4.95		4.95	25.85m ²	2.58m ²