

DWELLING - BASEMENT STOREY
SCALE 1:100

- DEVIATION LEGEND**
- ① - TITLE BLOCK UPDATED
 - ② - SCHEDULE OF AREAS UPDATED
 - ③ - NOTES UPDATED
 - ④ - SERVICE PASSAGE OMITTED
 - ⑤ - DOOR RETAINED
 - ⑥ - PROPOSED DOOR OMITTED
 - ⑦ - 2 NEW TIMBER FULL PANE WINDOWS ADDED
 - ⑧ - POOL SIZE AND SHAPE ALTERED
 - ⑨ - PLANTABLE RETAINING WALL ALTERED IN SHAPE, SIZE AND POSITION
 - ⑩ - PART OF RETAINING WALL ALTERED
 - ⑪ - STAIR CONFIGURATION ALTERED
 - ⑫ - WALL RETAINED
 - ⑬ - NEW VP C/W CONCRETE WALLS/COLUMNS
 - ⑭ - 1.2m HIGH FENCE WITH SELF LOCKING GATE RELOCATED
 - ⑮ - NEW WALK IN CLOSETS
 - ⑯ - PRECAST WALLS EXCEED 2M IN HEIGHT IN PLACES
 - ⑰ - LAYOUT OF PRECAST FENCE ALTERED TO ACCOMMODATE EX. MAN HOLE
 - ⑱ - NO BACK FILL, NOW SUSPENDED SLAB
 - ⑲ - WALL RESHAPED
 - ⑳ - CONCRETE STAIRS OMITTED
 - ㉑ - EXISTING RE NOT M/N
 - ㉒ - PROPOSED STAIRS OMITTED
 - ㉓ - WINDOW GLAZING SCHEDULE UPDATED

General Notes

- Structural engineer:**
All piling, footings, foundations, columns, beams and elevated slabs to structural engineer's specification and detail.
All structures to comply with SANS 10400 - B, Structural Design.
- Demolitions SANS 10400 - E**
All demolitions to comply with SANS 10400-E.
- Site Operations SANS 10400 - F**
Sanitary facilities to be provided for duration of contract to comply with SANS 10400 - FA.2 and F11.
Soil piling to comply with SANS 10400 - F 4.3 and F5 in accordance with SANS 1012A.
Public protection to comply with SANS 10400 - F1.
Control of dust and noise levels to comply with SANS 10400 - F6.
Explorative cutting into, laying open or demolition to comply with SANS 10400 - F7.
Waste material on site to comply with SANS 10400 - F8.
Site cleaning to comply with SANS 10400 - F9.
Site accommodation to comply with SANS 10400 - F10.
- Excavations SANS 10400 - G**
All excavations to comply with SANS 10400 - G1 and 2 and subject to engineer's specification and detail.
- Foundations SANS 10400 - H**
All foundations to structural engineer's specification and detail.
- Floors SANS 10400 - J**
Concrete floors are to be concrete surface beds on 250 micron 40m on pained consolidated fill to comply with SANS 10400 - J 4.6.
Suspended timber floor to comply with SANS 10400 - J 2.8 & 2.9

Walls SANS 10400 - K

All walls to comply with SANS 10400 - K and structural engineer's specifications and detail.
All lintels to comply with SANS 10400 - K6.2.9
Full protection to be provided to comply with SANS 10400 - M6.3

Lintels SANS 10400 - K 6.2.9

220 collar jointed wall with window & door openings less than 1,5m to use pre-cast pre-stressed concrete lintels and above a minimum 4 courses with brickwork with a minimum bearing of 150mm.
Brickwork secondary reinforcement to be provided in uppermost bed joint.
Slab cover min. 15mm & max. 30mm
Lintels to be supported for not less than 7 days after completion.

Roofs SANS 10400 - L

Roofing to comply with SANS 10400 - L and structural engineer's specifications and detail.
Waterproofing & Flashing to comply with SANS 10400 - LL 5

Glazing SANS 10400 - N

All glazing to comply with SANS 10400 - N.
Glazing installation to comply with SANS 10400 - NN.2.

Lighting and Ventilation SANS 10400 - O

Lighting and Ventilation to comply with SANS 10400 - O
Category 1 building fit; glazed openings including frames and glazing bars, shall not be less than 5% of respective room's net area or 0,7 sqm.
Gardener's toilet's window = 0,495 sqm or 29,12% of toilet's net area.
All windows have zones of space free of obstructions

Stormwater disposal SANS 10400 - R

All stormwater management systems to comply with SANS 10400 - R.

Mechanical engineer:

All artificial ventilation systems by approved accredited HVAC engineer to comply with SANS 10400 - T
All to comply with SANS 10400 - T For fire protection and SANS 10400 - W for fire installation.

All stormwater to comply with SANS 10400 - R (Stormwater Disposal)

All sewers to comply with SANS 10400 - P (Drainage).
Non water borne sewer to engineer's design & specifications.
Non water borne sewer to engineer's design & specifications

FINISHES:

ROOF:
-Cement fibre burses, fascias to match ex.
-aluminium rain water gutters & PVC down pipes to match ex.
-Approved flashing to all parapets.

WALLS:

-Scratch plaster to be removed & replaced with smooth plaster throughout.
-Cement plaster bands

GLAZING:

-Min. 6,32mm safety glazing to all glass within 300mm off ffl.
-Tie cells to be replaced with moulded concrete cills.

PLUMBING:

-Le.'s at all bends, junctions & changes in direction
-Ward's to discharge to dish galleys.
-Required Fire Resistance of Division Separating Elements as per SANS 10400 T4.6.2 Table 5 - 60 minutes.

DWELLING - GROUND STOREY
SCALE 1:100

NEIGHBOURS CONSENT			
ADDRESS	NAME	TEL. No	SIGNATURE
9 Anthony Road	LES JONSON	083 2726869	[Signature]
12 Anthony Road	E. Landelary & Landelary	079 1855440	[Signature]
14 Anthony Road	C ROBERT	082 518347	[Signature]
16 Anthony Road	R C ROBERT	082 518347	[Signature]
17 Anthony Road	J NAICKEL	083 6214438	[Signature]
16A Underwood Road	A DURANT	082 742593	[Signature]
18 Underwood Road	A MATTION	082 579402	[Signature]
20 Underwood Road	A MATTION	082 579402	[Signature]
21 High Ridge Road	N. MORTON	07164660	[Signature]
25T High Ridge Road	V COCKE	0722617899	[Signature]

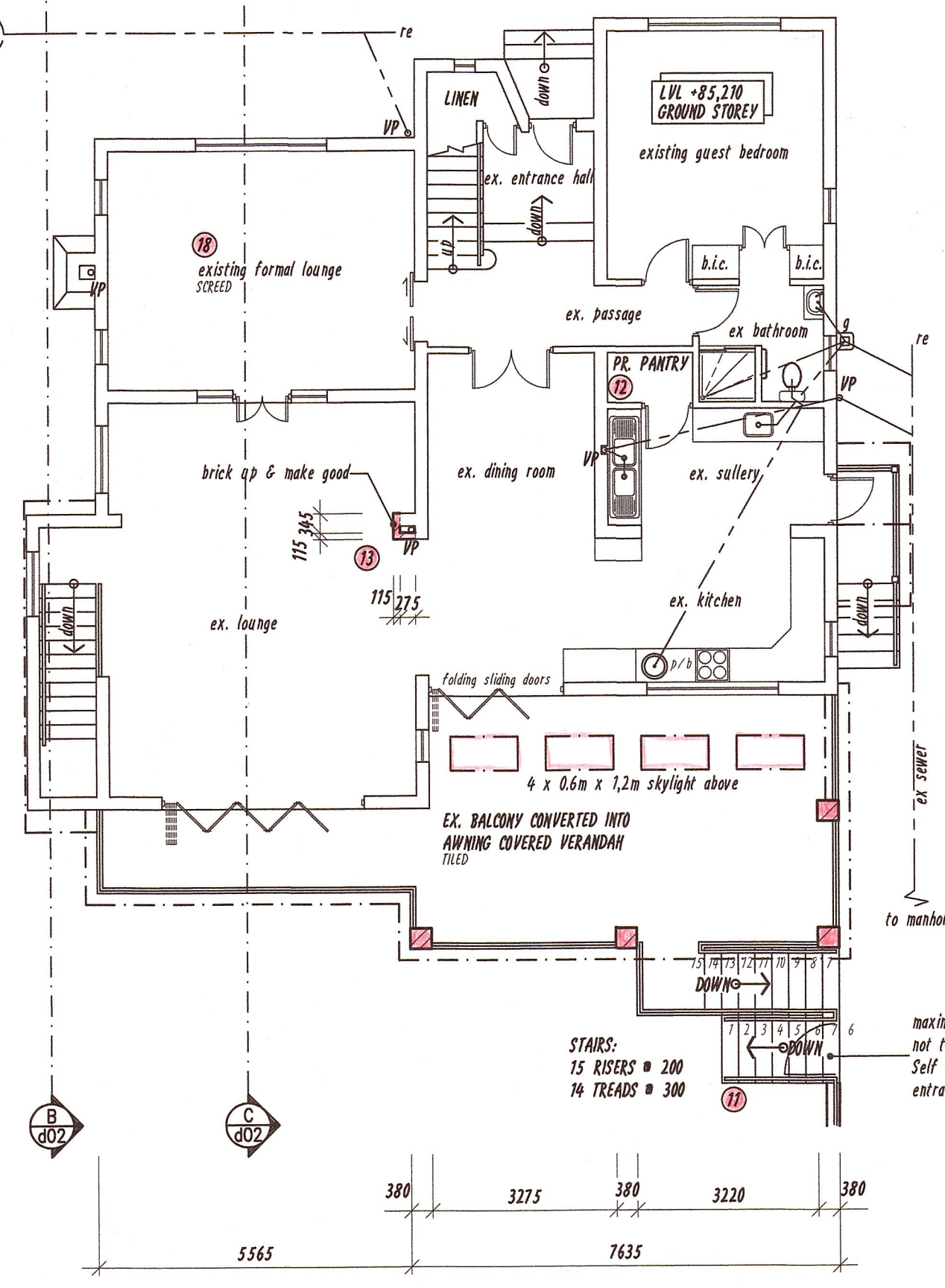
DRAWING NOTES:

1. Do not scale this drawing.
2. All dimensions and levels to be checked on site before commencing work.
3. All discrepancies to be brought to author's notice.
4. No foundations to encroach over boundaries/servitudes.
5. Depth of foundations to be determined on site - min. 4 courses.
6. All work to comply with SANS 10400 and L.A. building regulations.
7. Contractor to locate and protect ex. services on site during construction.

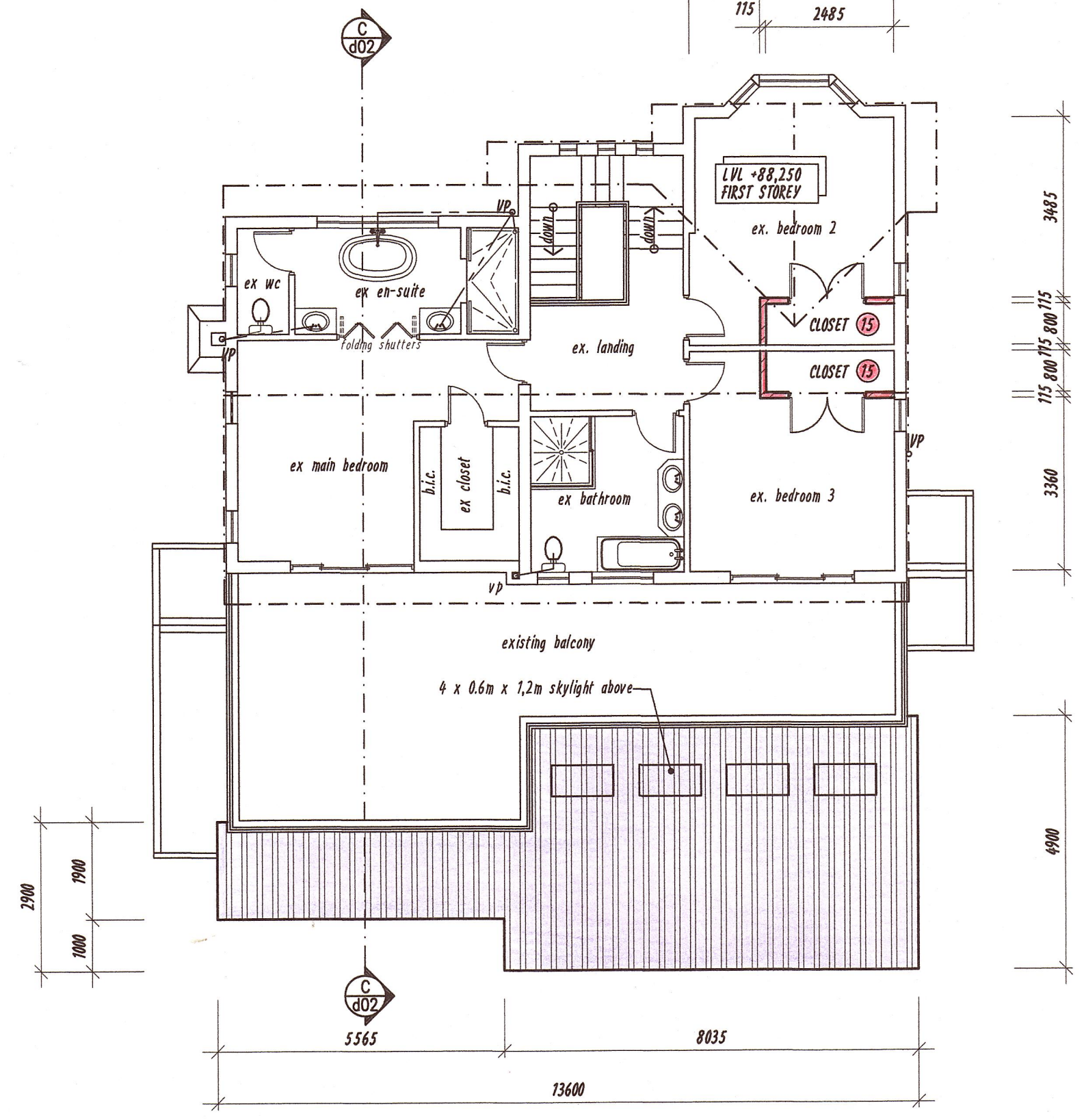
ENGINEER'S NOTES:

THE FOLLOWING ARE TO BE THE ENGINEER'S RESPONSIBILITY:

1. STAIRS
2. BEAMS
3. COLUMNS
4. FOUNDATIONS
5. STAIRS
6. ROOF STRUCTURE
7. TIMBER DECK
8. POOL
9. MECHANICAL LIGHTING AND VENTILATION



DWELLING - FIRST STOREY
SCALE 1:100



SCHEDULE OF AREAS

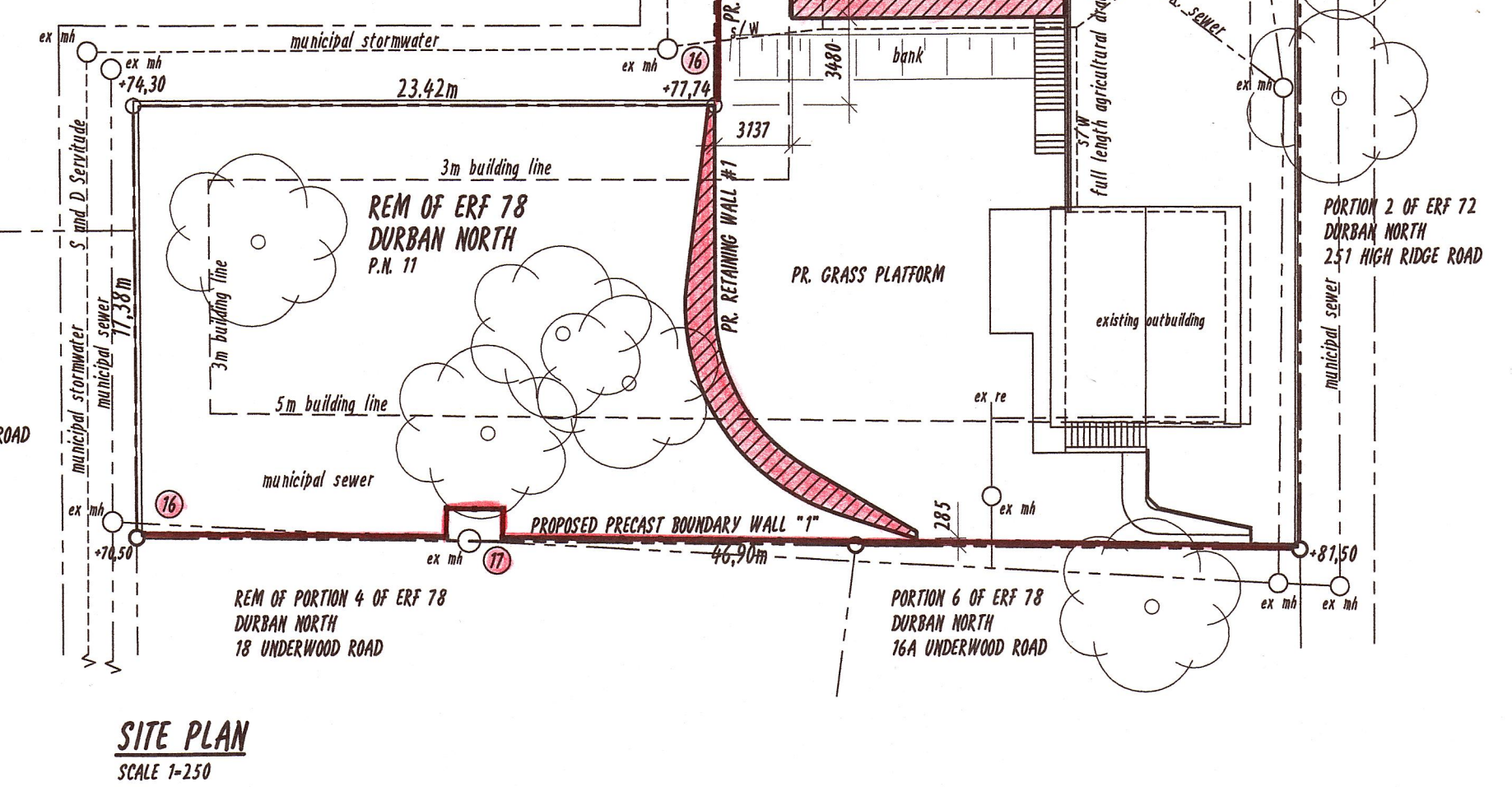
REM OF ERF 78 DURBAN NORTH AREA = 1893,00 m²
- SPECIAL RESIDENTIAL 900

BUILDING LINES
FRONT = 7,5 m
BACK = 5 m
SIDES = 2 m & 3 m

FLOOR AREA RATIO
PERMISSIBLE F.A.R. = N/A
EXISTING FLOOR AREA = 480,75 m²
PROPOSED FLOOR AREA = 2,66 m²
TOTAL FLOOR AREA = 483,41 m²

COVERAGE
PERMISSIBLE 40% OF 1893 m² = 757,20 m²
EXISTING COVERAGE AREA = 287,21 m²
PROPOSED COVERAGE = 0,00 m²
TOTAL COVERAGE = 287,21 m²
COVERAGE IN HAND = 469,99 m²

PROPOSED GARDENER'S TOILET = 2,66 m²



SITE PLAN
SCALE 1:250

HYPREASE SYSTEMS cc. 04/1388/23 1/A
Ian Whitaker
Drafting Designs
COMPUTER AIDED DRAWINGS
REG. No. 00783

PROFESSIONAL ARCHITECTURAL DRAUGHTS PERSON CELL No. 083 303 8863
8 UP THE HILL, SUNNINGDALE, 4051 TEL: 031 5620310 FAX: 0866 498530

Owner:
J.K.B. BOSSERT & G. BOSSERT

Property Details:
11 ANTHONY ROAD
ATHLONE
REM OF ERF 78
DURBAN NORTH

Proposal:
DEVIATIONS TO APPROVED PLANS No. 159 06 13 & PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING

OCCUPANCY: H4 CLIMATE ZONE: 5

DRAWING TITLE
SUBMISSION - SITE PLAN, FLOOR PLANS & NOTES

PROJECT NO: W019/29 DRAWING NO: W019/29/d01 REV. NO: C

SCALE: 1:100 & 1:250 DATE: 28-10-2019

AUTHOR'S SIGNATURE: [Signature]
OWNER'S SIGNATURE: [Signature]