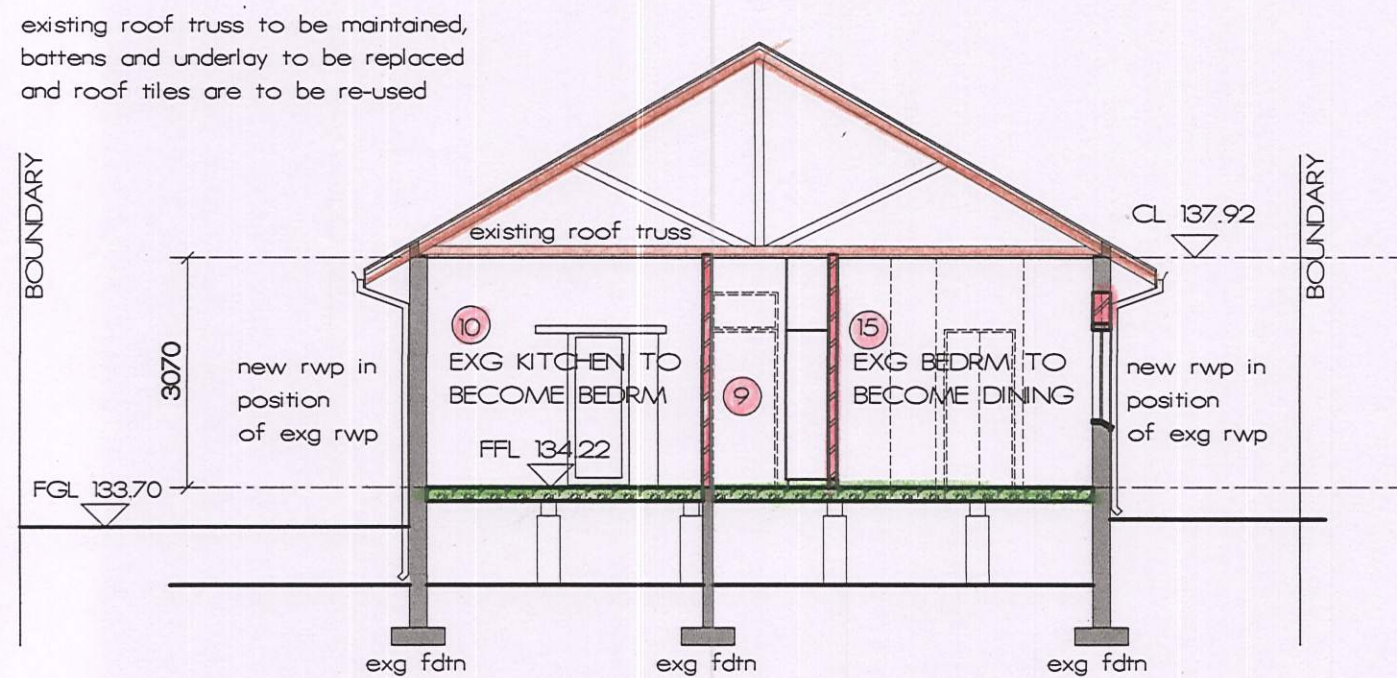


NE BOUNDARY WALL ELEVATION  
SCALE 1/100



SECTION AA  
SCALE 1/100

existing roof truss to be maintained, battens and underlay to be replaced and roof tiles are to be re-used

two courses of brickwork to be reinforced with brickforce both below wall plate level, above window head height & below window sill level

external face of inner skin of all external walls to be bagged and rendered waterproof with two coats of bitumen paint

37.5 mic DPC to be provided to walls at slab level, under all sills and to parapets

flushing to be provided as per SANS 10400

precast lintels to be provided over all window & door openings and are to be supported for a minimum of 7 days after completion

lintels are to be set in mortar and have a minimum bearing of 350mm

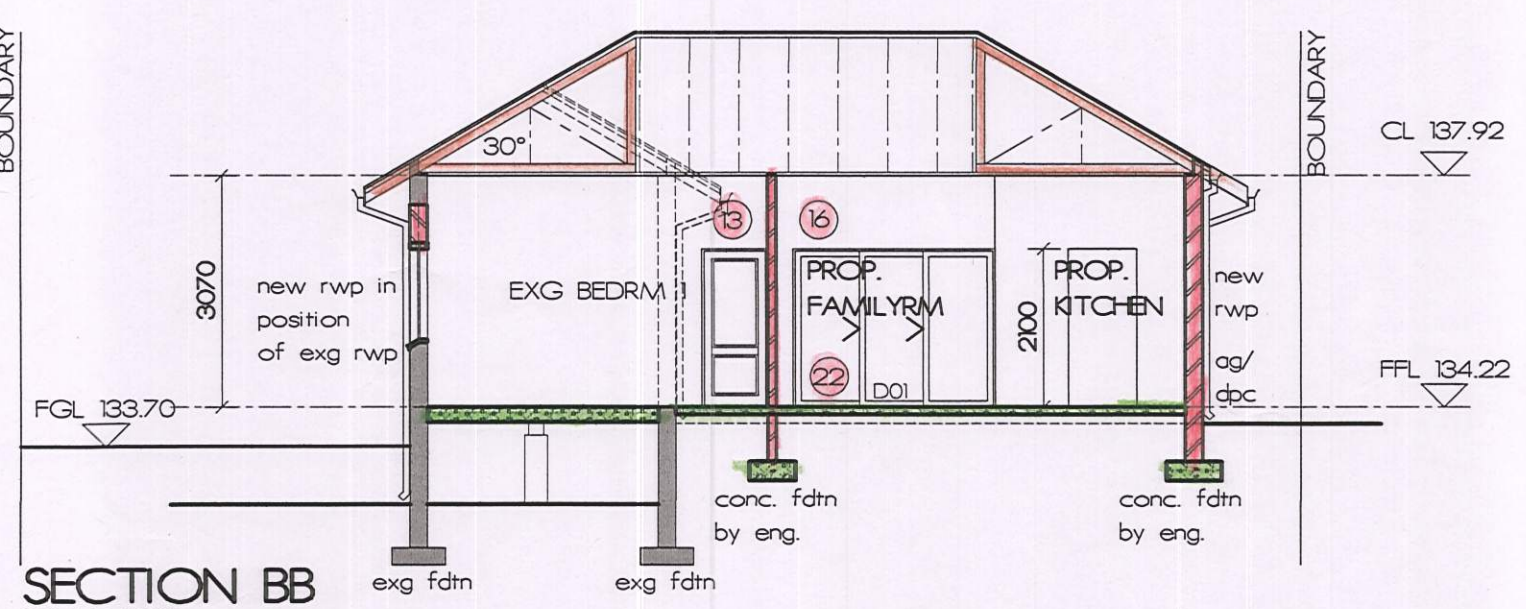
walls and lintels are to be to engineers details

LIST OF DEVIATIONS	
1	NEW WINDOW TO BE FITTED.
2	BRICK UP EXISTING WINDOW
3	EXISTING DOOR TO BE BRICKED UP.
4	PART OF ENCLOSED PORCH TO BECOME PROP. ENS.2
5	REMAINING PART OF EXG ENCLOSED PORCH TO BE RE-INSTATED AS COVID PORCH.
6	DOOR TO ENCLOSED PORCH TO BE OMITTED.
7	MAIN ENTRANCE DOOR TO BE RE-INSTATED.
8	EXG DINING TO BE BRICKED UP TO BECOME BEDRM 2.
9	PART OF NEW DININGRM TO BE BRICKED UP TO CREATE DRESS RM TO BEDRM 2.
10	EXG KITCHEN TO BE CONVERTED TO BEDRM 3.
11	EXG GUEST WC IS TO BE EXTENDED INTO BACK PORCH & CONVERTED INTO ENS 3.
12	EXG ENS 1 IS TO BE RE-DESIGNED TO ACCOMMODATE LINEN CUPBD AS WELL.
13	EXG BEDM 1 IS TO BE MADE BIGGER.
14	PROP. DRESS RM TO BE CREATED IN BIGGER SPACE.
15	EXG BEDRMS AND RELATED ENSUITES ARE TO BE DEMOLISHED TO CREATE NEW OPEN PLAN DININGRM AND KITCHEN.
16	ADD AREA TO CREATE FAMILYRM, SCULLERY & LAUNDRY.
17	ADD COVERED PATIO.
18	EXG STRUCTURALLY INSTABLE BOUNDARY WALL TO BE RE-BUILT AS INDICATED.
19	EXG DRIVEWAY ENTRANCE GATE TO BE SET BACK TO CREATE A PARKING BAY OFF THE ROAD.
20	EXG WINDOW TO BE BRICKED UP & FIT NEW DOOR TO ENS 2.
21	NEW SEWER LINE TO BE LAID UNDER NEW ADDITION.
22	FIT NEW SLIDING DOOR.

roof tiles to match existing on 38x38mm battens on 250 micron underlay on nail plated timber trusses designed & certified by engineer with 30° pitch at 740mm centres on 14x38mm w/plate with trusses fixed using galvanised hoop iron ties tied down 6 courses into brickwork

fibre cement barge boards and fascias with aluminium gutters & downpipes fixed in accordance with manufacturers specifications

6.4mm gypsum ceiling board fixed to 38x38mm bracing at 400mm centres both ways finished with 70mm cornice

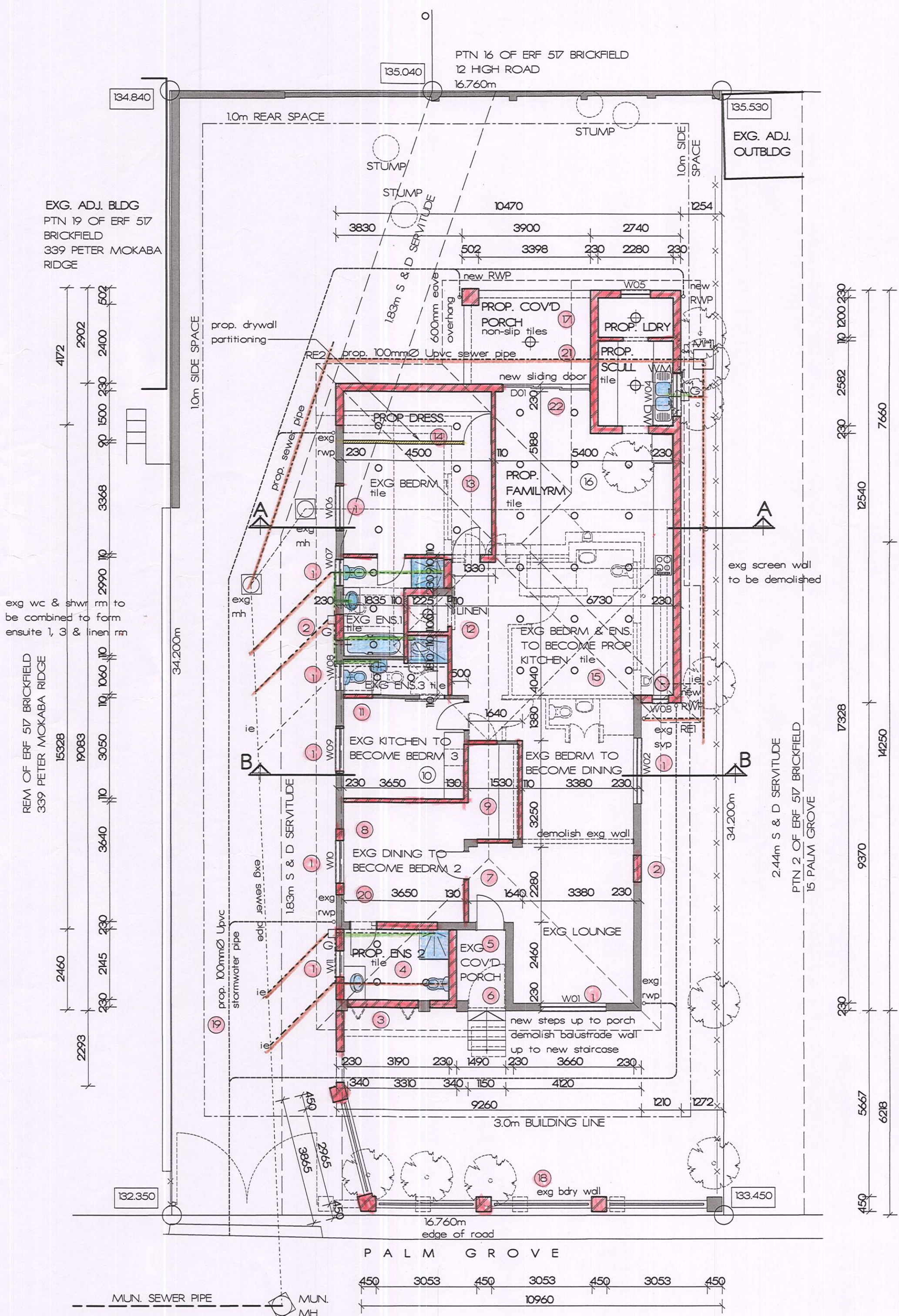


SECTION BB  
SCALE 1/100

skirting to suit floor finish as per plan on 30mm screed on 100mm concrete surface bed reinforced with 'BRC' weld mesh on 37.5mic USB green dampproof membrane on 50mm blinding layer of clean river sand on 150mm hardcore.

subfloor ground and foundation trenches to be poisoned with 'CHLORODANE' solution in accordance with SABS 'Codes of Practice' by specialist.

all fill to be well compacted in layers not exceeding 150mm.



GROUND STOREY & SITE PLAN  
SCALE 1/100

**ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION	W
○	LED DOWNLIGHTER	5w
⊕	WALL LIGHT WITH PHOTOCELL (D/N)	max 9w
▨	12m FLOURESCENT	36w
⊙	B-PIN CHANDELIER with energy saving bulbs	max 25w
⊕	CL CEILING LIGHT	max 9w
⊕	WALL LIGHT	max 9w

**SCHEDULE OF AREAS**

EXISTING MAIN HOUSE	138.06msq
COVID PORCH	3.67msq
TOTAL EXISTING AREA	141.73msq
PROPOSED ADDITIONS	54.29msq
COVID PATIO	10.98msq
TOTAL PROPOSED AREA	65.27msq
TOTAL COVERED AREA	207.06msq
ZONING	SR400
OCCUPANCY CLASSIFICATION	H4
SITE AREA	571.00msq
COVERAGE ALLOWED(50%)	285.50msq
COVERAGE EXISTING	141.73msq
COVERAGE PROPOSED	65.27msq
COVERAGE TOTAL	207.06msq
COVERAGE REMAINING	78.44msq

**GENERAL NOTES**

All work to comply with SANS 10400.

Contractor to check all dimensions and levels (schedules and details) before the relevant work is placed in hand and report any discrepancies to the DESIGNER/OWNER.

All written dimensions to be taken in preference to scaling.

Any discrepancies and omissions are to be brought to the DESIGNERS/OWNERS attention immediately.

The contractor is to inspect the official approved copies of the drawings to ensure that all amendments have been taken into account.

The attention of the owner is drawn to the fact that changes to the plan and/or specification after official approval is likely to invalidate that approval.

All existing work to be made good if affected by new work.

All foundations to be taken down below natural ground level.

Natural ground line in approximate position only and no claim can be made for any discrepancies on site.

**SITING & EXCAVATION**

If on excavation the site is found to contain expansive clay, shale, ground water or other suspect soil conditions, then all foundations are to be built to professional engineers details and under his supervision.

**DRAINAGE NOTES**

MINIMUM OF 450mm OF COVER TO BE MAINTAINED OVER ALL DRAINAGE PIPES AT ALL TIMES.

POSITIONS & LEVELS OF SEWER PIPES TO BE DETERMINED &/OR VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.

IE'S ARE TO BE PROVIDED AT ALL JUNCTIONS.

RE'S OR MH'S TO BE PROVIDED AT ALL CHANGES IN DIRECTION OF SEWER DRAINAGE PIPES.

ANY/ALL DAMAGED FITTINGS ARE TO BE REPLACED.

ALL GULLEY SURROUNDS & MANHOLE COVERS TO BE 75mm ABOVE GROUND LEVEL.

ALL DRAINAGE PIPES TO BE BRIDGED OVER BENEATH ALL WALLS AND TO BE UPVC RIBBED PIPE BENEATH ALL HARDENED SURFACES

MAXIMUM UN-INTERRUPTED DRAINAGE RUNS BETWEEN MANHOLES &/OR RODDING EYES ARE TO BE 25m.

DRAINAGE RUNS IN EXCESS OF 25m ARE TO BE BROKEN UP WITH RODDING EYES &/OR MANHOLES AT REGULAR INTERVALS.

100mmØ UPVC PIPES CAN SERVICE A MINIMUM GRADIENT OF 1/60 WHEREAS GRADIENTS OF 1/60 TO 1/80 ARE TO BE SERVICED BY A 150mmØ PIPE

300x200mm ACCESS PANELS ARE TO BE PROVIDED TO ALL DUCTS AT LEVELS THAT PROVIDE ADEQUATE ACCESS TO PLUMBING JUNCTIONS & SHOULD BE LOCATED PREFERABLY ON THE OUTSIDE

ALL SVPS ARE TO EXTEND BEYOND ROOF SPACE AND VENT TO OPEN AIR.

DURBAN REGISTERED PLUMBING CONTRACTOR IS TO PERFORM PLUMBING INSTALLATION IN COMPLIANCE WITH MUNICIPALITY WATER SUPPLY BY-LAWS

**STORMWATER**

EXISTING SURFACE STORMWATER CHANNELS TO BE DISCONTINUED AND ALL EXISTING RAINWATER DOWNPIPES ARE TO BE PIPED TO ROAD

OWNER  
DGS HOLDINGS AND INVESTMENTS (PTY) LTD

signature

billing no. 83378254169

project  
DEVIATIONS TO APPROVED PLAN NO. 168 TI 18

address  
11 PALM GROVE

cadastral description  
PTN 1 OF ERF 517 BRICKFIELD

DESIGN & drawing TECHNOLOGY

FR.S.RARCHITECTOLOGIST NO.ST0229

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scale	AS SHOWN
sheet no.	
1/2	
job no.	
n21-06wd01	
date	
20.10.2022	