



# EMALAHLENI Local Municipality

P.O. BOX 3,  
EMALAHLENI CENTRAL,  
MPUMALANGA  
1035

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Tel.: 013 643 1027

06 April 2021

Telephone no.: 013 690 6480

Fax no.: 013 690 6295

Email : [demasml@emalahleni.gov.za](mailto:demasml@emalahleni.gov.za)

Our Reference: 15/4/1/2/33/6  
15/4/1/1/33/6

Refer to: Demas ML

Korsman and Associates  
Private Bag x7294  
Suite 295  
Witbank  
1035  
Sir/ Madam

## APPLICATION FOR SUBDIVISION, CONSOLIDATION AND SIMULTANEOUS SPECIAL CONSENT: ERVEN 20 AND 21, PRESIDENT PARK EXTENSION 6:

The above-mentioned application has reference:

Please take note that the Land Development Officer, in terms of a delegation of authority, resolved under item S/LDO.033/21 dated 22 April 2021, as follows with regard to the above mentioned application:

1. "That the application received from Korsman and Associates the authorized agent of Meronx Proprietary Limited, in terms of the provisions of Section 71 of the Emalahleni Spatial Planning and Land Use Management By-Law, 2016, to subdivide Erf 20 and Erf 21, President Park Extension 6 into 2 portions each be approved, subject to the following conditions:

1.1 that the applicant must, within a period of five years from date of approval of the subdivision, complies with the following requirements:

1.1.1 that the owner submits building plans to the municipality for consideration and approval;

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1.1.2 that the obtains approval from the Surveyor-General of the subdivision diagrams;

1.1.3 that provides the subdivided portions with engineering services as contemplated in Section 123 and 124 of the Emalahleni Spatial Planning Land Use Management By-Law, 2016;

1.1.4 that the applicant submits proof to the satisfaction of the municipality that all relevant conditions of approval for the approved subdivision in respect of the area shown on the general plan or diagram, have been met;

1.1.5 that the register the transfer of ownership in terms of the Deeds Registries Act of the land unit shown on the diagram, of which proof must be submitted to Council accordingly after transfer;

1.1.6 that copies of the approved subdivision diagrams be submitted to Council within 3 months of date of approval by the Surveyor General;

2. that the application received from Korsman and Associates, the authorized agent of Meronx Proprietary Limited, in terms of the provisions of Section 77 of the Emalahleni Spatial Planning and Land Use Management By Law, 2016, to consolidate Portions 2 of Erf 20 and Portion 1 of Erf 21, President Park Extension 6 be approved, subject to the following conditions:

2.1 that the applicant must, within a period of five years from date of approval of the consolidation, complies with the following requirements:

2.1.1 that the owner submits building plans to the municipality for consideration and approval;

2.1.2 that the obtains approval from the Surveyor-General of the subdivision diagrams;

2.1.3 that provides the consolidated portion with engineering services as

contemplated in Section 123 and 124 of the Emalaheni Spatial Planning Land Use Management By-Law, 2016;

2.1.4 that the applicant submits proof to the satisfaction of the municipality that all relevant conditions of approval for the approved consolidation in respect of the area shown on the general plan or diagram, have been met;

2.1.5 that the register the transfer of ownership in terms of the Deeds Registries Act of the land unit shown on the diagram, of which proof must be submitted to Council accordingly after transfer;

2.1.6 that copies of the approved subdivision diagrams be submitted to Council within 3 months of date of approval by the Surveyor General;

2.1.7 that the applicant must comply with Section 3 of the Emalaheni Spatial Planning and Land Use Management By-Law, 2016.

3. that the application received from Korsman and Associates, the authorized agent of Meronx Proprietary Limited, in terms of Section 80 of the Emalaheni Spatial Planning and Land Use Management By-Law, 2016, for consent to use the Portion 1 of Erf 20, President Park Extension 6 and Portion 1 of Erf 21, President Park Extension 6 (to be consolidated and to be known as Erf 23, President Park Extension 6) for the purpose of a filling station be approved, subject to the following conditions:

3.1 that the following contributions in respect of external engineering services shall be payable by the applicant to Council:

Water	R 7 942.05
Sewer	R 1 151.03
Subtotal	R9 093.09
VAT	R 1 363.96
Total	R10 457.05

3.2 that the services contributions as stipulated in item (3.1) above, shall become payable, within a period of 60 days upon receipt of the approval letter,

failing which, the Council shall institute legal action against the applicant, and interest on the arrear amount in terms of the conditions of section 50A of the Local Government Ordinance, 1939, shall become payable;

- 3.3 that it be noted that an electrical service contribution will be calculated in accordance with Council's policy upon receipt of an application for supply, and be payable accordingly;
- 3.4 that any damages, upgrading or re-routing of existing municipal services, cost thereof will be for the applicant's account;
- 3.5 that the applicant must ensure that no rain water is channelled into the sewerage system, but into stormwater system as per the National Home Builders Registration Council (NHBRC) Stormwater Management Guidelines;
- 3.6 that it be noted that the municipal water and wastewater infrastructure is under strain, and therefore the applicant must ensure that proposed development is fitted with water saving plumbing products that preserve drinking water;
- 3.7 that water is a scarce resource so alternatives water conservation measures such as grey water re-use and rain water harvesting must be explored;
- 3.8 that the applicant shall at his expense be responsible for the provision and installation of the following electrical requirements:
  - 3.8.1 at Nissan Garage cut into the existing 70mm<sup>2</sup>, 11kv, XLPE 3 core;
  - 3.8.2. supply and install a T3 switch and run the length to the new 315KVA mini/sub at the boundary of the property;
  - 3.8.3. supply, install and commission a brand new 315KVA, 11000/400v miniature substation complete with protection, street light and remote bulk meter as per the lasted municipality requirements and standards;

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- 3.8.4. from the miniature substation supply and install a suitable sized low voltage cable to an internal connection point, the cable is to be installed in accordance with the approved standards, depths and appropriate danger tape to be installed;
- 3.9 prior to any excavation on the property boundary, the applicant must make prior arrangements with the Manager: Electrical Services;
- 3.10 that the filling station must be equipped with energy efficient equipment such as solar geysers, energy efficient lighting, heat pumps, gas stoves, etc., as per SANS 10400-XA:2001;
- 3.11 that all gas must be installed in accordance with the local and international standards (SANS, IEEE, BS, etc.);
- 3.12 that the applicant must consider the use of solar lighting/ lighting equipment with a D/N switch for all outside areas;
- 3.13 that all electrical appliances must be of the energy efficient nature;
- 3.14 that it is the responsibility of the applicant to confirm all municipal services prior to any work;
- 3.15 that all cost for the removal of electrical services shall be for the applicant;
- 3.16 that the conditions of approval for electrical supply apply only to the Site Development Plan as submitted with the application;
- 3.17 that the applicant appoints an authorized electrical contractor that must execute all electrical work and ensure that all loads are balanced;
- 3.18 that all electrical installations must be compliant with Councils Electro-Technical standards, e.g. kiosk (Electronic Protective Structured Type) meters, mini-sub, ready boards, etc., which are obtainable with approval from the Manager: Electrical Services;

- 3.19 that a data pack be provided to the Manager: Electrical services at the end of the project showing as built drawings, position of cables and joints and all test reports;
- 3.20 that any electrical services that may be affected due to the subdivision will have to be re-routed at the cost of the applicant;
- 3.21 that in the event where the developer wishes to install a Solar PV system he will do so as per municipal standards for small Scale Embedded Generation( Policy and contract available on the municipal website);
- 3.22 that all engineering drawings/designs must be submitted to Directorate: Technical Services for approval;
- 3.23 that the access for the development will be from Mandela and the left-out access is **not supported** as currently during peak time hours the intersection of Mandela and Nita Streets experiences traffic congestion;
- 3.24 that the intersection of Mandela and Nita Streets must be upgraded to ease the congestion, to accommodate the left-out access of the property, of which all cost will be for the applicant's account;
- 3.25 that a Traffic Impact Assessment must be submitted for the approval by the Manager: Roads and Stormwater for road/intersections improvements to ease the traffic congestion and that the upgrades be implemented to the standards of the municipality and be approved by the Manager: Roads and Stormwater prior to construction on site;
- 3.26 that the applicant submits a Site Development Plan for approval by the Manager: Roads and Stormwater, showing details of access to parking area, including the following:
- 3.26.1 street names and Intersections;
  - 3.26.2 bell mouth radius;
  - 3.26.3 parking layout plans( No parking on existing roads or sidewalks);
  - 3.26.4 indicate maximum size vehicle to enter the stand;

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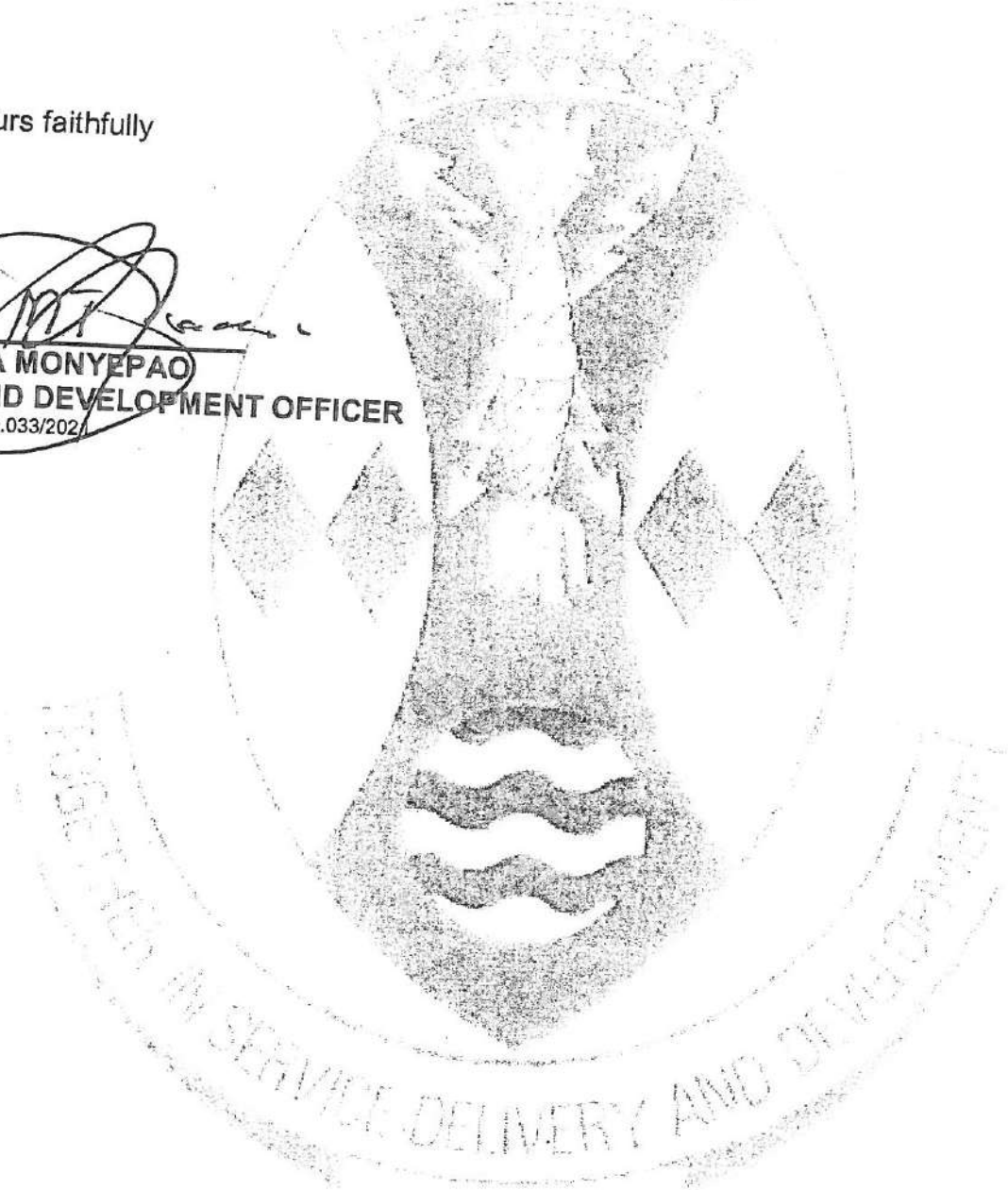
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- 3.26.5 provide detailed layout of access indicating turning radius for maximum size vehicle;
- 3.26.6 show vehicle paths from and onto road reserve;
- 3.26.7 Stormwater run-off management
- 3.27 that a positive Environmental Authorization be granted by the Department of Agriculture, Rural Development, Land and Environmental Affairs (DARDLEA);
- 3.28 that there must be no other changes with regard to land use except for the one stipulated on the application, i.e. the subdivision, consolidation and simultaneous special consent for Erven 20 and 21, Presidential Park Extension 6, for the purpose of a Filling Station;
- 3.29 that the applicant ensures strict adherence to the provisions of the Emalahleni Noise Control By-Law, 2016;
- 3.30 that the applicant must also comply with the Emalahleni Noise Control By-Law, 2016;
- 3.31 that the owner submits building plans to the municipality for consideration and approval;
- 3.32 that the development of the site will be subject to the submission and approval of a Site Development Plan by the Manager: Spatial Planning;
- 3.33 that the applicant must comply with the development parameters pertaining to a "Business 2" zoning, as contained in the Emalahleni Land Use Scheme, 2020;
- 3.34 that sufficient parking must be provided on site in accordance with Table 1 and Table 2 of the Emalahleni Use Scheme, 2020;
- 3.35 that the zoning of the subdivided and consolidated portions does not change but remains "Business 2" with additional rights for a Filling Station on proposed Erf 23, President Park Extension 6 only;
- 3.36 that the erection of any advertising signs on the site will be subject to the approval thereof by Council;

4. that, if Council has delegated its authority to any person or committee, any person aggrieved by a decision by that person or committee may appeal against that decision in terms of Section 51 (1) of the Spatial Planning and Land Use Management Act, Act 16 of 2013, read together with the provisions of Section 143 of the Emalahleni Municipal By-Law on Spatial Planning and Land Use Management, 2016, by giving written notice of the appeal and reasons to the Municipal Manager within 21 days of the date of notification of the decision”.

Yours faithfully

  
PP **M. A MONYEPAO**  
**LAND DEVELOPMENT OFFICER**  
S.LDO.033/2021



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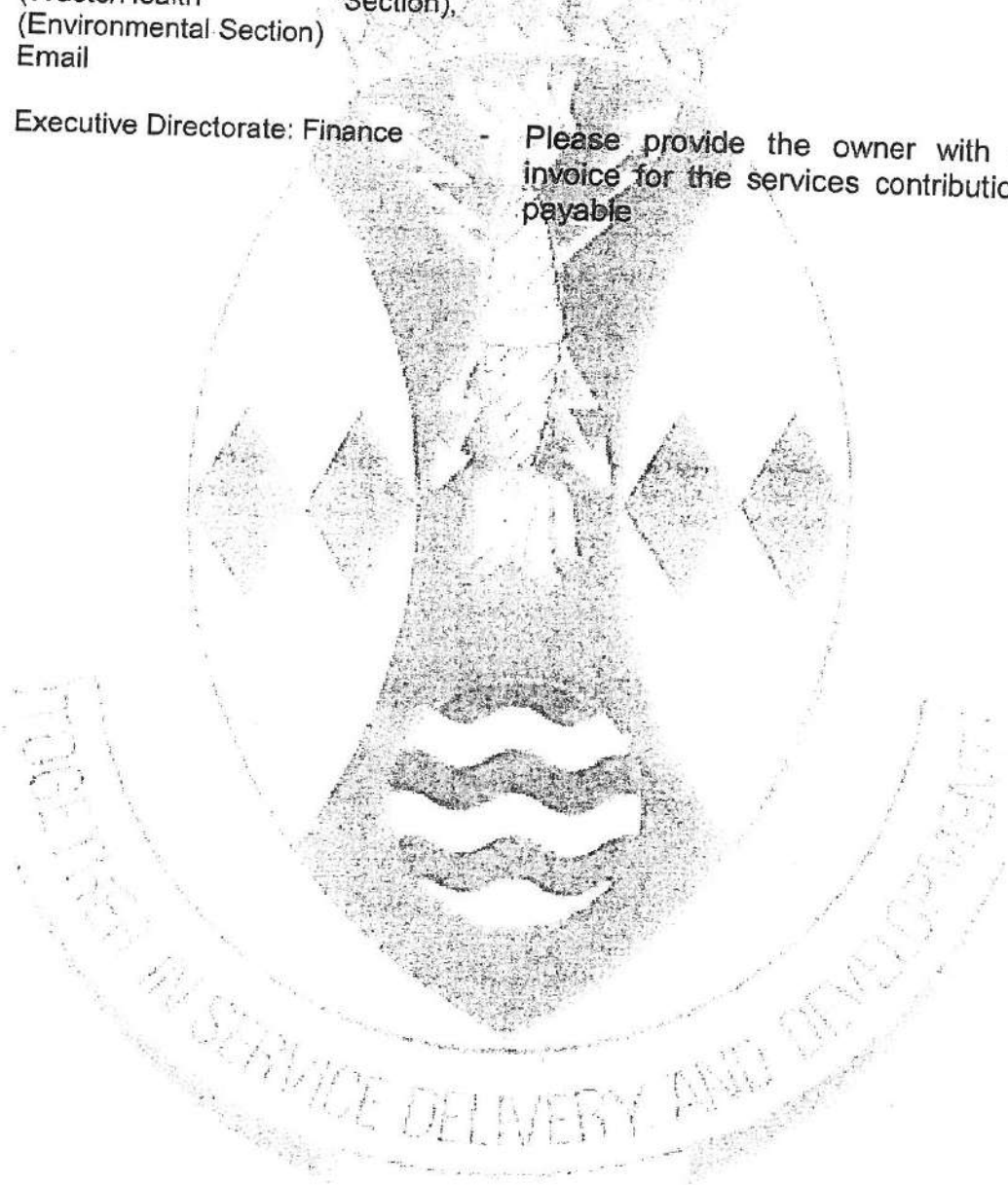
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Item S.LDO.033/2021 dated 22 April 2021

- Copies Executive Directorate: - For Information  
Engineering Services  
Email
- Manager: Spatial Planning(filing) - For information
- Building Control - For Information
- Executive Directorate: DDP - For Information  
(Waste/Health Section),  
(Environmental Section)  
Email
- Executive Directorate: Finance - Please provide the owner with an  
invoice for the services contributions  
payable



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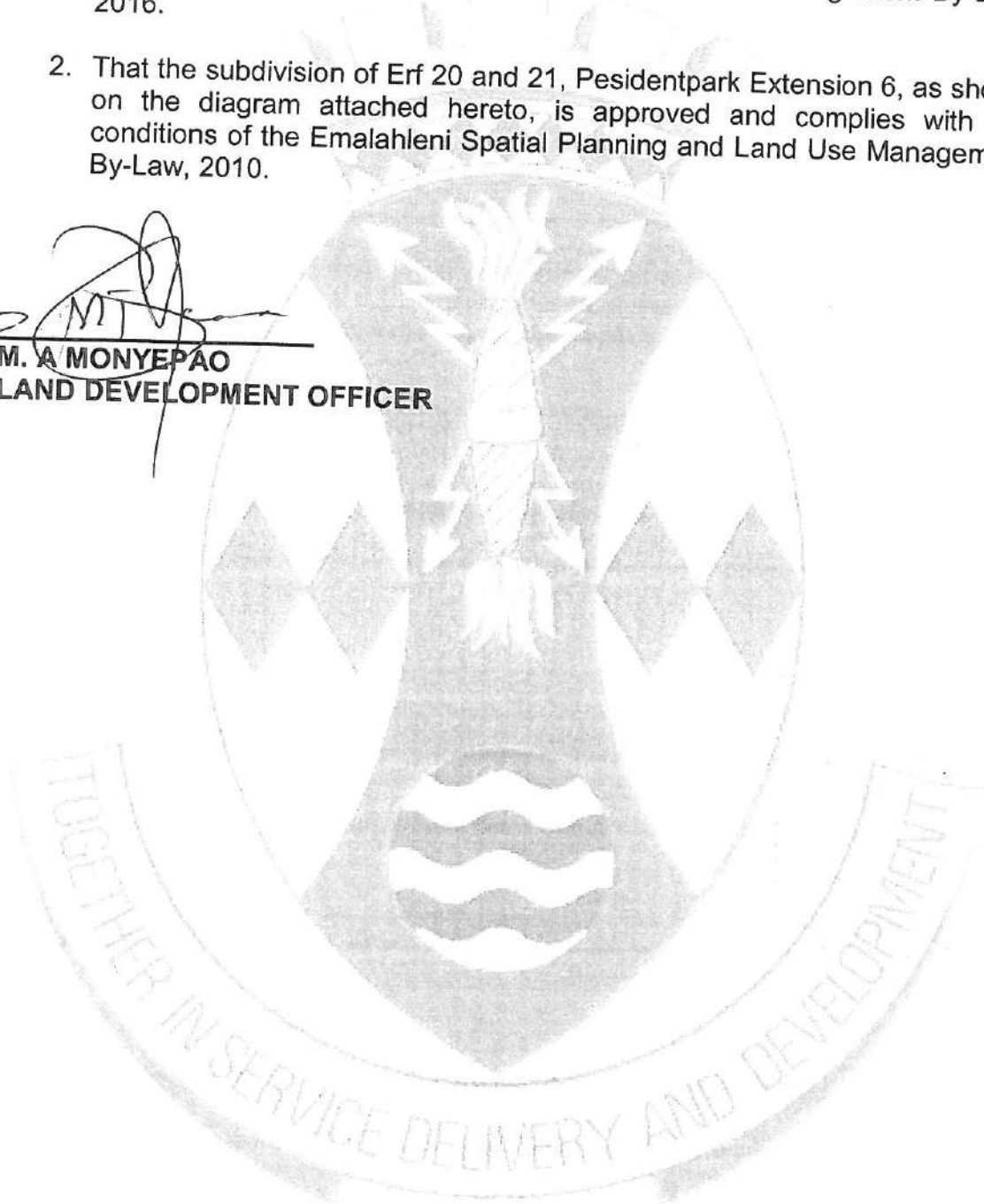
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THE FOLLOWING IS HEREBY CERTIFIED

1. That the Emalahleni Local Municipality delegated the approval of subdivision applications to the Land Development Officer as contemplated in the Emalahleni Spatial Planning and Land Use Management By-Law, 2016.
2. That the subdivision of Erf 20 and 21, Presidentpark Extension 6, as shown on the diagram attached hereto, is approved and complies with the conditions of the Emalahleni Spatial Planning and Land Use Management By-Law, 2010.

  
**M. A MONYEPAO**  
**LAND DEVELOPMENT OFFICER**



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# SUBDIVISION

PROPOSED SUBDIVISION OF ERF 20 & ERF 21 PRESIDENT PARK  
EMALAHLENI EXTENSION 6 TOWNSHIP, REGISTRATION DIVISION  
J.S MPUMALANGA

PROVINCE : MPUMALANGA  
SCALE 1 : 1200

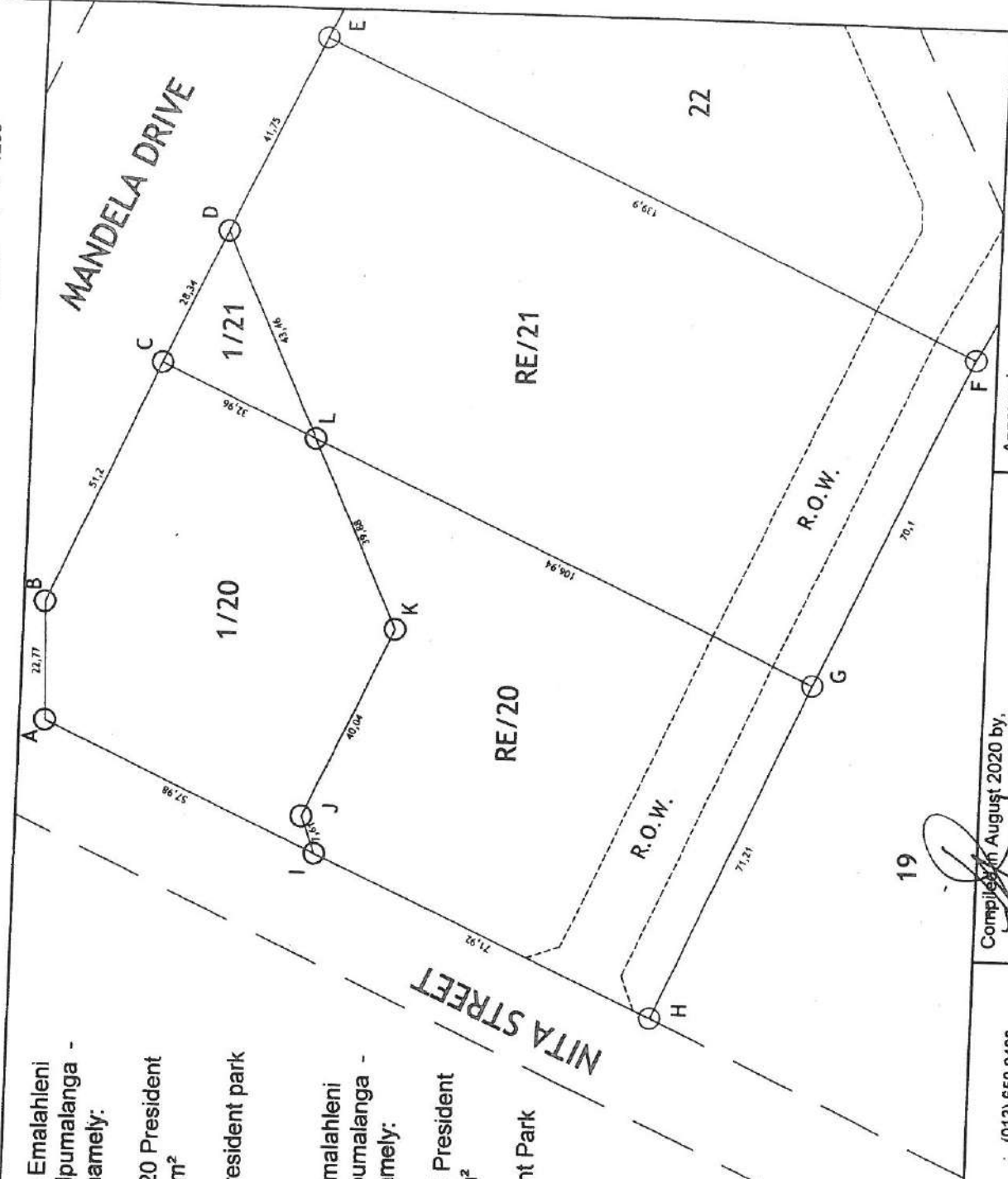


Figure ABCDLGHI represents Erf 20 President Park Emalahleni Extension 6 Township, Registration Division J.S. Mpumalanga - 9862 m<sup>2</sup> and will be subdivided into two (2) erven namely:

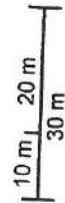
1. Figure IJKLGH represent the Remainder of Erf 20 President Park Emalahleni Extension 6 Township - 5850 m<sup>2</sup>
2. Figure ABCDKJI represent Portion 1 of Erf 20 President park Emalahleni Extension 6 Township - 4012 m<sup>2</sup>

Figure CDEFGH represents Erf 21 President Park Emalahleni Extension 6 Township, Registration Division J.S. Mpumalanga - 9793 m<sup>2</sup> and will be subdivided into two (2) erven namely:

1. Figure DEFGH represent the Remainder of Erf 21 President Park Emalahleni Extension 6 Township - 9326 m<sup>2</sup>
2. Figure CDL represent Portion 1 of Erf 21 President Park Emalahleni Extension 6 Township - 467 m<sup>2</sup>



SCALE

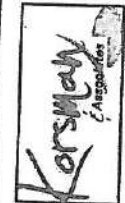


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FAKS : 066 663 6326  
E-POS : admin@korsman.co.za



Completed in August 2020 by:

*M. L. Swartz*  
ME L SWARTZ Pr. Pin  
KORSMAN & ASSOCIATES

Approved:

Chief Executive officer  
EMALAHLENI LOCAL MUNICIPALITY

19