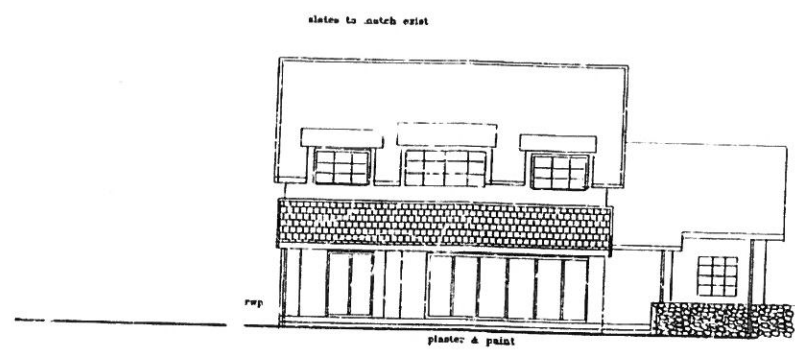
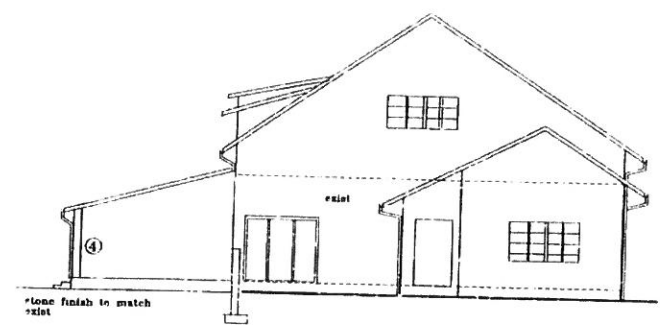


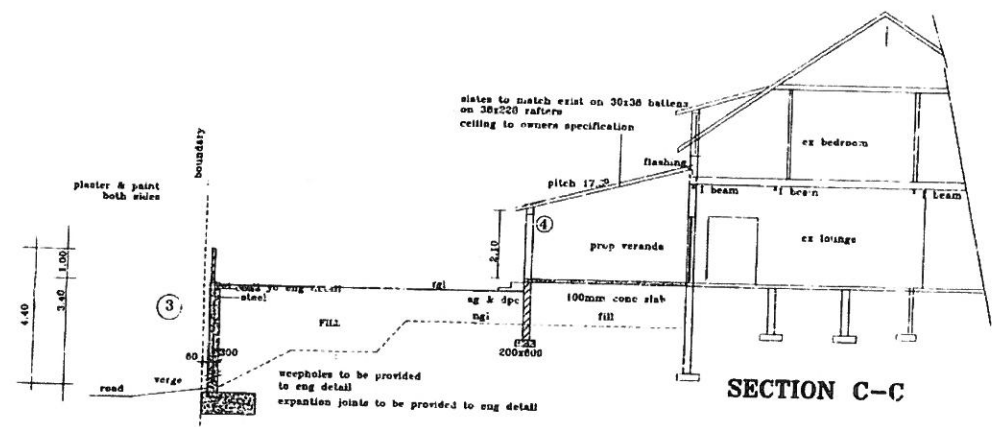
APPROVED
 11/03/2006



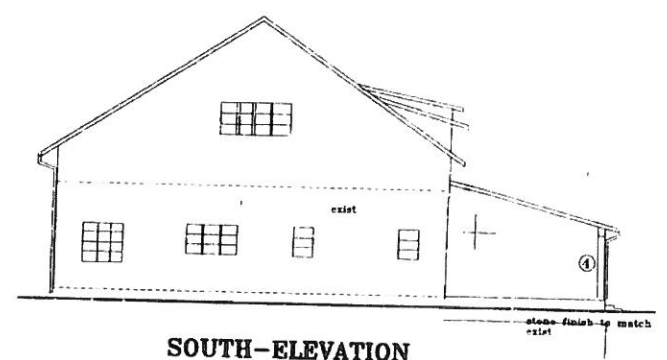
EAST ELEVATION



NORTH-ELEVATION



SECTION C-C



SOUTH-ELEVATION

2 way valve 70mm cp

datum	40	F	5
DISTANCE			0.6m
PEG LEVEL			51.351.8
INVERT LEVEL			51.351.8
DEPH	500	1:27	790.519.54.8

SEWER SECTION 1:100

- LIST OF DEVIATIONS
- ① GARAGE CHANGED
 - ② DRIVEWAY CHANGED
 - ③ WALL HIGHER
 - ④ TERRACE WIDER

exist soak pits to be certified by engineer or new soak pits to be built to detailed drawing

roofed area 292.78m²
 paved area 90m² (driveway to road)

area of site 1260m²
 ex dwelling 324.42m²
 ex outb. 67.37m²
 ex garage 48.00m²
 prop addition 13.63m²
 prep pool 36m²

100mm conc. slab reinforced with weldmesh on poisoned soil

SHEET 3 OF 3 SHEETS

UHI
DRAUGHTING
STUDIO

OWNERS SIGNATURE: *[Signature]*

SITE DESCRIPTION: LOT 2697 DURHAM NORTH

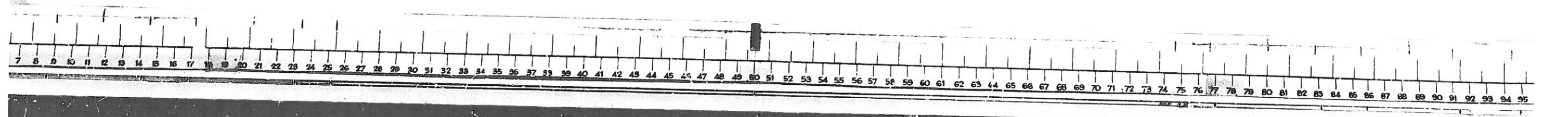
ADDRESS: 12 BELGRAVE CRESCENT

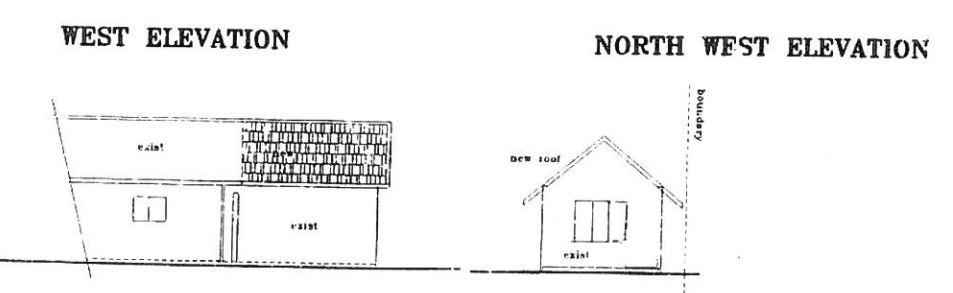
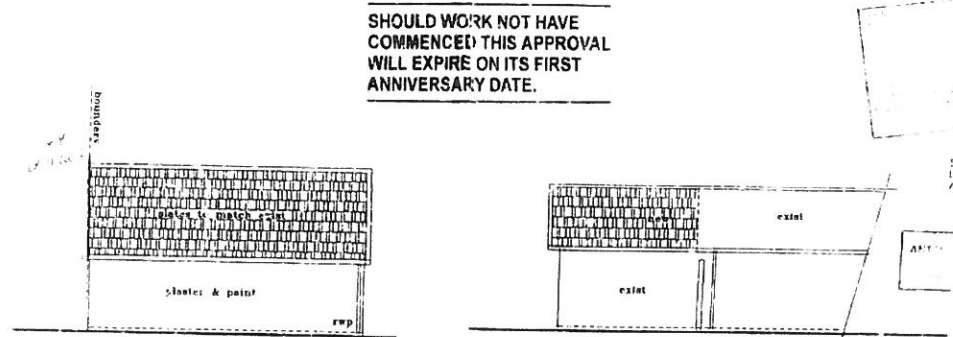
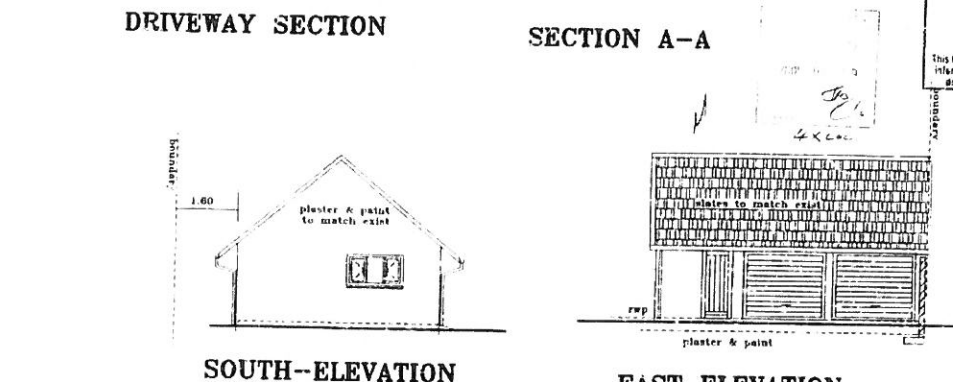
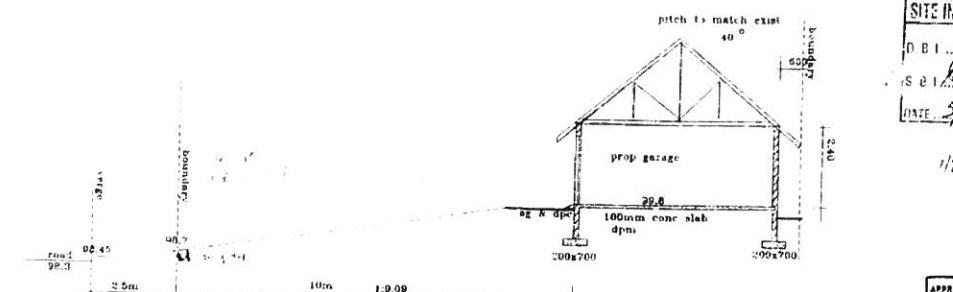
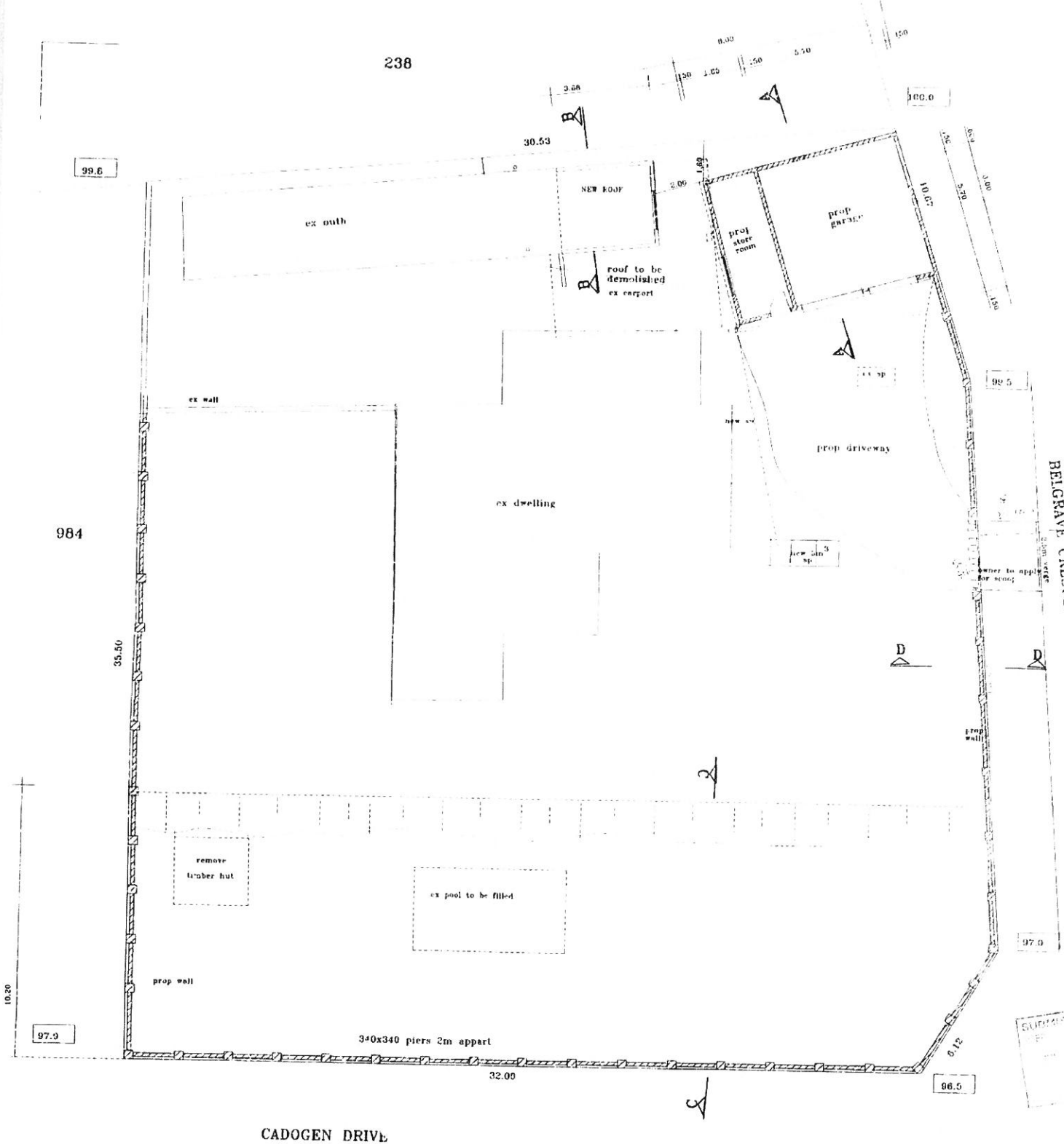
DATE 5.6.2006 REF. No 1/6

SCALE 1:160/500

DRAWN BY
 U. van Heer
 138 Haig Road
 Durban North
 Phone 5649755

PROPOSED DEVIATION TO PL NO 277/03/05 & 225/10/05 & POOL MRS S. HOLMES 0637757755	DATE 5.6.2006
---	---------------





SITE INSPECTION IN ORDER
 D.B.I. [Signature]
 DATE 5/4/05
 1/2 3

APPROVED in terms of The National Building Regulations and Building Standards Act Number 103 of 1977
 13 MAY 2005
 Local Authority
 This Plan is approved on the basis of the information shown hereon. Attention is drawn to attached documentation.

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

SHOULD NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT

FLOOR & SITE PLAN

NAME	Phone No.	ADDRESS	Signature
Judith Smitz	540 0006	10 BELGRAVE CRESCENT	[Signature]
Mrs van der Merwe	5 64 1340	7 BELGRAVE CRESCENT	[Signature]
PHIL JAT	5 311120	H. H. S.	[Signature]
Shirley van der Merwe	544 2010	15 CADOGEN DR	[Signature]

OWNERS' ATTENTION: [Signature]
 JOB DESCRIPTION: PROPOSED OUTBUILDING & BOUNDARY WALLS
 OWNER: MRS S. HOLMES
 0837757255
 SITE DESCRIPTION: LOT 2697 DURBAN NORTH
 ADDRESS: 12 BELGRAVE CRESCENT
 rate no 15 880018 000

SHEET 1 OF 2 SHEETS

UWH DRAUGHTING STUDIO

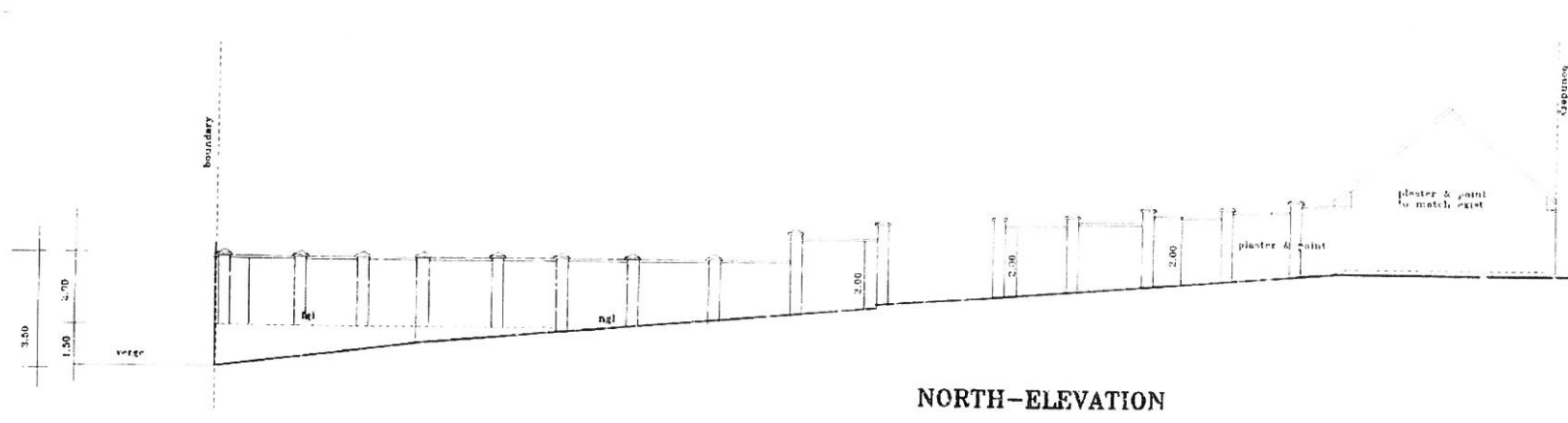
DRAWN BY: U von Beyer
 150 Hely Road Durban North Phone 0649786
 SCALE: 1:100
 DATE: 14.2.2005
 REF. NO.: 2/2/2005

BOULDERING CODES FAILURE TO COMPLY WITH THESE CODES WILL BE A BREACH OF THE BUILDING ACT AND WILL BE AN OFFENCE

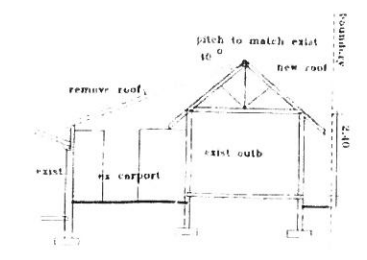
ROOF STRUCTURE TO BE TO TEMPORARY DESIGN UNTIL PERMANENT DESIGN IS SUBMITTED TO SATISFY RULE 44.4

ENGINEERS OBTAIN REQUIRED



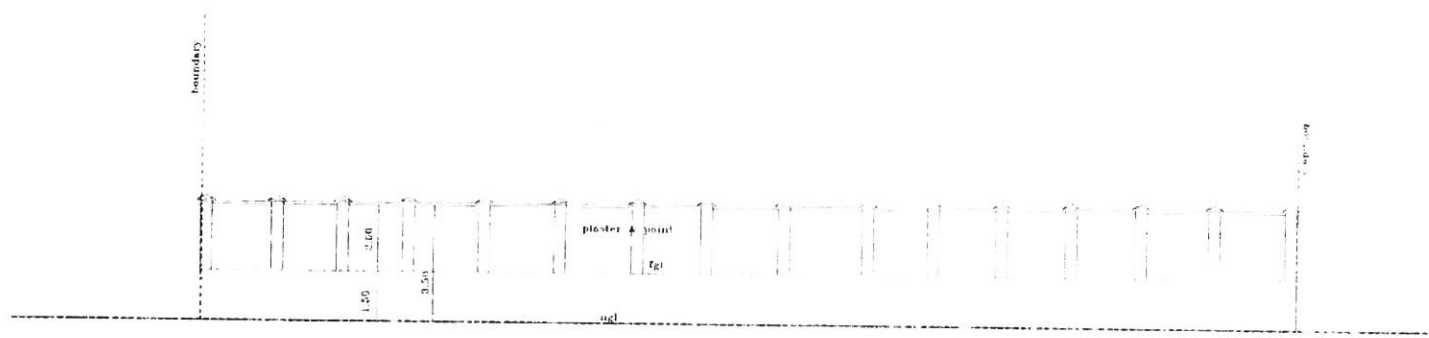


NORTH-ELEVATION

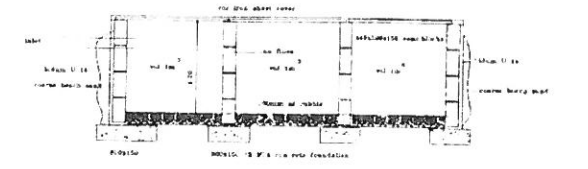


SECTION B-B

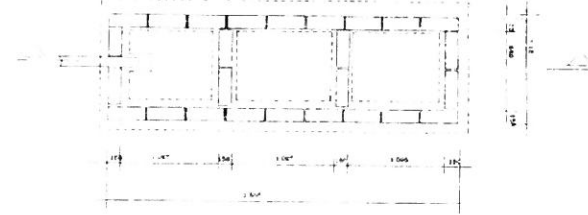
APPROVED in terms of The National Building Regulations and Building Standards Act Number 103 of 1977
 16 MAY 2005
 Local Authority



SOUTH-EAST ELEVATION

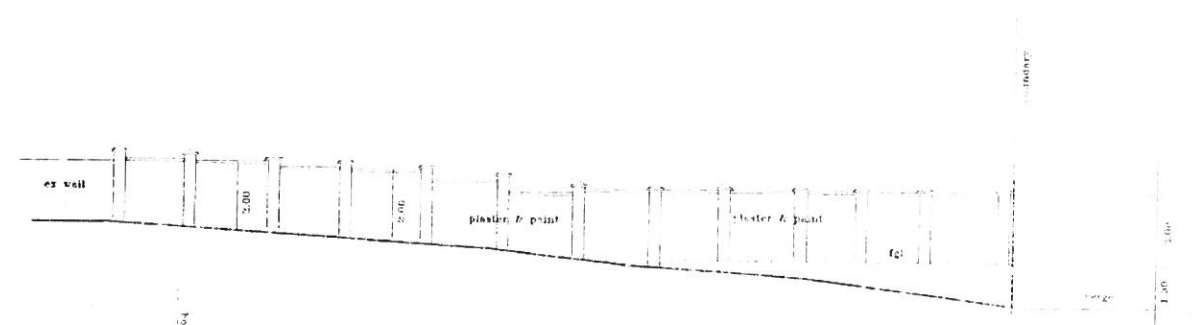


SECTION SOAKPIT

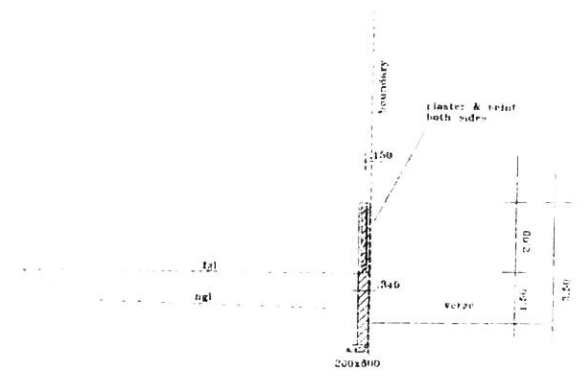


FLOORPLAN SOAKPIT

ORIGINAL



SOUTH-WEST ELEVATION



SECTION C-C

SECTION D-D

DATE	BY	ADDRESS	SIGNATURE
14.2.2005	S. S. B. B.	12 BELGRAVE CRESCENT	[Signature]
14.2.2005	S. S. B. B.	12 BELGRAVE CRESCENT	[Signature]

laundry wall to eng reinforcement

NOTES
 - slates to match exist, on 30x38 battens on pvc underlay on ganged trusses 250 x 75 on 50x114 wallplate
 - asb. exp. & rafters
 - ceiling on 20x30 underlaying
 - pvc under window sill
 - 2 courses brickface at sill and wallplate level with solid mortar joints
 - 100mm conc. slab reinforced with 10mm mesh on 10mm bed

area of site	1200m ²
dwelling	272.51m ²
outb.	41.37m ²
prop outb.	10m ²

JOB DESCRIPTION: PROPOSED OUTBUILDING & BOUNDARY WALLS
 OWNER: MRS. S. HOLMES

OWNERS SIGNATURE: [Signature]

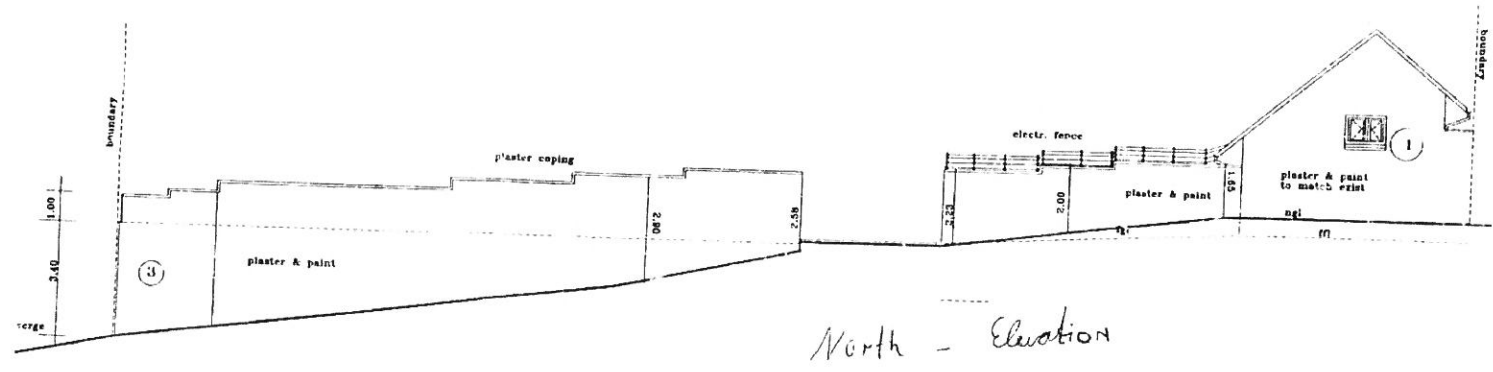
SITE DESCRIPTION: LOT 2897 DURBAN NORTH
 ADDRESS: 12 BELGRAVE CRESCENT

SHEET 2 OF 2 SHEETS

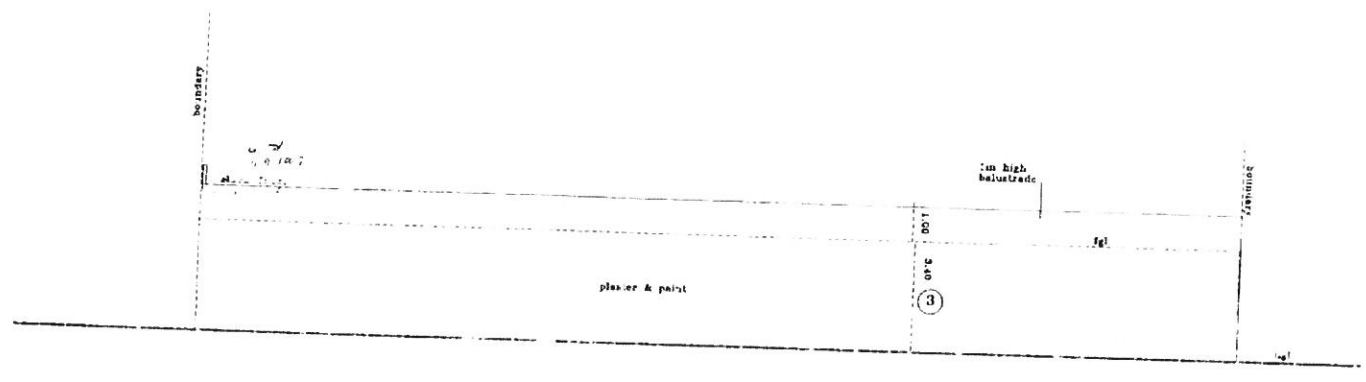
UWH
DRAUGHTING
STUDIO

DRAWN BY L. von Heyer 136 Haig Road Durban North Phone: 5649725	SCALE 1:100
DATE 14.2.2005	REF. NO. 2/2/2005

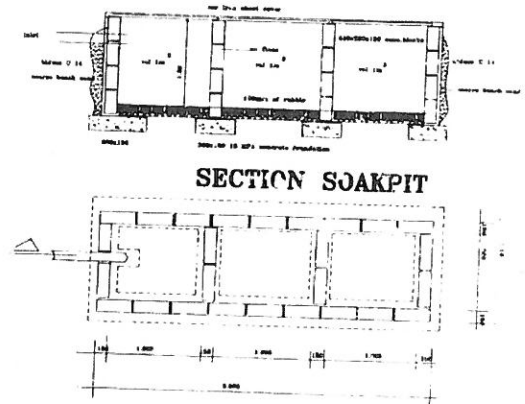




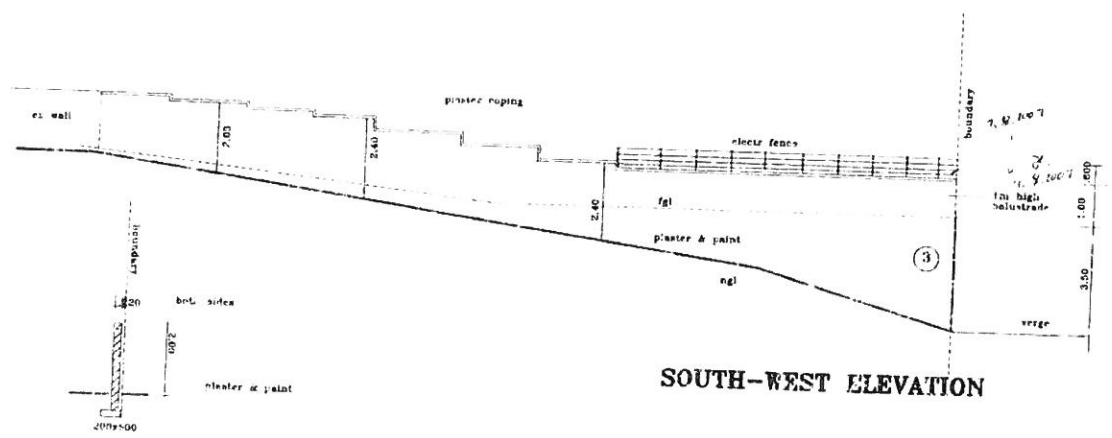
North - Elevation



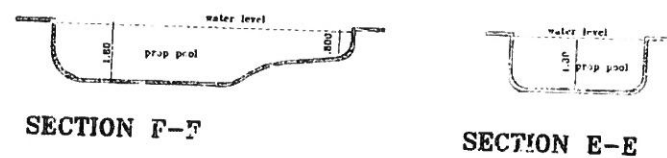
SOUTH-EAST ELEVATION



FLOORPLAN SOAKPIT

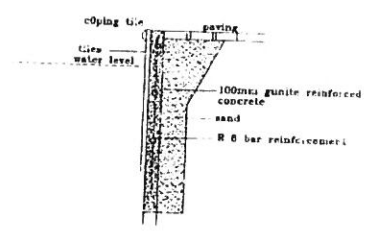


SOUTH-WEST ELEVATION



SECTION F-F

SECTION E-E



DETAIL 1:20

SECTION D-D

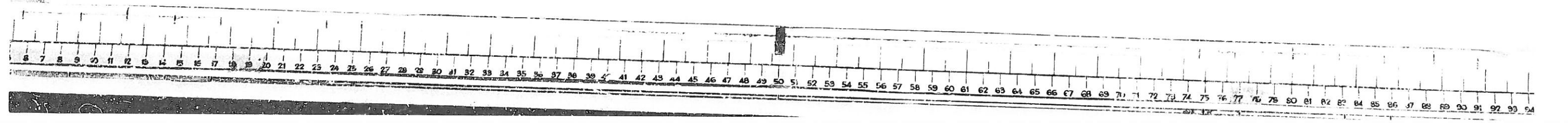
SHEET 2 OF 3 SHEETS

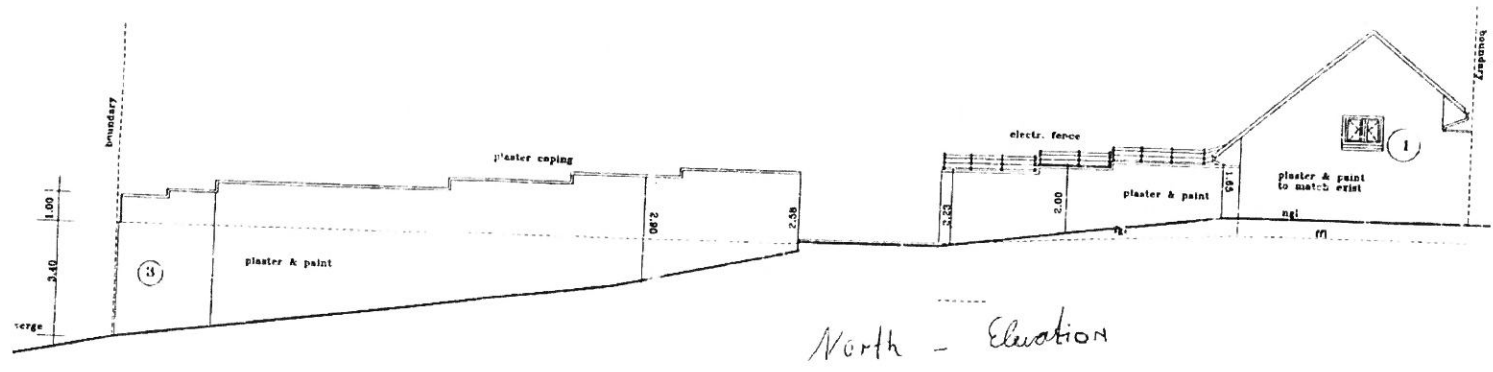
UHI
DRAUGHTING
STUDIO

<p>POOL NOTES</p> <ul style="list-style-type: none"> 1 earth leakage protection fitted on electrical supply. 2 precautions to be taken in regard to condensate. 3 pump chamber to be adequately drained. 4 electrical equipment to be housed. 5 waste water to be discharged via bpt into sewer with retic locking gate to s.s.b.s.390 fitted to pool surround to comply with national building regulations. 	<p>MICES</p> <ul style="list-style-type: none"> slopes to match exist. cr. 38x38 battens on pvc underlay on gongolled trusses 700 c/c on 50x100 wallplate. cab. rep. & gutters. ceiling on 38x38 bransring. 100mm conc. slab reinforced with 100mm x 100mm on spaced 400. 	<p>Area of site: 15.00m² ex. dwelling: 27.95m² ex. outb.: 6.77m² prop. outb.: 48.2</p>
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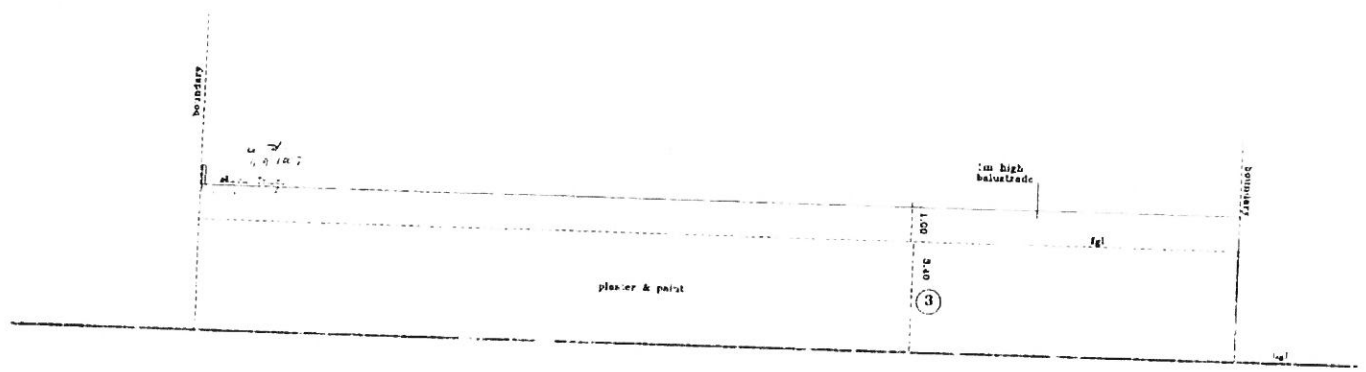
<p>JOB DESCRIPTION: PROPOSED DEVIATION TO PL NO 277/03/05 & 225/10/05 OWNER: MRS S. HOLMES</p>	<p>OWNERS SIGNATURE: <i>[Signature]</i></p> <p>SITE DESCRIPTION: LOT 2697 DURBAN NORTH ADRESSE: 12 BELGRAVE CRESCENT</p>
--	---

<p>DRAWN BY: L. van Riper 120 E. La. Road Durban North Phone 5649725</p>	<p>SCALE: 1:100</p>
<p>DATE: 5.8.2006</p>	<p>REV. NO.: 1/6</p>

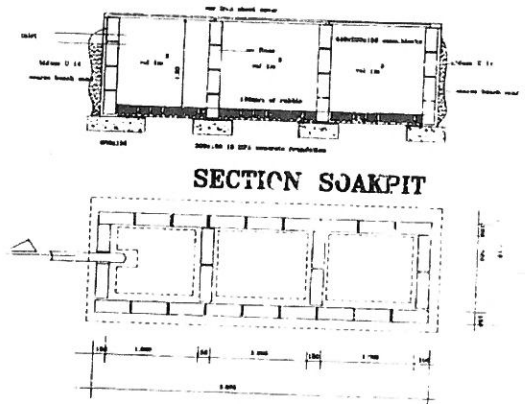




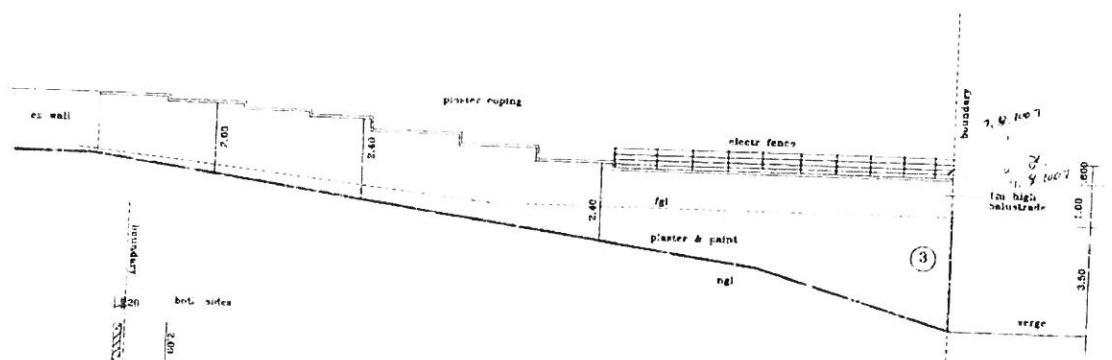
North - Elevation



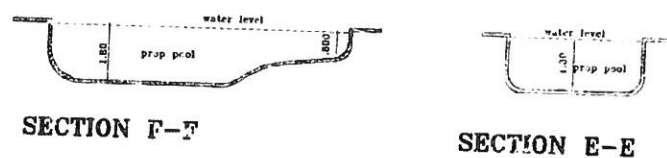
SOUTH-EAST ELEVATION



FLOORPLAN SOAKPIT

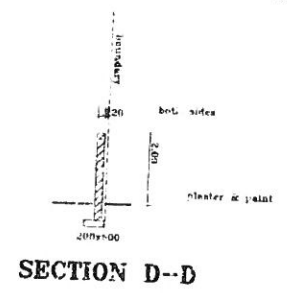


SOUTH-WEST ELEVATION

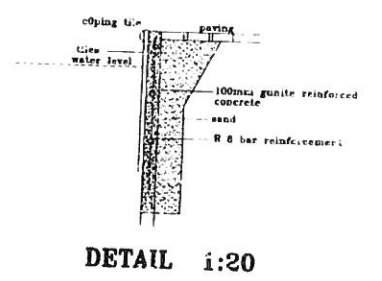


SECTION F-F

SECTION E-E



SECTION D-D



DETAIL 1:20

<p>POOL NOTES</p> <ol style="list-style-type: none"> earth leakage protection fitted on electrical supply precautions to be taken in regard to condensate pump chamber to be adequately drained electrical equipment to be housed waste water to be discharged via bpt into sewer or private looking gate to s.s.h.s.1380 fitted to pool surround to comply with national building regulations 	<p>NOTES</p> <ul style="list-style-type: none"> slopes to match exist or 30x30 ballans on pvc underlay on gongalled hussis 750 c/c or 50x11x wallplate cab. rap. & gutters ceiling on 30x30 bransling 100mm conc. slab reinforced with 100mm dia. steel reinforcement 	<p>Area of site 11.00m²</p> <p>ex dwelling 27.0m²</p> <p>ex outb. 5.7m²</p> <p>prop. bath 40.2</p>
--	--	---

OWNERS SIGNATURE: *[Signature]*

JOB DESCRIPTION: PROPOSED DEVIATION TO PL NO 277/03/05 & 225/10/05

OWNER: MRS S. HOLMES

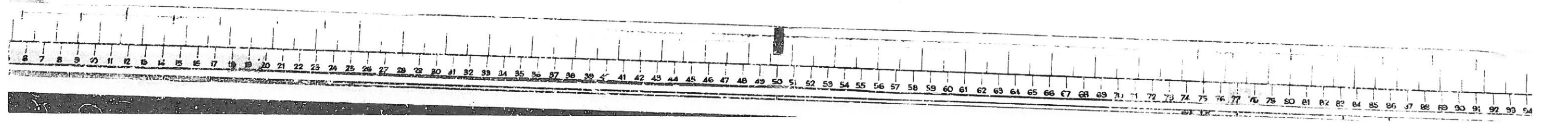
SITE DESCRIPTION: LOT 2697 DURBAN NORTH

ADDRESSE: 12 BELGRAVE CRESCENT

SHEET 2 OF 3 SHEETS

UHI DRAUGHTING STUDIO

<p>DRAWN BY: L. van Heer</p> <p>128 E. 1st St. Durban 4015</p> <p>PHONE 031 27225</p>	<p>SCALE: 1:100</p>
<p>DATE: 5.8.2006</p>	<p>REV. NO: 1/6</p>



12 BELGRAVE CRESC

APPROVED in terms of the National Building Regulations and Building Standards Act 1977
Number: 2005/08/05
05 MAY 2005

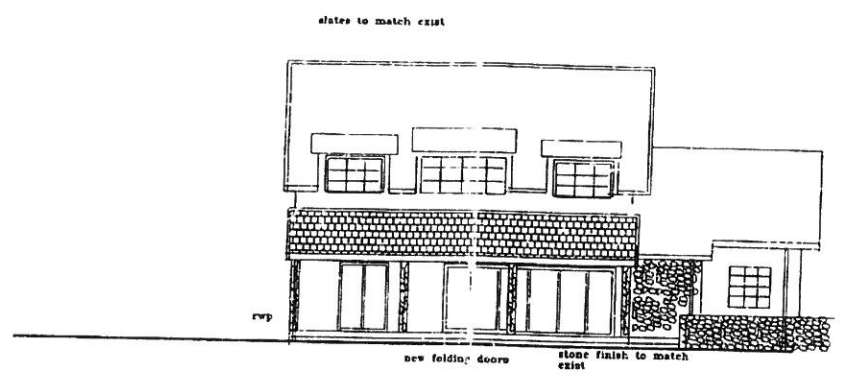
BEFORE WORK COMMENCES
CALL UP THE ELECTRICAL INSPECTOR
BEFORE STARTING THIS WORK IS AN OFFENCE

ANQUARD ELECTRICAL P.C.
SCHEDULE 1 REQUIRED

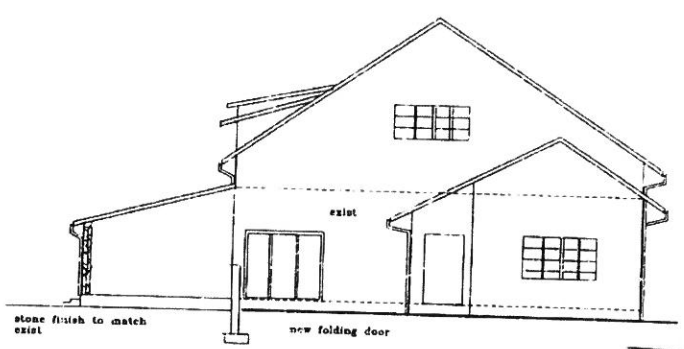
BEFORE WORK COMMENCES
THE APPLICANT MUST BE TO
TEMPORARILY REQUEST FOR RATIONAL
BEFORE WORK COMMENCES
BEFORE WORK COMMENCES

ALL GLAZING TO COMPLY
WITH PART NN2 AND NN3
OF SANS 10400
CHECKS TO BE MADE FOR
WINDWAY AND HARDENED AREA

ELECTRICITY SERVICES
Any person undertaking building operations in
accordance with this plan is required to ascertain
from the Executive Director of the Metro Electricity
by the location of any electrical services and
ensure that the safety of the proposed works
complies with the requirements regarding Substation,
Meters, etc. and Cable ducts.

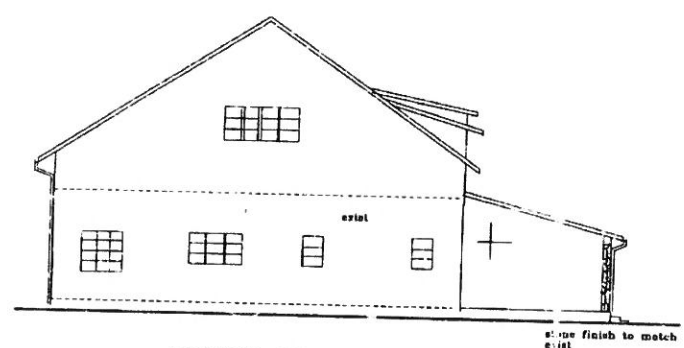


EAST ELEVATION

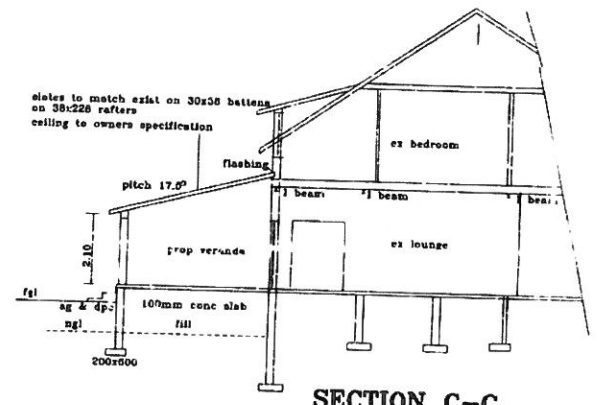


NORTH-ELEVATION

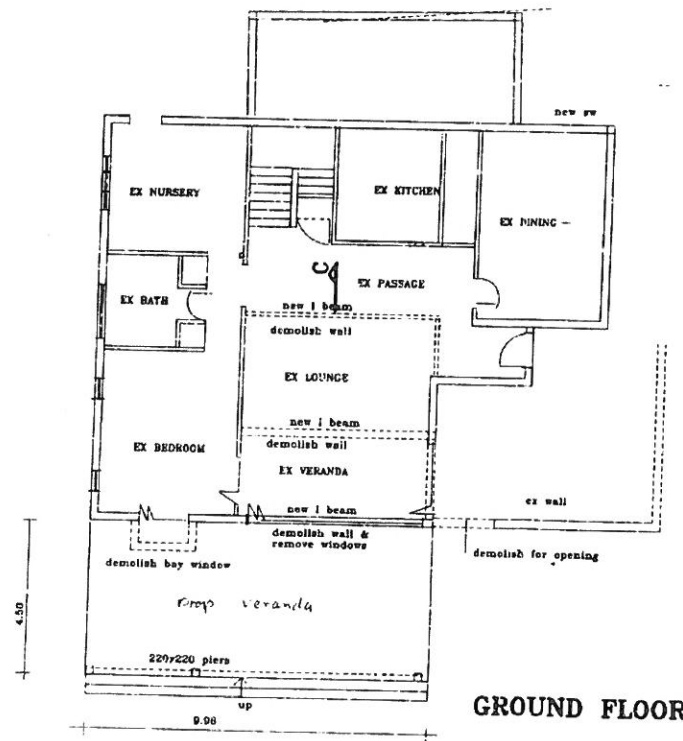
SHOULD WORK NOT HAVE
COMMENCED THIS APPROVAL
WILL EXPIRE ON ITS FIRST
ANNIVERSARY DATE.



SOUTH-ELEVATION



SECTION C-C



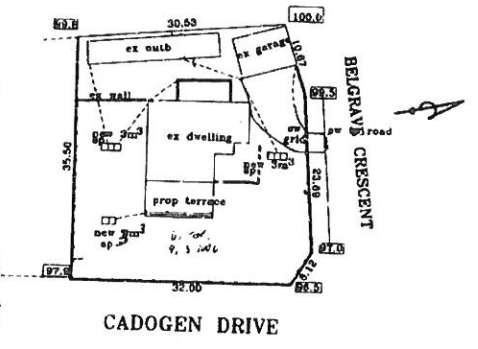
GROUND FLOOR PLAN

roofed area 299.72m²
paved area 90m² (driveway to road)

area of site 1366m²
ex dwelling 278.51m²
ex outb. 115.37m²
prop addition 44.91m²

100mm conc. slab reinforced with
weldmesh on prepared soil
All folding doors to
be fitted with safety glass

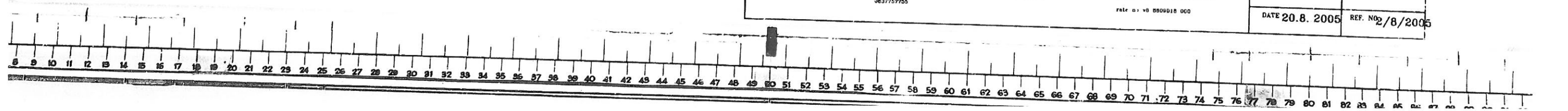
SUBMISSIONS
SITEPLAN CHECKED
2005/08/05

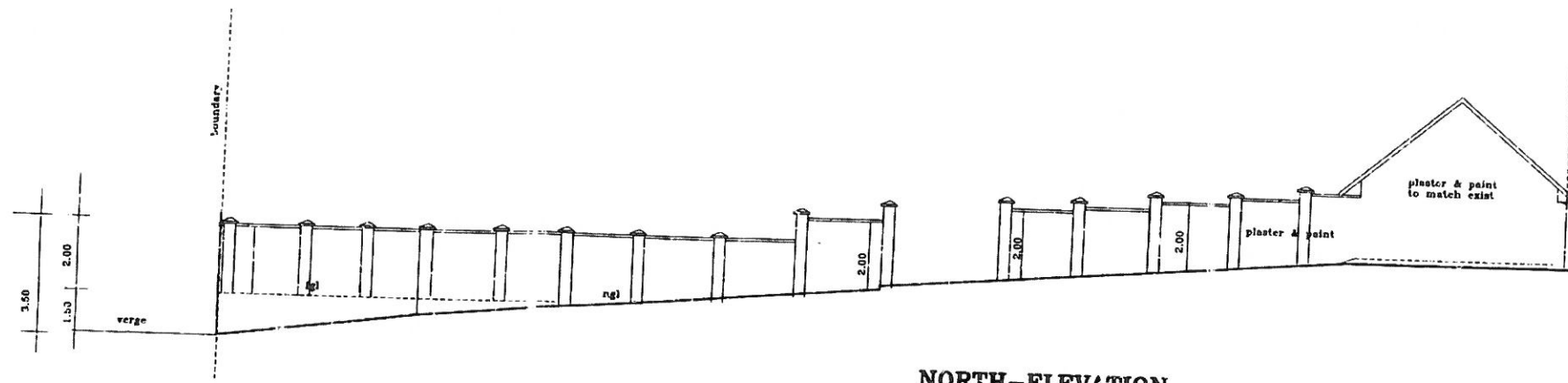


CADODEN DRIVE

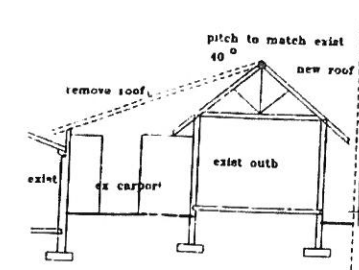
UWH
DRAUGHTING
STUDIO

OWNERS SIGNATURE: *M.S.H.*
PROPOSED VERANDA
TO PL NO 277/03/05
MRS S. HOLMES
3637757705
SITE DESCRIPTION: LOT 2697 DURBAN NORTH
ADRESSE: 12 BELGRAVE CRESCENT
DATE 20.8.2005 REF. NO 2/8/2005
DRAWN BY: U von Beyer, 130 King Road, Durban North, Phone 5449785
SCALE: 1:100/500
DATE 20.8.2005 REF. NO 2/8/2005



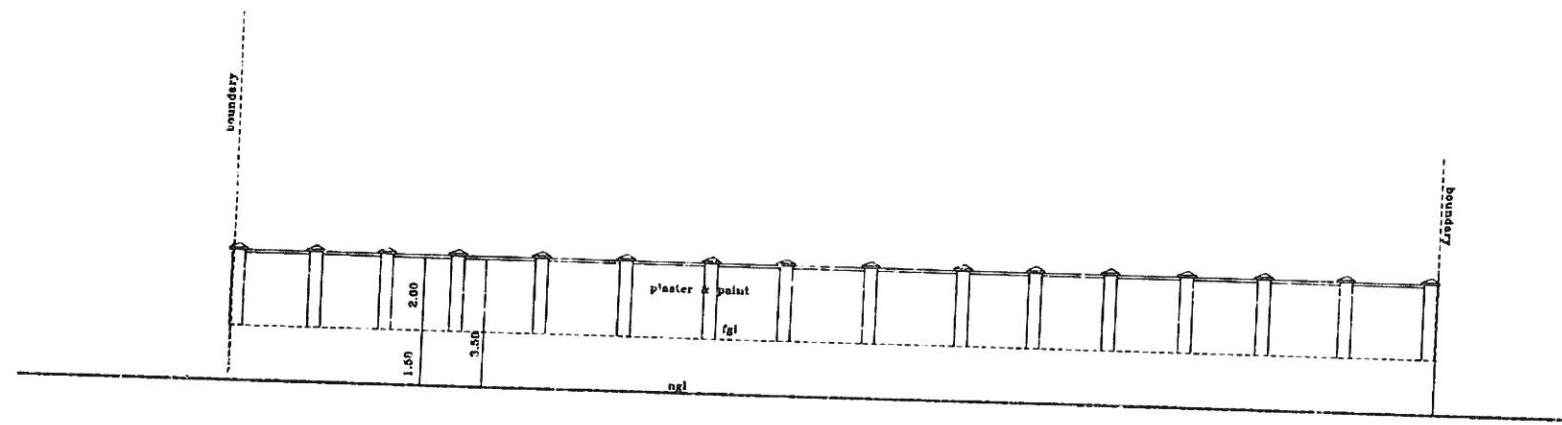


NORTH-ELEVATION

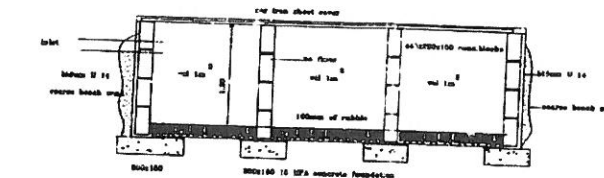


SECTION B-B

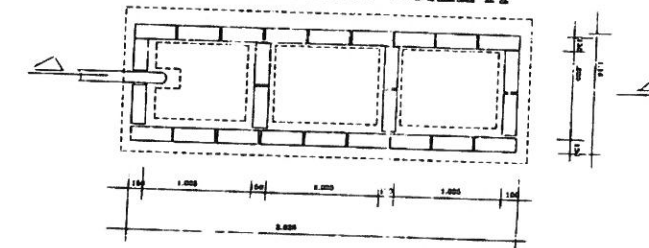
APPROVED in terms of the National Building Regulations and Building Standards Act Number 103 of 1977
 13 MAY 2005
 Local Authority
 This Plan is approved on the basis of the information shown hereon. Attention is drawn to attached documents.



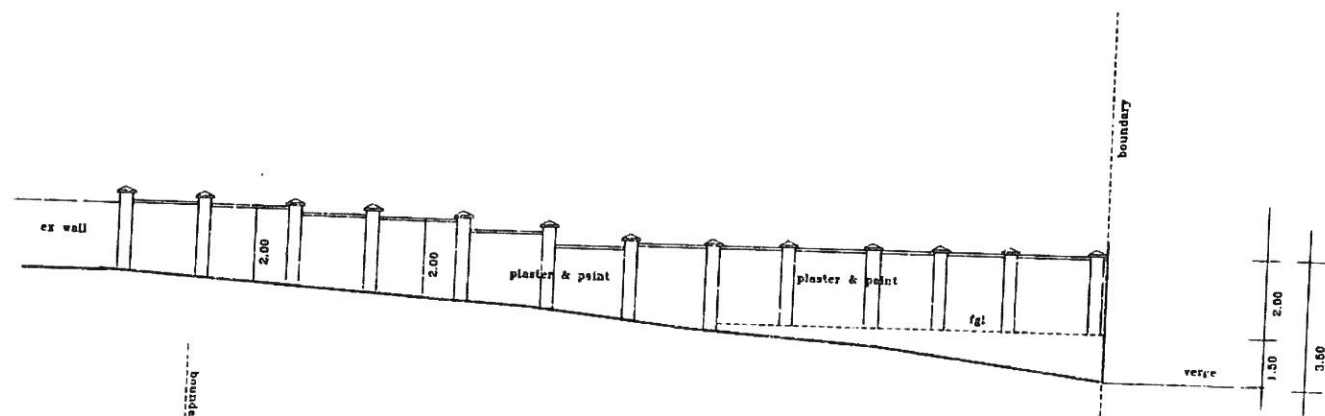
SOUTH-EAST ELEVATION



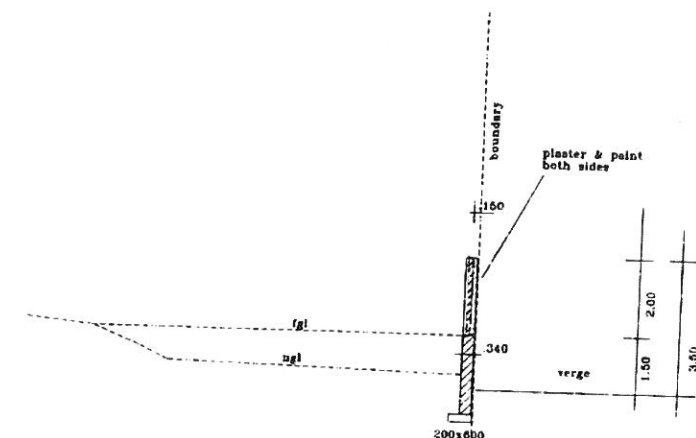
SECTION SOAKPIT



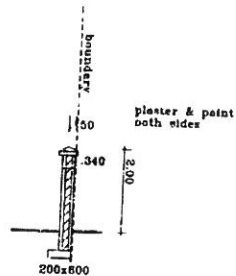
FLOORPLAN SOAKPIT



SOUTH-WEST ELEVATION



SECTION C-C



SECTION D-D

boundary wall to eng certification

NOTES slates to match exist. on 38x38 battens on pvc underlay on ganged trusses 750 c/c on 50x114 wallplate asb. wp. & gutters ceiling on 3x38 bracing pvc under window sill 2 courses brickwork at sill and wallplate level with solid mortar joints 100mm conc. slab reinforced with weldmesh on prepared soil	area of site	1260m ²
	ex dwelling	279.51m ²
	ex outb.	67.37m ²
	prop outb.	46m ²

OWNERS SIGNATURE:	SITE DESCRIPTION	LOT 2697 DURBAN NORTH
JOB DESCRIPTION: PROPOSED OUTBUILDING & BOUNDARY WALLS	ADDRESSE:	12 BELGRAVE CRESCENT
OWNER: MRS S. HOLMES		

SHEET 2 OF 2 SHEETS

UWH
DRAUGHTING
STUDIO

DR. FN DY U von Heyer 130 Haig Road Durban, North Phone 5649755	SCALE 1:100
DATE 14.2.2005	REF. NO. 2/2/2005