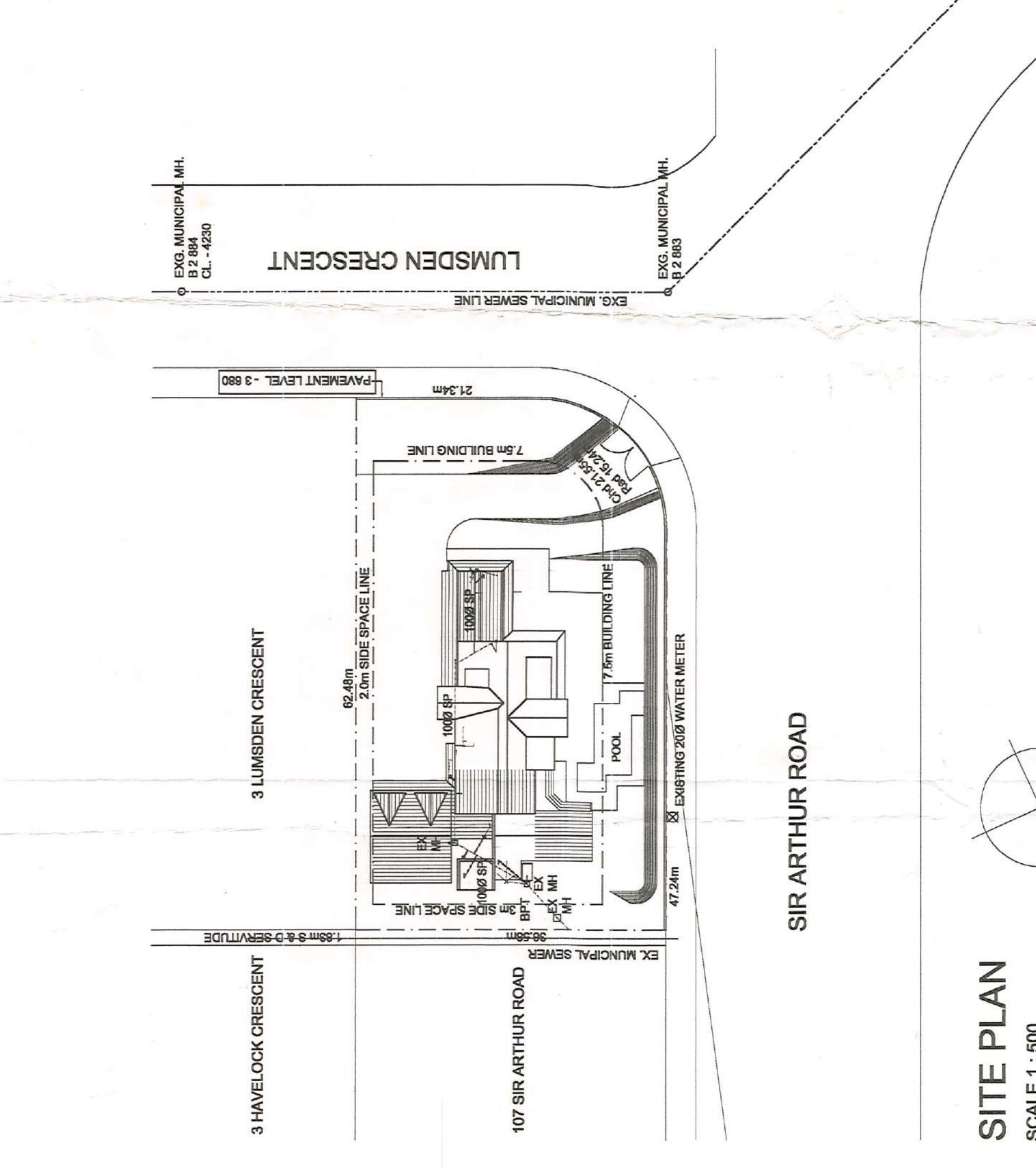
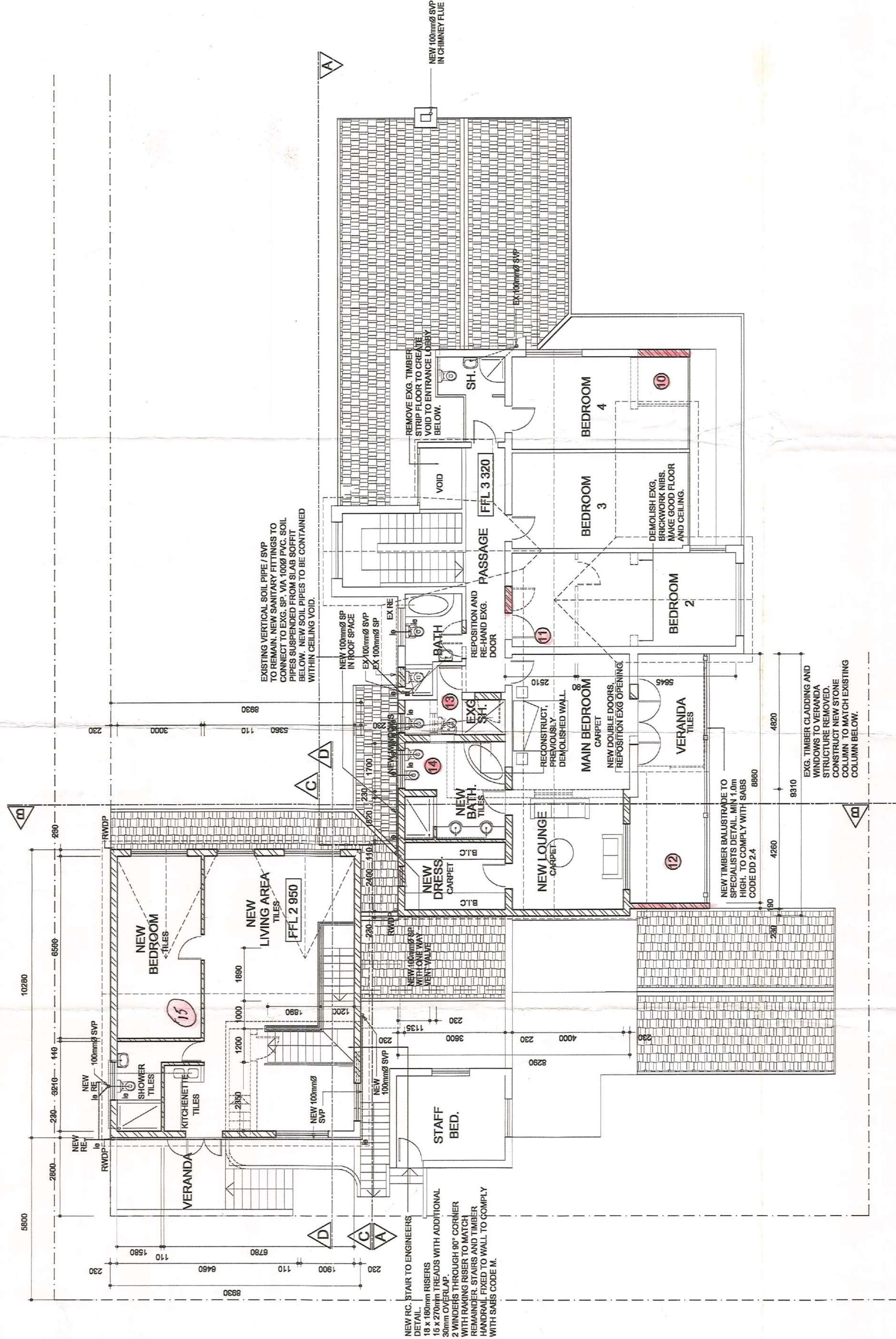


SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

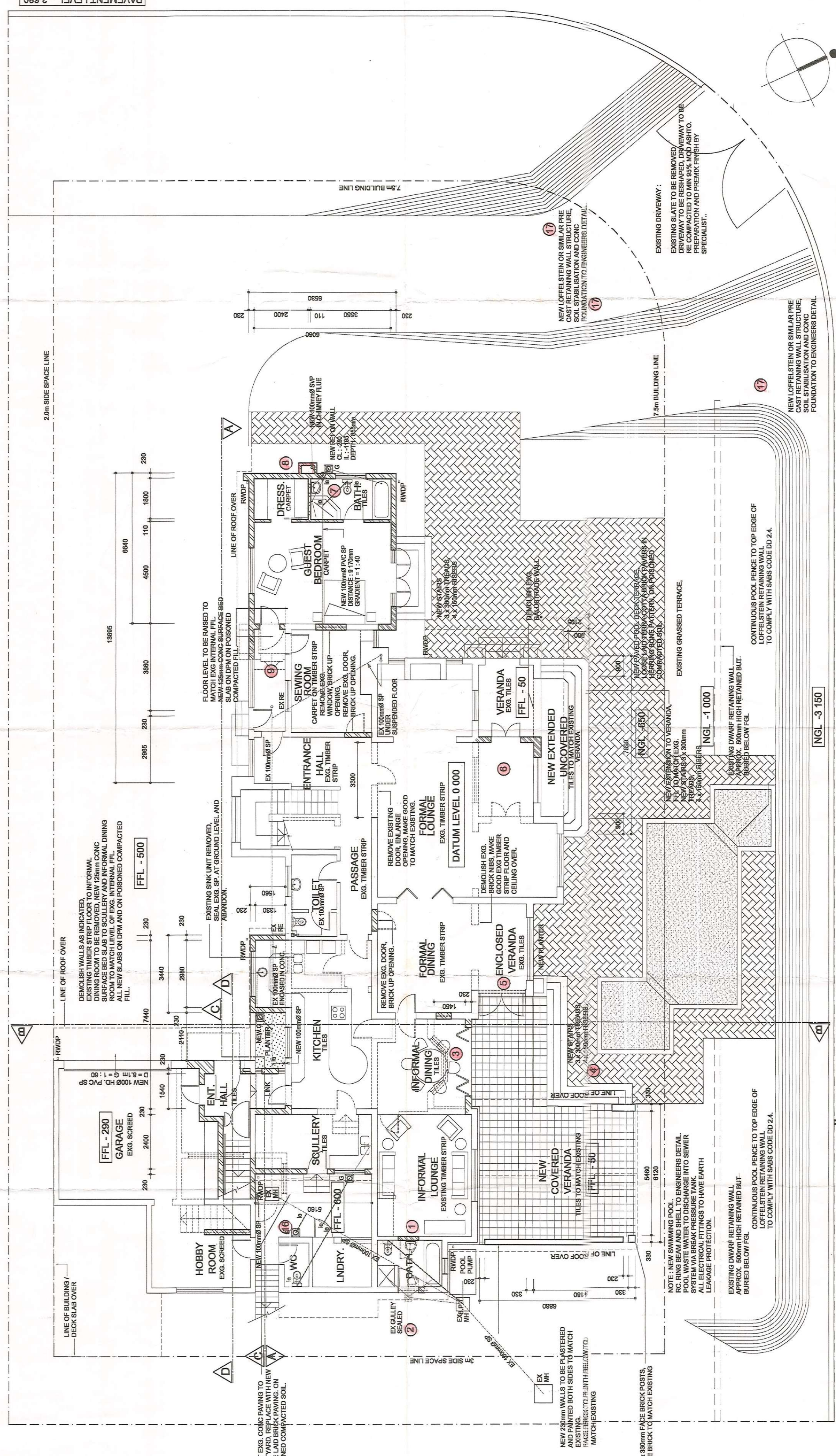


SITE PLAN
 SCALE 1:500
 PORTION 5 OF ERF 618 DURBAN
 P.N.S. : 123 SIR ARTHUR ROAD, MORNINGSIDES, DURBAN

GENERAL NOTES:
 1) EXISTING SERVICES (ELECTRICITY, WATER, SEWERAGE) TO REMAIN, NEW SERVICES TO BE INSTALLED TO SERVE THE PROPOSED DEVELOPMENT.
 2) EXISTING TIMBER STRIP FLOORS TO REMAIN WHERE INDICATED. MAKE GOOD TO MATCH NEW STRIP FLOORING. CONCRETE SLABS, 125mm CONC. MESH REINFORCED SURFACE BED SLABS NEW SUSPENDED CONCRETE SLABS AT UPPER LEVEL AND SUPPORT STRUCTURE. ALL TO STRUCTURAL ENGINEERS DETAIL.
 3) ALL NEW EXTERNAL WALLS 200mm BRICKWORK, FACE BRICK WHERE INDICATED TO MATCH EXISTING. ALL NEW EXTERNAL WALLS, SMOOTH PLASTERED AND PAINTED TO MATCH EXISTING. STRUCTURAL ENGINEERS TO CONFORM FOUNDATION SIZES, FOR LOAD BEARING WALLS.
 4) ALL NEW INTERIOR WALLS PLASTERED, SMOOTH AND PAINTED TO MATCH EXISTING. ALL NEW INTERIOR WALLS TO BE FINISHED WITH PLASTER AND PAINT TO MATCH EXISTING.
 5) ROOF TO BE REPLACED WITH NEW SLATE TILES TO BE REMOVED, REPLACED WITH NEW SLATE TILES. ALL EXISTING MARBLE ROOF TILES TO BE REMOVED, REPLACED WITH NEW SLATE TILES. ROOF TO BE REPLACED WITH NEW SLATE TILES TO BE REMOVED, REPLACED WITH NEW SLATE TILES. ROOF TO BE REPLACED WITH NEW SLATE TILES TO BE REMOVED, REPLACED WITH NEW SLATE TILES. ROOF TO BE REPLACED WITH NEW SLATE TILES TO BE REMOVED, REPLACED WITH NEW SLATE TILES.
 6) ALL NEW WORK TO COMPLY WITH NBS.
 7) ALL NEW WORK TO COMPLY WITH NBS.
 8) ALL NEW WORK TO COMPLY WITH NBS.
 9) ALL NEW WORK TO COMPLY WITH NBS.
 10) ALL NEW WORK TO COMPLY WITH NBS.



UPPER LEVEL PLAN



GROUND FLOOR PLAN

LIST OF DEVIATIONS TO APPROVED PLAN, NO. 193-04-01-5

- 1) Existing door removed, existing bricked up. Existing wall repositioned.
- 2) Remove existing window, modify existing opening to suit new external door and window.
- 3) French door with sideglaze, amended to sliding folding door.
- 4) External slabs modified, Pool shape altered.
- 5) Existing window removed, opening modified to suit new French doors.
- 6) Position of existing veranda enclosed, reposition existing window and french door to suit, floor level raised to match existing internal floor level.
- 7) Bathroom fittings re arranged, Bath added.
- 8) One window.
- 9) Original entrance to remain as is.
- 10) Bedroom extended to match line of adjacent bedroom.
- 11) Bedroom to remain as per original, Partition wall omitted, entrance door repositioned.
- 12) Existing veranda extended.
- 13) Shower room extended / rearranged, door repositioned.
- 14) Bathroom extended / rearranged, toilet added.
- 15) Generally internal layout altered, (roads altered, windows added) repositioned/re-added. North West corner repositioned, new roof monitor added, roof monitor on South East elevation omitted.
- 16) Existing connection to existing municipal sewer reinstated, previous indication of septic tank removed, obtained from original drawings. All previous indication of septic tank removed to reflect connection to existing sewer system.
- 17) New installation of similar pc. existing well system, as indicated.
- 18) Area schedule adjusted to reflect additional PAR and Coverage ratios.

SUBMISSIONS
 STEPHAN GRENCH
 200 91 2 1
 StepStone

AREA SCHEDULE

AREA	AREA (SQM)	PERCENTAGE (%)
EXISTING PAR	2280.0	(60%)
EXISTING PAR	1984.4	(51%)
EXISTING PAR	543.8	(14%)
EXISTING PAR	3093.3	(80%)
ADDITIONAL PAR	245.2	(6%)
TOTAL PROPOSED PAR	1927.7	(50%)
TOTAL PROPOSED COVERAGE	762.0	(20%)

ELECTRICITY SERVICES
 Any person undertaking building operations in accordance with the National Building Regulations and Building Standards Act No. 103 of 1977, shall ensure that the location of any electrical services and services in the vicinity of the proposed works, shall be as follows:
 1) The location of any electrical services and services in the vicinity of the proposed works, shall be as follows:
 2) All electrical services and services shall be installed in accordance with the National Building Regulations and Building Standards Act No. 103 of 1977, and the Regulations and Standards thereunder.
 3) All electrical services and services shall be installed in accordance with the National Building Regulations and Building Standards Act No. 103 of 1977, and the Regulations and Standards thereunder.