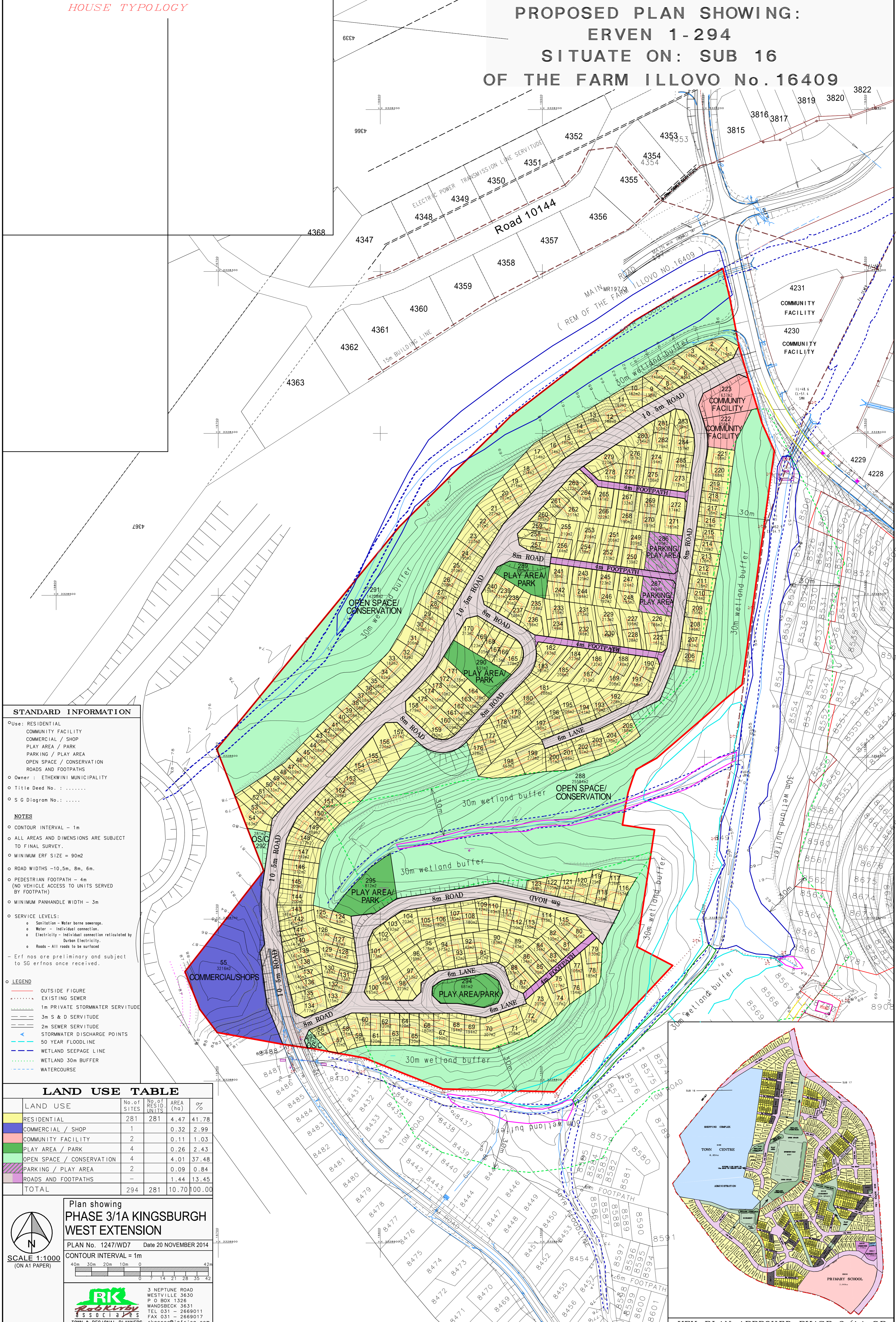


PROPOSED PLAN SHOWING:
 ERVEN 1-294
 SITUATE ON: SUB 16
 OF THE FARM ILLOVO No. 16409



STANDARD INFORMATION

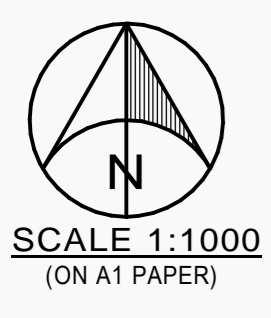
- o Use: RESIDENTIAL
 COMMUNITY FACILITY
 COMMERCIAL / SHOP
 PLAY AREA / PARK
 PARKING / PLAY AREA
 OPEN SPACE / CONSERVATION
 ROADS AND FOOTPATHS
- o Owner : ETHEKWINI MUNICIPALITY
- o Title Deed No. :
- o S G Diagram No. :
- NOTES
- o CONTOUR INTERVAL - 1m
- o ALL AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY.
- o MINIMUM ERF SIZE = 90m²
- o ROAD WIDTHS - 10.5m, 8m, 6m.
- o PEDESTRIAN FOOTPATH - 4m (NO VEHICLE ACCESS TO UNITS SERVED BY FOOTPATH)
- o MINIMUM PAVEMENT WIDTH - 3m
- o SERVICE LEVELS:
 - o Sanitation - Water borne sewerage.
 - o Water - Individual connection
 - o Electricity - Individual connection reticulated by Durban Electricity.
 - o Roads - All roads to be surfaced
- Erf nos are preliminary and subject to SG erf nos once received.

LEGEND

- OUTSIDE FIGURE
- EXISTING SEWER
- 1m PRIVATE STORMWATER SERVITUDE
- 3m S & D SERVITUDE
- 2m SEWER SERVITUDE
- STORMWATER DISCHARGE POINTS
- 50 YEAR FLOODLINE
- WETLAND SEEPAGE LINE
- WETLAND 30m BUFFER
- WATERCOURSE

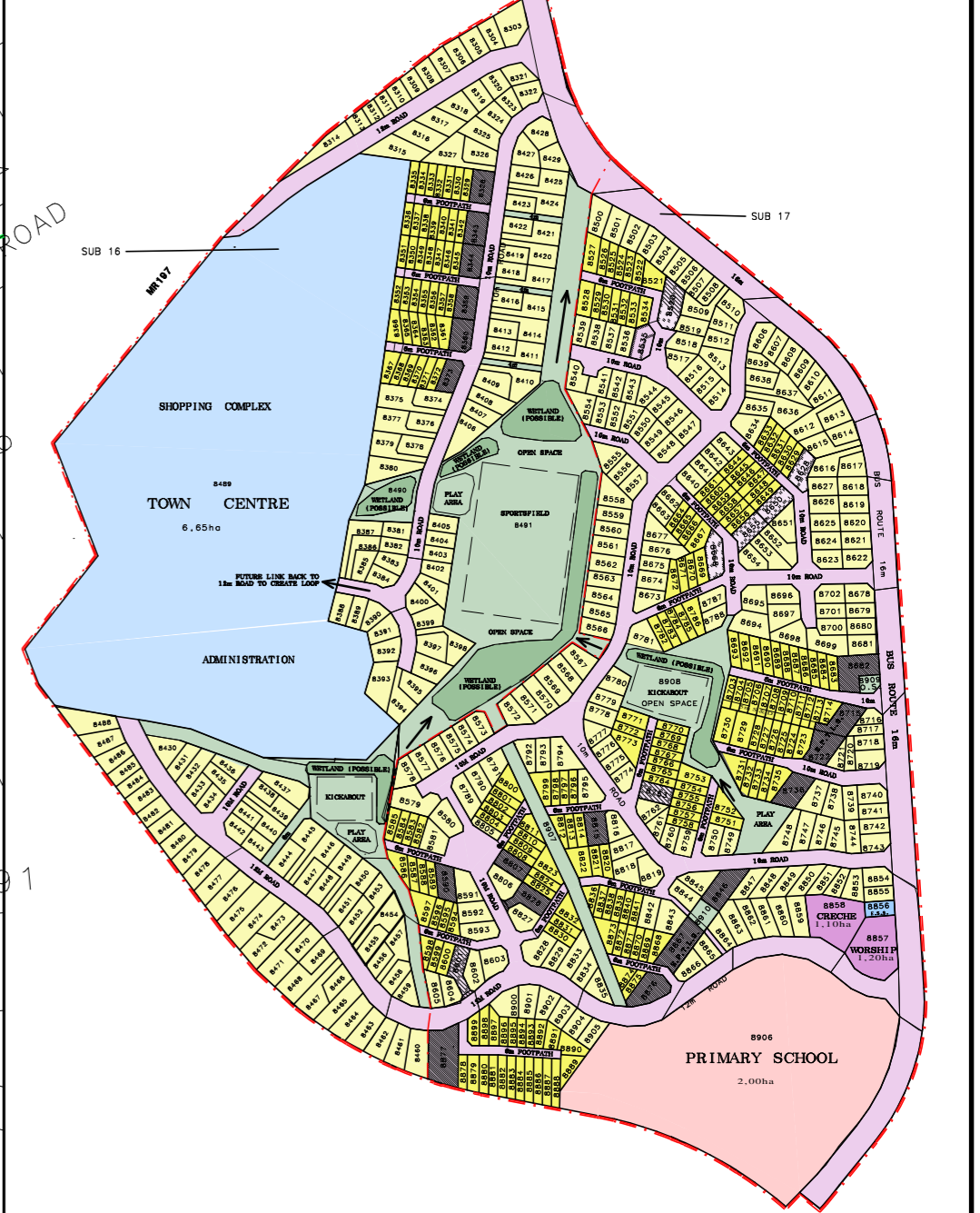
LAND USE TABLE

LAND USE	No. of SITES	No. of RESID. UNITS	AREA (ha)	%
RESIDENTIAL	281	281	4.47	41.78
COMMERCIAL / SHOP	1	0	0.32	2.99
COMMUNITY FACILITY	2	0	0.11	1.03
PLAY AREA / PARK	4	0	0.26	2.43
OPEN SPACE / CONSERVATION	4	0	4.01	37.48
PARKING / PLAY AREA	2	0	0.09	0.84
ROADS AND FOOTPATHS	-	-	1.44	13.45
TOTAL	294	281	10.70	100.00



Plan showing
PHASE 3/1A KINGSBURGH WEST EXTENSION
 PLAN No. 1247/WD7 Date 20 NOVEMBER 2014
 CONTOUR INTERVAL = 1m

3 NEPTUNE ROAD
 WESTVILLE 3630
 P O BOX 1326
 WANDSBECK 3631
 TEL 031 - 2669011
 FAX 031 - 2669017
 rkassoc@iafrica.com



KEY PLAN-APPROVED PHASE 3/1A GP