

PART F: DRAINAGE
 ALL WASTE PIPES AND DRAINS TO BE ACCESSIBLE ALONG THE ENTIRE LENGTH.
 INSPECTION EYE (IE) TO BE PROVIDED AT ALL BENDS AND JUNCTIONS IN THE DRAIN AND AT A MAXIMUM OF 23m LENGTHS ALONG STRAIGHT RUNS OF THE DRAIN.
 ALL INSPECTION EYES TO HAVE MARKED COVERS AT GROUND LEVEL.
 CLEANING EYES (CE) TO BE PROVIDED AT ALL BENDS AND JUNCTIONS OF WASTE PIPES.
 ALL WASTES TO BE FITTED WITH 65mm RE-SEAL TRAPS.
 ALL SOIL PIPES TO BE 110mm EXCEPT URINALS WHICH ARE TO BE 75mm OR 50mm IN CASE OF WALL HUNG URINALS.
 ALL SOIL VENTILATION PIPES (SV) MUST BE TAKEN TO A MINIMUM HEIGHT OF 1.5m ABOVE THE NEAREST ADJACENT WINDOW HEAD.
 WHERE A DRAIN PASSES UNDER A BUILDING IT MUST BE ENCASED IN 100mm CONCRETE ALL ROUND AND MUST BE IN A STRAIGHT RUN UNDER THE BUILDING WITH NO BENDS OR JUNCTIONS AND MUST HAVE IE'S AT EACH END AT A MINIMUM OF 500mm BEYOND THE BUILDING.
 100mm - COLDROOM CONDENSATE
 100mm - WC AND REFUSE FLOOR DRAIN
 WHERE THE VERTICAL DROP FROM SOIL FITTINGS TO THE MAIN DRAIN EXCEEDS 1.2m THESE FITTINGS ARE TO BE ANTI-SYPHON VENTED.
 ALL ACCESS PANELS TO BE LOCATED AT PIPE JUNCTION. EXTERNAL PANEL TO BE FIBRE CEMENT FINISHED TO MATCH SURROUNDING PLASTER/WALL FINISH.
 ALL DISCHARGES FROM WASHING AREAS TO COMPLY WITH SANS 10400 PART 4.9
 ALL MATERIALS, PIPES, FITTINGS AND JOINTS TO COMPLY WITH SANS 10400 PART 4.2
 ALL SANITARY FIXTURES TO BE IN ACCORDANCE WITH SANS 10400 PART 4.3
 ALL DISCHARGE & VENTILATING PIPES TO BE INSTALLED IN ACCORDANCE WITH SANS 10400 PART 4.18
 ALL DRAINS TO BE ACCESSIBLE IN ACCORDANCE WITH SANS 10400 PART 4.19
 ALL SANITARY FIXTURES TO HAVE TRAPS IN ACCORDANCE WITH SANS 10400 PART 4.20
 ALL GULLIES TO BE INSTALLED IN ACCORDANCE WITH SANS 10400 PART 4.21
 ALL SEWER & STORMWATER LAYOUTS TO ENGINEER'S DESIGN & DETAILS
 SIZES OF WASTE/SOIL PIPES:
 225mm - WAB
 38mm - WAB
 38mm - SHOWER AND SINK
 ALL DRAINS TO BE LAID IN ACCORDANCE WITH SANS 10400 PART 4.22

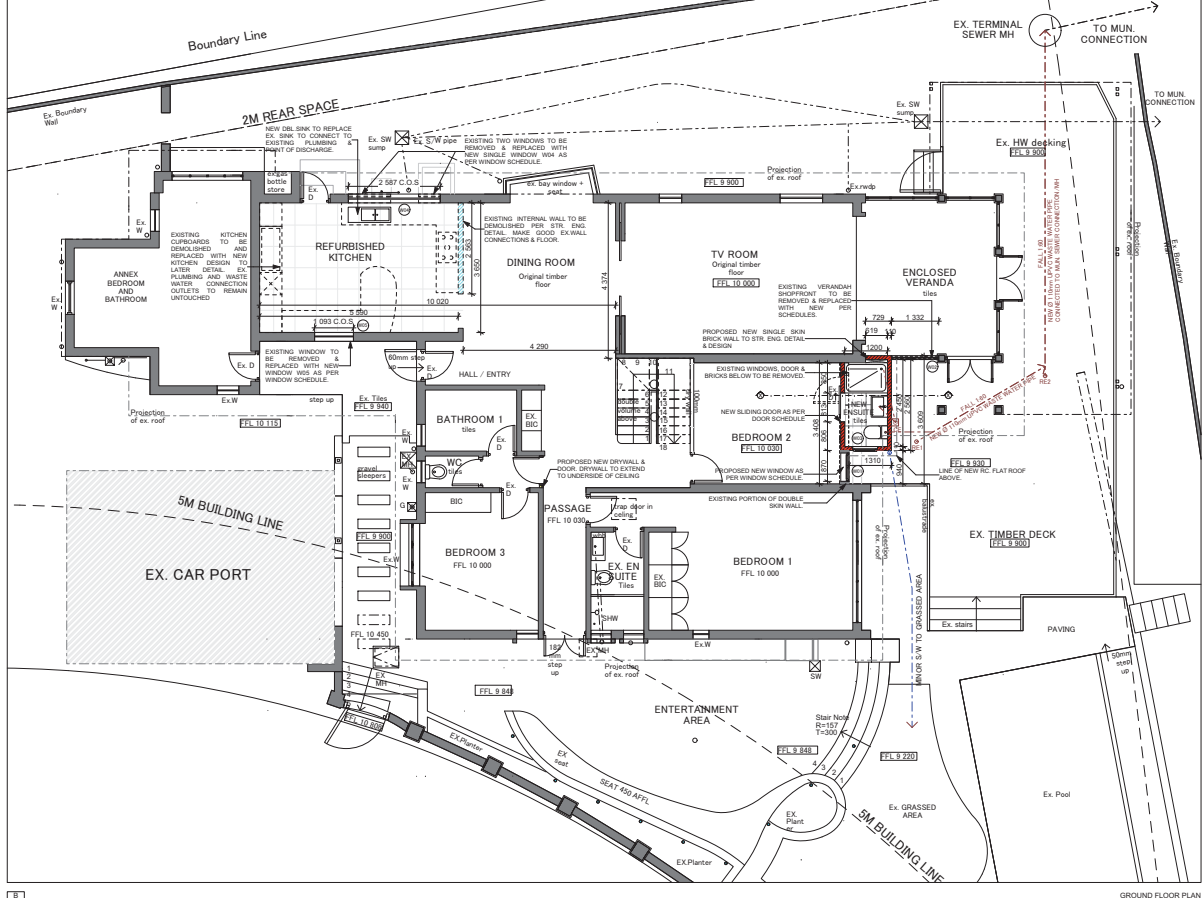
AREA SCHEDULE

SITE AREA	= 1167m ²
EXISTING COVERAGE	= 431.25m ²
EXISTING F.A.R	= 133.75m ²
PROPOSED NEW COVERAGE	= 13.35m ² (NEW EN-SUITE)
PROPOSED NEW F.A.R	= 13.35m ² (NEW EN-SUITE)
NEW TOTAL COVERAGE	= 434.6m ²
NEW TOTAL F.A.R	= 136.1m ²

NOTE: ALL GLAZING TO BE 6MM CLEAR TOUGHENED SAFETY GLAZING IN COMPLIANCE WITH SANS 10400 PART N 4.1 & 4.2

SITE PLAN
1:200

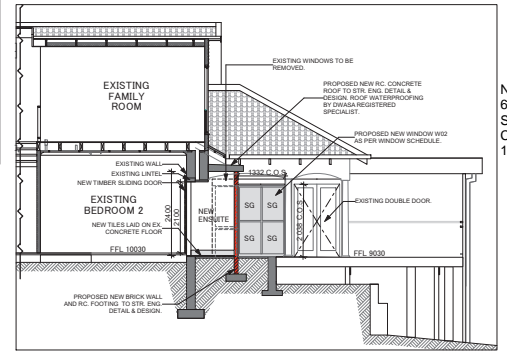
A



GROUND FLOOR PLAN
1:50

B

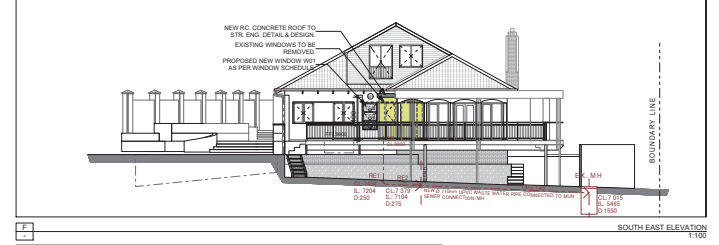
GENERAL NOTES
 FIGURED DIMENSIONS ONLY TO BE TAKEN - DRAWINGS ARE NOT TO BE SCALED.
 ALL REINFORCED CONCRETE WORK TO BE STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAIL AND SPECIFICATION.
 ANTI-CORROSION AND DAMPROOF COURSE TO COMPLY WITH RELEVANT BY-LAWS AND N.B.R. REQUIREMENTS.
 ALL WALLS TO BE DAMPROOFED WITH TWO COURSES OF BRICKPORE AT ALL CILL AND WALL PLATE LEVELS.
 ALL EXTERNAL FACEBRICK WALLS TO HAVE OUTER FACE OF INNER SKIN OF BRICKWORK BAGGED AND PAINTED WITH BITUMEN.
 ALL HOT WATER SERVICE PIPES SHALL BE CLAD WITH INSULATION WITH A MINIMUM R-VALUE OF 1.00.
 ALL LINTELS SHALL BE SUPPORTED ON EITHER SIDE OVER LAPPING THE STRUCTURE ON WHICH IT IS SUPPORTED BY A MINIMUM OF 150MM.
 ALL PLUMBING TO BE REGISTERED WITH A REGISTERED WATER SERVICES ENGINEER.
 ALL PLUMBING TO CONNECT TO MUNICIPAL LINE BY LAW REQUIREMENT.



NOTE: ALL GLAZING TO BE 6MM CLEAR TOUGHENED SAFETY GLAZING IN COMPLIANCE WITH SANS 10400 PART N 4.1 & 4.2

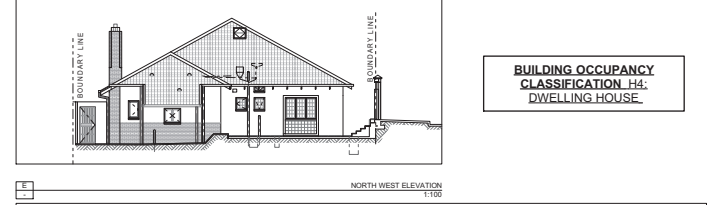
SECTION XX
1:50

C



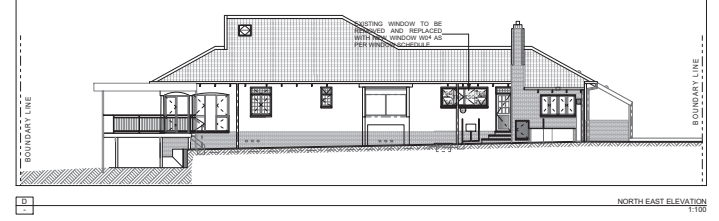
SOUTH EAST ELEVATION
1:100

D



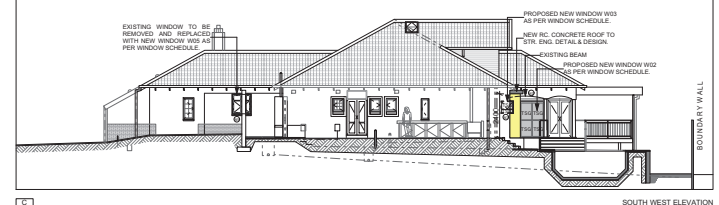
NORTH WEST ELEVATION
1:100

E



NORTH EAST ELEVATION
1:100

F



SOUTH WEST ELEVATION
1:100

G

BUILDING OCCUPANCY CLASSIFICATION H4: DWELLING HOUSE

NOTES:
 1. All dimensions, elevations and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 2. Partial Fixtures: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the same.
 3. Do not scale the drawing.
 4. For the purpose of condition, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.
 5. All Fixings, Fasteners, Materials, Furniture etc. are to be specified in the Bill of Materials.
 6. Any dimensions not shown must be confirmed by the Architect prior to construction.
 7. Engineer to confirm all structural design and loads prior to construction and submission for municipal approval.

Architect: IRISHAD DADA (P/AT 5765238)
 Name: S. MESTRE & NARANSANSKY
 URBAN PLATFORM ARCHITECTS + PLANNERS
 SUITE 7, SUTTON SQUARE
 38 MATTHEWS RD, WINDERMERE
 2008
 PROPOSED ADDITIONS AND ALTERATIONS TO 4 MORRIS HODSON AVE (ERF 5640 DURBAN)
 ARCHITECTS + PLANNERS
 DRAWN: URBAN PLATFORM ARCHITECTS + PLANNERS
 SCALE: AS SHOWN ON DRAWING
 FOR SUBMISSION
 Drawing Number: 546-SD-100
 Date: 2024-08-01
 Scale: A