

GENERAL NOTES

Zoning - GR 1
 All dimensions and levels to be determined on site prior to commencement of construction
 All work to comply with SANS 10400 regulations
 All construction by registered/responsible persons
 Any deviations to original approved plan will deem not to comply further without consent from the architect/ author of plans and owner is responsible
 Drawing to be read and not scaled
 Drawing to be read in conjunction with Engineers drawing
 All structural work(foundations, fill, surface beds, slabs, walls, cills, lintels, roofs, stairs, balustrades) to Engineers design and certification
 All new glazing to be in hardwood timber and in accordance with SANS 10400 Part N
 Each tenant is responsible for disposing their trash into the bins provided in the Bin Areas

PLUMBING NOTES

Any damaged fittings to be replaced
 All gully surrounds to be 150mm
 Sewer to be exposed before commencement of construction
 Manhole covers to be 75mm above ground level
 IE's to all bends and junctions
 Soil pipes to be 110mm dia. uPVC
 Waste pipes to be 50mm dia. uPVC
 Sewer under slab to be ribbed uPVC
 All plumbing by registered/responsible persons
 All pipes and sanitary fittings to be SABS approved

ENERGY EFFICIENCY NOTES

Water Reticulation :
 All internal copper to be stroke 2
 All external copper to be stroke 0
 All copper from geyser from pressure control valve to be 25mm
 Valve bracket to be min. 350mm above geyser
 Roof Insulation :
 100mm sisolation to be laid over battening of roof with a min. 100mm overlap
 (woolen cloth - chromadek/metal roofing)
 50% Eskom - 50% solar geyser

ADDITIONAL NOTES:

All separating walls to underside of rc slabs or roof sheeting
 Connect all new plumbing to ex. sewer connection
 New soakaway to comply with Durban Municipality design and standards

HEALTH NOTES:

2 X wash troughs to be provided in the drying yard for clothes washing purposes

FIRE NOTES

Occupancy - H3
 Safety distances - T4.2
 Fire stability of structural elements - T4.7
 Tenancy separating elements - T4.8
 Protection of openings - T4.10
 Emergency routes - T4.19
 External stairways and passages - T4.27
 Marking and signposting - T4.29
 Provision of emergency lighting - T4.30
 Fire detection and alarm systems - T4.31
 Water reticulation for fire fighting - T4.33
 Hose reels - T4.34
 Extinguishers - T4.37
 Smoke control - T4.42
 Water pressure: 300L/min @ 3bar pressure - SANS10400 - part W

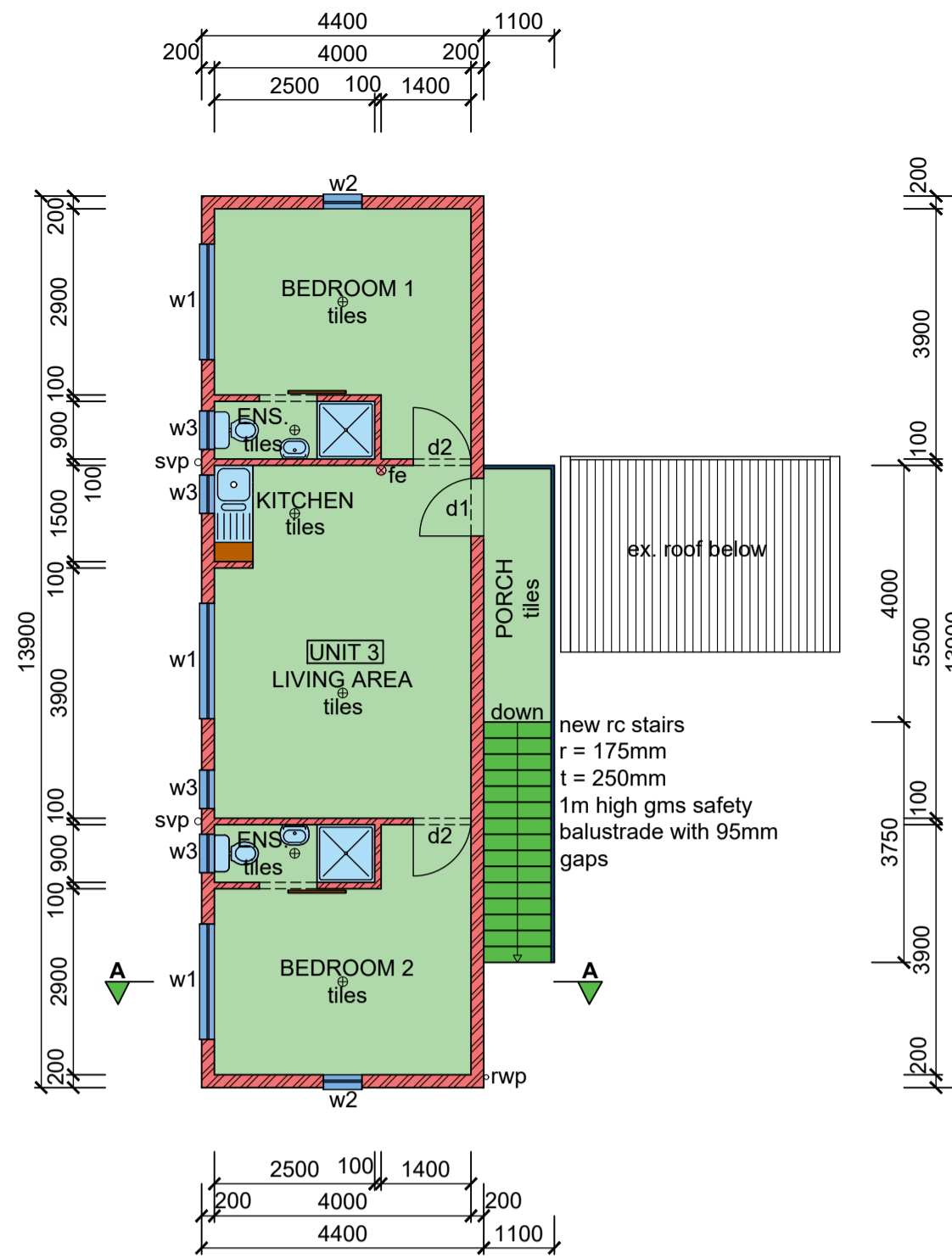
SCHEDULE OF AREAS

site area	990.00	m ²
coverage allowed (50%)	495.00	m ²
existing coverage	271.20	m ²
PROPOSED coverage	69.62	m ²
TOTAL	340.82	m ²
f.a.r allowed (1.2)	1 188.00	m ²
existing f.a.r	212.65	m ²
PROPOSED f.a.r	122.32	m ²
TOTAL	334.97	m ²
ADDITIONAL AREA	130.78	m ²
No. of Units	3	
No. of Parking bays	6	bays

WINDOW AND DOOR SCHEDULE

item	no.	size (mm)	glass	thickness	frame
w1	6	1800x1200	clear	5mm tsg	hw timber
w2	4	600x1200	clear	5mm tsg	hw timber
w3	8	600x 600	obscure	6.3mm tsg	hw timber
d1	2	900x2100	40mm hardwood		timber
d2	2	900x2100	40mm hollow core		timber

new timber windows to have thermal break framing
 all shower cubicles to have 6.3mm tsg



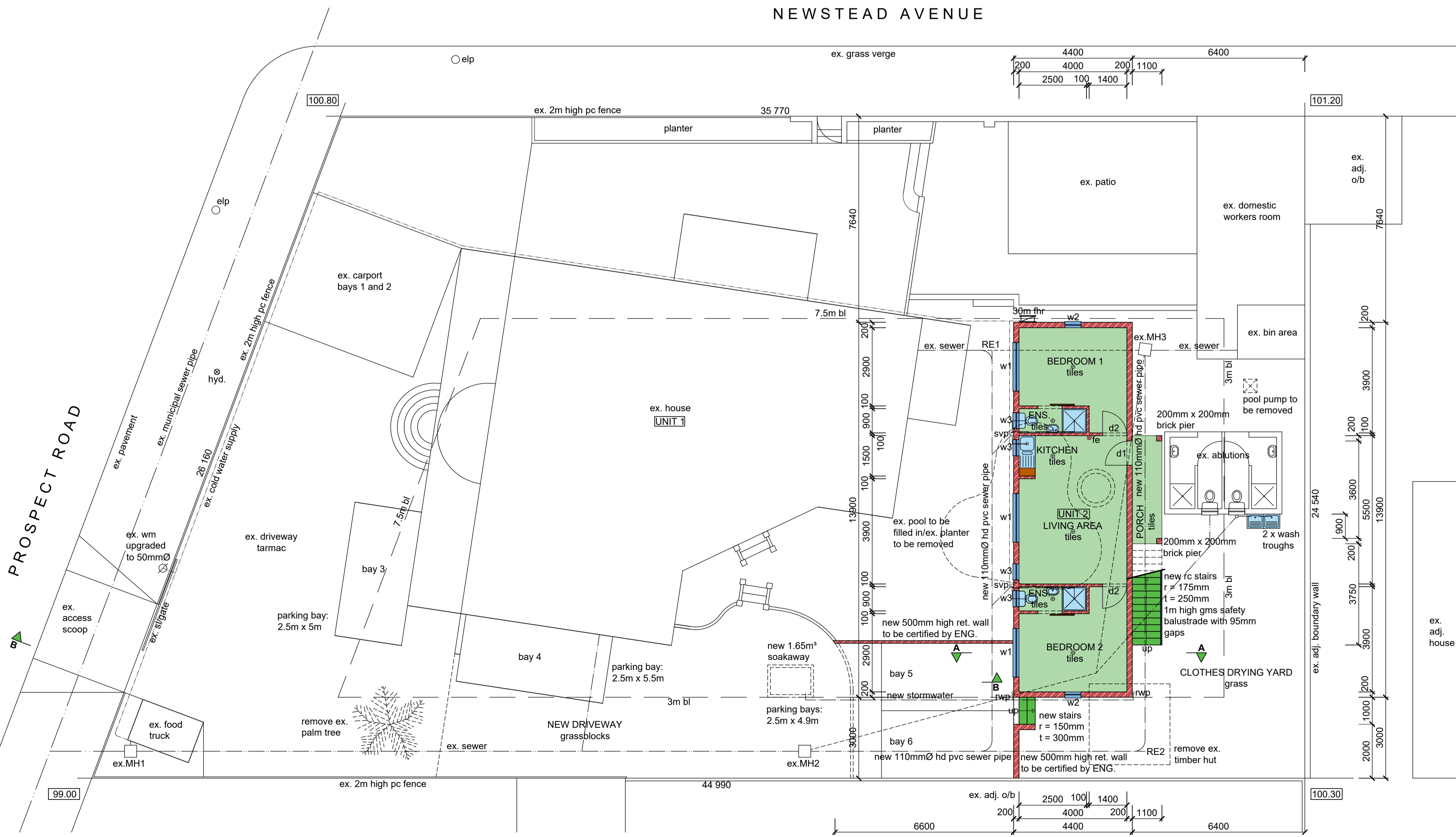
FIRST STOREY PLAN (1 : 100)

LEGEND

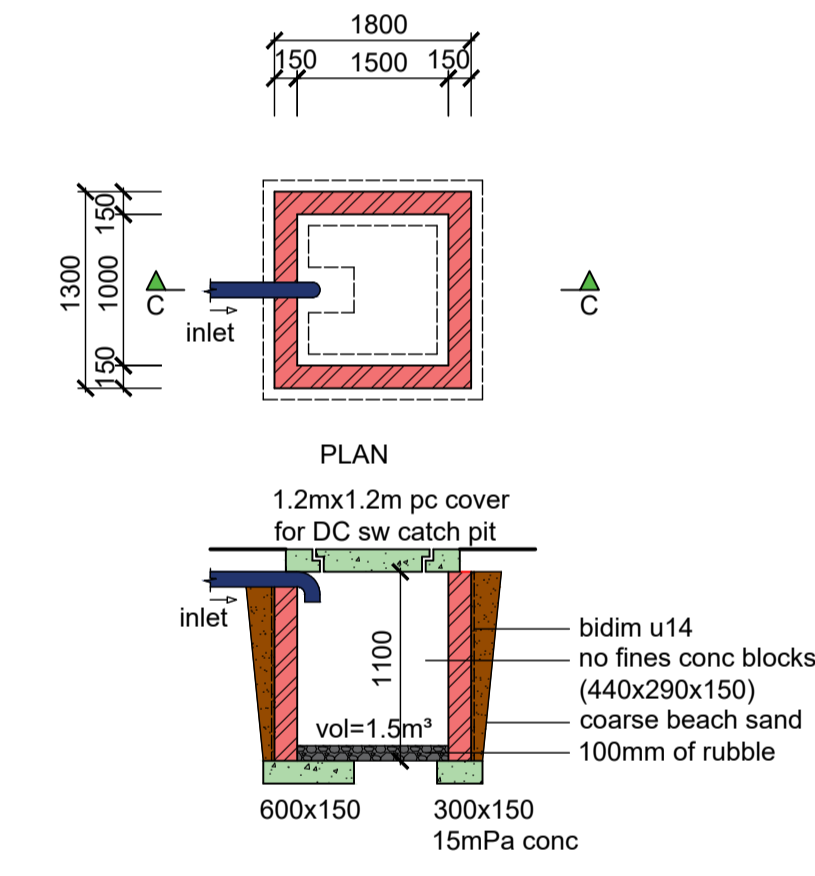
- sewer - - - - -
- stormwater - - - - -
- cold water - - - - -
- hot water - - - - -
- water meter - ⊗
- hose reel - ⊠ (30m)
- lighting - ⊕
- extinguisher - ⊗ (1kg dry powder)

NORTH

NEWSTEAD AVENUE



GROUND STOREY PLAN/ SITE PLAN (1 : 100)



1.65m³ SOAKAWAY DETAIL (1 : 50)

NOTE :
 3m from boundary or buildings
 61.16 / 40 = 1.52 m²
 1m² x 1.5m² x 1.1m² = 1.65m³

Total Area = 130.78 m²

Graham Braum 082 265 9540
 Client's Signature Contact Number
 Rate No. 1354 4019/ 000

**PROPOSED NEW UNITS 2 and 3 AT
 148 PROSPECT ROAD ON
 PORTION 11 OF ERF 9420 DURBAN
 FOR L. C. B. N. LIOMA**

GRAHAM BRAUM
 ARCHITECTURAL DESIGNER
 Pr. S. Arch. T
 Reg. No. ST0010

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SCALE : 1 : 100/ 1 : 50
 DESIGNED : G. P. BRAUM
 DRAWN : M. R. AZMUTH
 DATE : SEPTEMBER 2022

Drawing No. : 6701/ 22/ 1 of 2