### **GENERAL NOTES**

Zoning - GR 1 All dimensions and levels to be determined on site prior to commencement of construction All work to comply with SANS 10400 regulations All construction by registered/responsible persons Any deviations to original approved plan will deem not to comply further without consent from the architect/ author of plans and owner is responsible

Drawing to be read and not scaled Drawing to be read in conjunction with Engineers drawing All structural work(foundations, fill, surface beds, slabs, walls, cills, lintels, roofs, stairs, balustrades) to Engineers design and certification All new glazing to be in hardwood timber and in accordance with

SANS 10400 Part N Each tenant is responsible for disposing their trash into the bins

provided in the Bin Areas

## **PLUMBING NOTES**

Any damaged fittings to be replaced All gulley surrounds to be 150mm Sewer to be exposed before commencement of construction Manhole covers to be 75mm above ground level IE's to all bends and junctions Soil pipes to be 110mm dia. uPVC Waste pipes to be 50mm dia. uPVC Sewer under slab to be ribbed uPVC All plumbing by registered/responsible persons All pipes and sanitary fittings to be SABS approved

NORTH

scoop

99.00

ex.MH1

#### **ENERGY EFFICIENCY NOTES** SCHEDULE OF AREAS

All internal copper to be stroke 2 All external copper to be stroke 0 All copper from geyser from pressure control valve to be 25mm Valve bracket to be min. 350mm above geyser Roof Insulation: 100mm sisolation to be laid over battening of roof with a min. 100mm overlap (woolen cloth - chromadek/metal roofing) 50% Eskom - 50% solar geyser

ADDITIONAL NOTES: All separating walls to underside of rc slabs or roof sheeting Connect all new plumbing to ex. sewer connection New soakaway to comply with Durban Municipality design and standards

**HEALTH NOTES:** 2 X wash troughs to be provided in the drying yard for clothes washing purposes

#### **FIRE NOTES**

Water Reticulation:

Occupancy - H3 Safety distances - T4.2 Fire stability of structural elements - T4.7 Tenancy separating elements - T4.8 Protection of openings - T4.10 Emergency routes - T4.19 External stairways and passages - T4.27 Marking and signposting - T4.29 Provision of emergency lighting - T4.30 Fire detection and alarm systems - T4.31 Water reticulation for fire fighting - T4.33 Hose reels - T4.34 Extinguishers - T4.37 Smoke control - T4.42 Water pressure: 300L/min @ 3bar pressure - SANS10400 -

SCHEDULE OF		90. 00 m²		200	4400 1100 4000 200 2500 100 1400	
					<u>w2</u>	
coverage allowed (50%)		95. 00 m <sup>2</sup>	700		w2	$\rightarrow$
existing coverage		71. 20 m²	22			
PROPOSED coverage		69. 62 m²		П		
TOTAL	34	0. 82 m²	2900	w1	BEDROOM 1	
f.a.r allowed (1.2)	1 18	38. 00 m²	$\left  \widetilde{\alpha} \right $		tiles 0068	
existing f.a.r	2	12. 65 m²	Q			
PROPOSED f.a.r		22. 32 m²	900 100			
TOTAL		34. 97 m²	00	w3	ENS. 00 CT	
	_		0	svp 🕏		
ADDITIONAL AREA	1	30. 78 m²	1500	w3	KITCHEN d1 tiles	
No. of Units		3				
No. of Parking bays		6 bays	190		DRCH 11 tiles 1 tiles	
			13900	w1	UNIT 3 LIVING AREA tiles  down new rc stairs r = 175mm	13900
			Q	w3	t = 250mm 1m high gms safety	
MANIBOLA AND	DOOD COLLED!		<del>                                    </del>	svp 🕏	balustrade with 95mm	
WINDOW AND			100 900 100	w3	balustrade with 95mm gaps	
	glass thickness	frame	0		sales	
w1 6 1800x1200		hw timber	9			
w2 4 600x1200		hw timber			BEDROOM 2	
w3 8 600x 600	obscure 6.3mm tsg	hw timber	<b>A</b>	W/1	BEDROOM 2	
d1 2 900x2100	40mm hardwood	timber		_ w'	tiles	
d2 2 900x2100	40mm hollow core	timber				
2 2 333,2100			00		0Wp	
new timber windows to have thermal break framing			(5 <u>0</u> 0)		w2 rwp	4
all shower cubicles to have 6.3mm tsg					W∠	
				يل.	2500 100 1400	

BEDROOM 2

r = 150mm

4400

2500 100 1400 4000 200 1100 1

t = 300mm

new 110mmØ hd pvc sewer pipe new 500mm high ret. wall timber hut to be certified by ENG.

FIRST STOREY PLAN (1:100)

CLOTHES DRYING YARD

6400

100.30

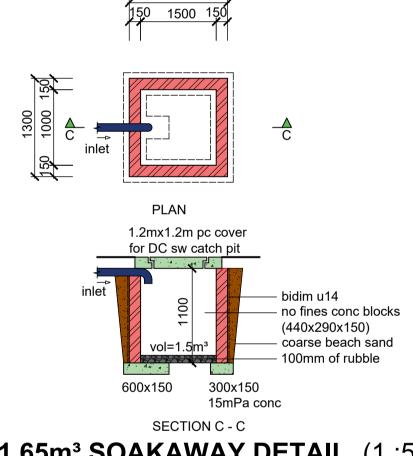
#### NEWSTEAD AVENUE 4400 6400 ex. grass verge ⊝elp 4000 200 1100 2500 100 1400 101.20 100.80 ex. 2m high pc fence planter planter ex. adj. ex. patio elp ex. domestic workers room ex. carport bays 1 and 2 ex. bin area ex. sewer BEDROOM 1 pool pump to ex. house UNIT 1 brick pier OSPECT ex. pool to be LIVING AREA filled in/ex. planter e⁄x. wm ex. driveway to be remo√ed upgraded ∕ to 50mmØ <sub>/</sub> bay 3<sub>/</sub> Im high gms safety parking bay: 2.5m x 5m access new 500mm high ret. wall to be certified by ENG. balustrade with 95mm

new 1.65m<sup>3</sup>

parking bays: 2.5m x 4.9m

ex.MH2

soakaway



**LEGEND** 

water meter -

\_\_\_\_\_

(30m)

extinguisher -  $\otimes$  (1kg dry powder)

**1.65m³ SOAKAWAY DETAIL** (1:50)

surround soakaway with bidim u14

3m from boundary or buildings 61.16 / 40 = 1.52 m<sup>2</sup>  $1m^2 \times 1.5m^2 \times 1.1m^2 = 1.65m^3$ 

adj. house

Total Area = 130. 78 m²

1354 4019/ 000 PROPOSED NEW UNITS 2 and 3 AT

082 265 9540 Contact Number

Tel: 031-2054142

Cell: 082 454 0441

148 PROSPECT ROAD ON PORTION 11 OF ERF 9420 DURBAN FOR L. C. B. N. LIOMA

# **GRAHAM BRAUM**

ARCHITECTURAL DESIGNER Pr. S. Arch. T Reg. No. ST0010

13 Helen Joseph Road Durban

4001 Email: gpbdesigners@gmail.com : 1:100/1:50

DESIGNED : G. P. BRAUM M. R. AZMUTH SEPTEMBER 2022 : 6701/22/1 of 2 Drawing No.

**GROUND STOREY PLAN/ SITE PLAN** (1:100)

bay 4

remove ex.

palm tree

ex. 2m high pc fence

parking bay:

2.5m x 5.5m

NEW DR/IVEWAY

grassblocks