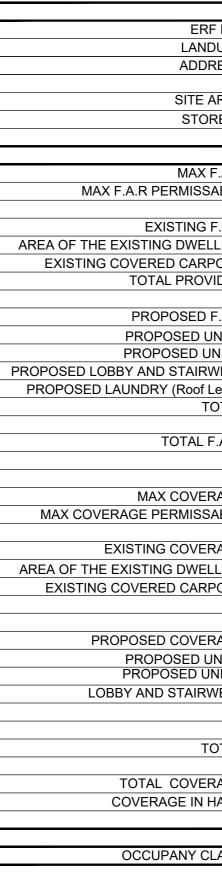
• SITE PLAN SCALE 1:200





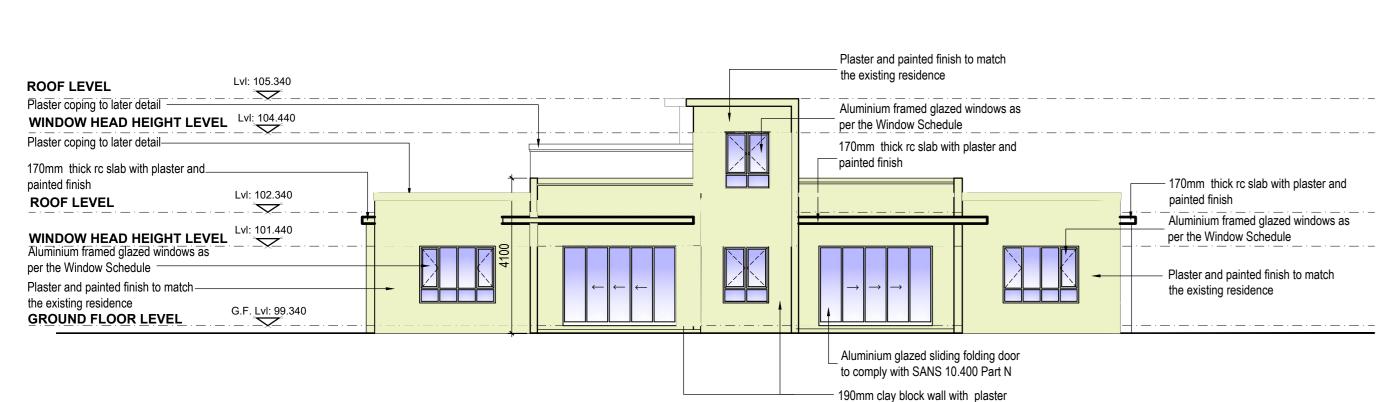
EAST ELEVATION

Solid hardwood timber door and frame with painted finish						
	Lvl: 105.340	•	 · · · ·		 ······································	 · · _
WINDOW HEAD HEIGHT LEVEL	Lvl: 104.440					 Plaster coping to later detail
Plaster coping to later detail		· _ · _ · _				 900mm high brick wall with plaster
170mm thick rc slab with plaster and painted finish						and painted finish
ROOF LEVEL	Lvl: 102.340	ļ	[•		
WINDOW HEAD HEIGHT LEVEL	Lvi: 101.440	· + · - · E	 			170mm thick rc slab with plaster and painted finish
Aluminium framed glazed windows as per the Window Schedule						
Plaster and painted finish to match ——— the existing residence GROUND FLOOR LEVEL	G.F. Lvl: 99.340				-	Plaster and painted finish to match the existing residence

WEST ELEVATION SCALE 1:100

900mm high wall with plaster and painted finish ROOF LEVEL	Lvl: 105.340					 170mm thick rc slab with plaster a painted finish
WINDOW HEAD HEIGHT LEVEL	Lvl: 104.440					
170mm thick rc slab with plaster and						 Plaster coping to later detail
painted finish		ł	_			- 170mm thick rc slab with plaster
	Lvi: 102.340		= 		↓₽ <i>≓</i>	painted finish
WINDOW HEAD HEIGHT LEVEL	Lvl: 101.440					
Aluminium framed glazed windows as per the Window Schedule	_ · _ ×_ · _ · _ · _ ·		· _ · _ · _ · _ · _ · _ · _ · _ ·			
Plaster and painted finish to match					-	Plaster and painted finish to mat
the existing residence GROUND FLOOR LEVEL	G.F. Lvl: 99.340			-		the existing residence

• SOUTH ELEVATION SCALE 1:100



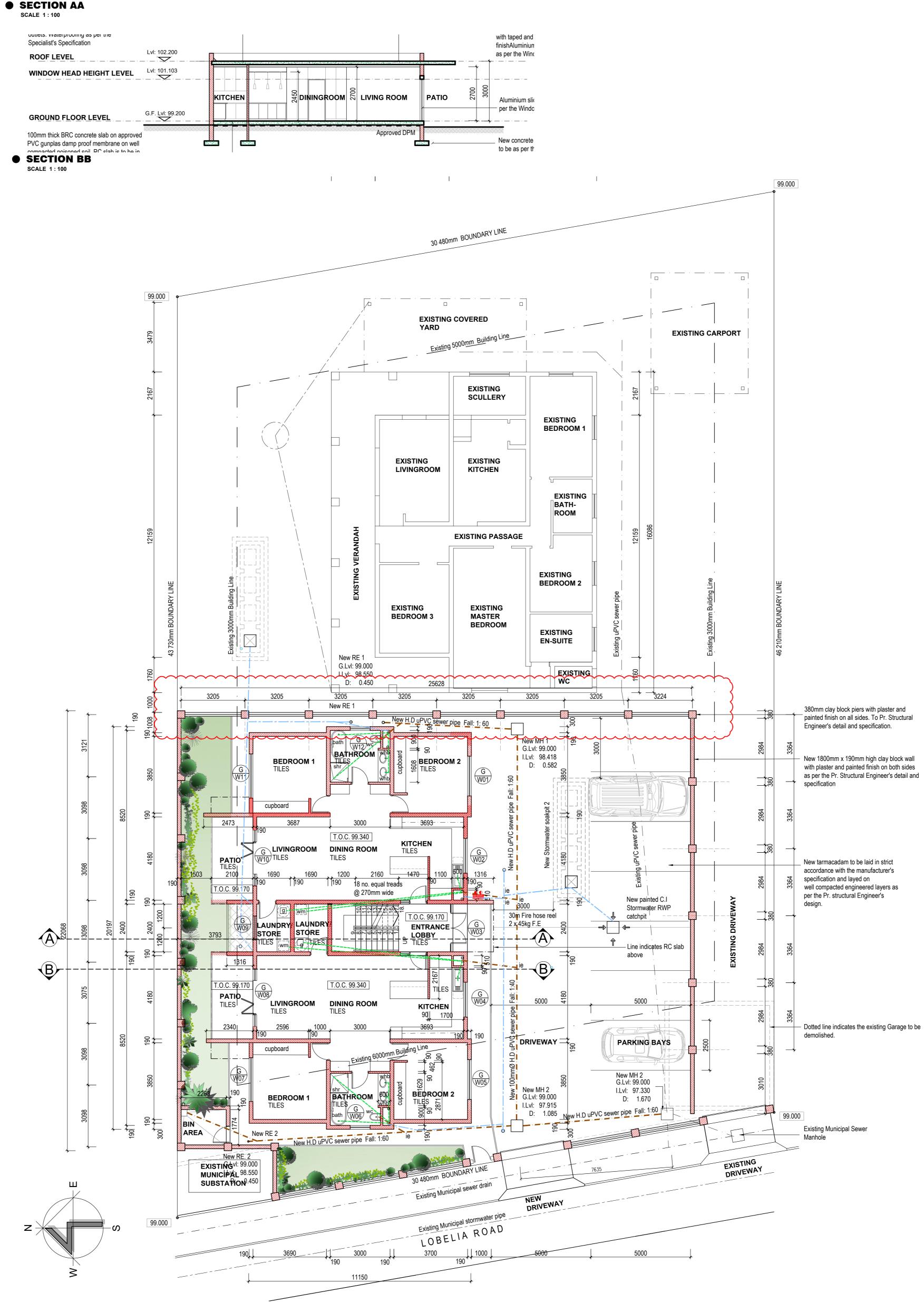
and painted finish

NORTH ELEVATION SCALE 1:100

ROOF LEVEL	Lvi: 105.340	170mm thick rc slab with plaster and painted finish Aluminium framed glazed shopfronts		New painted galvanised steel gate. Plaster coping to later detail
WINDOW HEAD HEIGHT LEVEL	Lvl: 104.440	as per the Window Schedule		Plaster coping to later detail
Plaster coping to later detail		Plaster and painted finish to match		New 190mm brick wall with plaster and
170mm thick rc slab with plaster and painted finish ROOF LEVEL	Lvl: 102.340	the existing residence		painted finish and plaster coping 170mm thick rc slab with plaster and painted finish
WINDOW HEAD HEIGHT LEVEL Aluminium framed glazed windows as per the Window Schedule Plaster and painted finish to match the existing residence GROUND FLOOR LEVEL	Lvi: 101.440			Aluminium framed glazed windows as per the Window Schedule Plaster and painted finish to match the existing residence

GROUND FLOOR PLAN SCALE 1:100

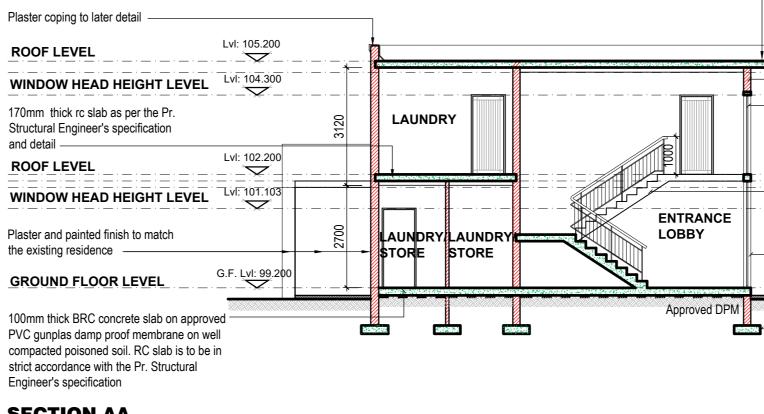
PROPOSED 2 NEW DWELLING UN	NITS FOR MR & MRS. C. WAGNER
ERF NO.	REM OF PORTION 10 OF ERF 1825, WENTWORTH
LANDUSE	SPECIAL RESIDENTIAL 400m ²
ADDRESS	14 LOBELIA ROAD, BLUFF
	4000 3
SITE AREA	1368m ²
STOREYS	2 STOREYS PERMISSABLE
	1 STOREY PROVIDED
MAX F.A.R	N/A
MAX F.A.R PERMISSABLE	N/A
EXISTING F.A.R AREA OF THE EXISTING DWELLING	284m ²
EXISTING COVERED CARPORT	30m ²
TOTAL PROVIDED	314m ²
TOTAL PROVIDED	51411
PROPOSED F.A.R	
PROPOSED UNIT 1	94.0m ²
PROPOSED UNIT 2	94.0m ²
PROPOSED LOBBY AND STAIRWELL	22.0m ²
PROPOSED LAUNDRY (Roof Level)	11.0m ²
TOTAL	221m ² (PROPOSED)
TOTAL F.A.R.	314 + 221m ² = 535m ² (39%)
MAX COVERAGE	50%
MAX COVERAGE PERMISSABLE	684m²
EXISTING COVERAGE	
AREA OF THE EXISTING DWELLING	284m ²
EXISTING COVERED CARPORT	30m ²
	314m ² (23%) PROVIDED
PROPOSED COVERAGE	
PROPOSED UNIT 1	111.0m ²
PROPOSED UNIT 2	111.0m ²
LOBBY AND STAIRWELL	22.0m ²
	244.0m ²
TOTAL	244m² (PROPOSED)
	$214 + 244m^2 - 559m^2(410')$
	$314 + 244m^2 = 558m^2 (41\%)$
COVERAGE IN HAND	684m²- 558m² = 126m² (9%)
<u> </u>	
OCCUPANY CLASS	H4: DOMESTIC DWELLING



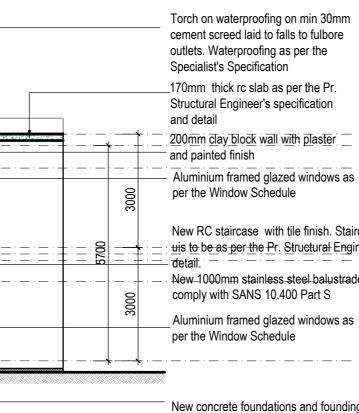
_____ 170mm thick rc slab with plaster and painted finish Aluminium framed glazed windows as per the Window Schedule Plaster and painted finish to match the existing residence __.__.

per the Window Schedule Plaster and painted finish to match

ROOF LEVEL WINDOW HEAD HEIGHT LEVEL Plaster and painted finish to match the existing residence — GROUND FLOOR LEVEL 100mm thick BRC concrete slab on approved -PVC gunplas damp proof membrane on well



and detail —



Torch on waterproofing on min 30mm cement screed laid to falls to fulbore outlets. Waterproofing as per the Specialist's Specification _170mm thick rc slab as per the Pr. Structural Engineer's specification and detail 200mm clay block wall with plaster and painted finish

New RC staircase with tile finish. Staircase - uis to be as per the Pr. Structural Engineer's — detail. • — • — • — • — • — • — • — • New_1000mm stainless steel balustrade to comply with SANS 10.400 Part S Aluminium framed glazed windows as

New concrete foundations and founding to be as per the Pr. Structural Engineer's detail

ALL REQUIREMENTS TO COMPLY WITH PART A SANS 10400 PART B STRUCTURAL DESIGN ALL STRUCTURAL DESIGN AS PER RATIONAL DESIGN BY COMPETENT PERSON PART C DIMENSIONS ALL DIMENSIONS OF ANY ROOM OR SPACE TO COMPLY WITH THE REQUIREMENTS OF PART C SANS 10400 PART D PUBLIC SAFETY • ALL BALUSTRADING TO COMPLY WITH PART D4.2 & D1 (ANNEX A) ALL BALUSTRADING TO BE MINIMUM 1000MM HIGH AND TO COMPLY WITH PART D 4.2. PART F SITE OPERATIONS ALL SITE OPERATIONS TO COMPLY WITH PART F SANS 10400 PART K WALLS • ALL WATERPROOFING TO WALLS TO COMPLY WITH K4.5 & C1 (ANNEX C) OF PART K ALL STRUCTURAL WALLS AS PER RATIONAL DESIGN BY COMPETENT PERSON PART N GLAZING • ALL GLAZING TO COMPLY WITH PART N4, PART O LIGHTING & VENTILATION ALL LIGHTING AND VENTILATION TO COMPLY WITH PART 04.1 • ALL AREAS TO BE NATURALLY AND ARTIFICIALLY LIT TO COMPLY WITH **PART 04.2 OF** SANS 10400 ALL NATURAL AND MECHANICAL VENTILATION TO BE PROVIDED IN ACCORDANCE WITH • PART 04.3 OF SANS 10400 LIGHTING AND VENTILATION AS PER PART O PART P DRAINAGE • ALL SANITARY FIXTURES TO BE IN ACCORDANCE WITH **P4.3**, P4.4 & P4.5 • ALL SANITARY FIXTURES TO BE PROVIDED IN ACCORDANCE WITH **P4.11** ALL DRAINAGE To COMPLY WITH PART P PART R STORMWATER DISPOSAL ALL STORMWATER AS PER PART R PART T FIRE PROTECTION ALL FIRE PROTECTION AS PER SANS 10.400 PART T PART W FIRE INSTALLATION ALL FIRE INSTALLATION AS PER SANS 10 400 PART T ALL MATERIALS TO COMPLY WITH TT5. ALL STRUCTURAL ELEMENTS & COMPONENTS TO COMPLY WITH TT7. ALL OPENINGS TO BE PROTECTED IN COMPLIANCE WITH TT10. ALL CEILINGS TO COMPLY WITH TT13. ALL FLOOR COVERINGS TO COMPLY WITH TT14. ALL WALL FINISHES TO COMPLY WITH TT15. PART XA ENERGY USAGE IN BUILDINGS BUILDING DESIGN TO BE AS PER RATIONAL DESIGN. SEE PART XA DOCUMENTATION GENERAL NOTES AND SPECIFICATIONS * All work to comply with Sans 10.400 and the Local Bylaws. * Written dimensions to be used. No drawing is to be scaled off. * The nature of this project being Alterations/Additions to the Existing building, the Contractor is to check all given dimensions on site and discrepancies reported to the Author prior to any work is being put in hand. * All Structural work is to be in strict accordance with the Pr. Structural Engineer's Design and Specification. * Contractor/Owner is to call the Local Authority to call the Local Authorities to carryout the necessary inspections when required. * Glazing is to be carried out in accordance with Part N of Sans 10.400 * Waterproofing is to be carried out by a Specialist. * Electrical work is to be carried out by a registered Electrician and a compliance certificate is to be issued to the Owner when the Electrical installation has been completed. * Brickforce is to be laid every 4 courses and 4 courses above all openings. * All underground ducts, pipes & vents to be adequately sealed against methane seepage. GENERAL NOTES : * ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. * ALL SLABS, BEAMS AND COLUMNS, TO PR. STRUCTURAL ENGINEERS DETAILS. * ALL GLAZING TO COMPLY WITH PART N OF SANS 10400 * ALL BUILDING WORK TO COMPLY WITH SANS 100400 AND LOCAL AUTHORITY BY-LAWS. *GLAZING IS TO COMPLY WITH SANS 10400 N 4.2 FIRE NOTES : OCCUPANCY CLASSIFICATION H3 AS PER A20 SANS 10400 * ALL BUILDING MATERIALS TO COMPLY WITH SANS 10400 T4.56 * ALL CEILINGS TO COMPLY WITH OF SANS 10400 T4.13 * ALL FLOOR COVERINGS TO COMPLY WITH SANS 10400 T4.14 * ALL WALL FINISHES TO COMPLY WITH SANS 10400 T.15 LIGHTING AND VENTILATION NOTES : * NATURAL LIGHTING TO COMPLY WITH SANS 10400 -04.2 * VENTILATION TO COMPLY WITH SANS 1 0400 - 04.3

DRAINAGE NOTES :

LENGTH *INSPECTION EYES TO BE PROVIDED AT ALL BENDS AND JUNCTIONS OF ALL SOIL AND WASTE PIPES AS PER SANS 10400 - P 19.1.e. 1 and 2 * DOUBLE SEAL TYPE MANHOLES AND AIR TIGHT SCREWED DOWN RODDING EYES INTERNALLY TO COMPLY WITH SANS 10400 - P 19 * ALL WASTE PIPES TO BE 50Ø PVC. * ALL SOIL PIPES TO BE 110Ø PVC. * ALL SOIL PIPES BELOW GROUND TO BE 110Ø CLASS 34 UPVC OR CORFLO UNDER BUILDINGS AND TO BE AS PER SANS P4.19.4 . and P4, 22

SANS 10400 PART P4.18.6b2

* SANITARY FIXTURES TO BE AS REQUIRED BY THE MACHINERY OCCUPATIONAL SAFETY ACT (ACT 6 OF 1983). ELECTRICAL ALL ELECTRICAL INSTALLATIONS SHALL BE CARRIED OUT STRICTLY IN ACCORDANCE WITH THE LATEST EDITION OF: SABS 0142 : CODE OF PRACTICE FOR THE WIRING OF PREMISES ; SABS 0114 : CODE OF PRACTICE FOR INTERIOR ARTIFICIAL LIGHTING PART 1 & O OF SANS 10400: SABS 0400 : EMERGENCY LIGHTING ; THE MUNICIPALITY BY-LAWS & SPECIAL REQUIREMENTS OF THE LOCAL SUPPLY AUTHORITY ; TELKOM : REGULATIONS OF THE DEPARTMENT OF POSTS AND TELECOMMUNICATIONS ; THE OCCUPATIONAL HEALTH & SAFETY

S.A NATIONAL STANDARD FOR THE APPLICATION OF NATIONAL BUILDING REGULATIONS SANS 10400

NOTES IN RESPECT OF

PART A GENERAL PRINCIPLES AND REQUIREMENTS

DISTRIBUTED THROUGHOUT ALL HABITABLE AREAS AND THE VELOCITY MUST NOT EXCEED 0,5m/s

*ALL DRAINAGE RUNS TO BE ACCESSIBLE ALONG THEIR ENTIRE

* AILL DRAIN VENTS TO VENT TO ATMOSPHERE AND COMPLY WITH * ALL TRAPPED FLOOR DRAINS AND GREASE TRAPS TO COMPLY WITH SANS 10400-P4.21.4 AND P4.21.5

ACT NO. 85 OF 1993 ; REGULATIONS OF THE LOCAL GAS BOARD.

All work is to be done in accordance with the SANS 10400 National building Regulations. All materials and workmanship are to comply with the relevant SAN 10400 codes and or the specified international codes where applicable in the Architectural specifications. Where relevant South African National Standards, British Standards, BS codes of practice, or Agrément Certificates applicable to the design exists, the recommendations and requirements of such documents to be considered a minimum standard for the works. The contractor shall in all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No Ш 85 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941. The contractor shall set up document and maintain a set. The contractor shall set up, document and maintain a quality assurance and quality control system, in accordance with SANS 9001/ISO 9001, able to be checked to the satisfaction of the Architect, that all materials and workmanship, whatever their sources, meet the requirements of the Specification. Should the Contractor or meet the requirements of the Specification. Should the Contractor or any of his sub-contractors be certified to the SANS 9000 family of standards then monitor these works accordingly. This drawing must be read in conjunction with all the relevant

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Ζ	nev .	DATE	DRAWN	DESCRIPTION
	-	15-11-2022	LMG	FOR INFORMATION ONLY
ISI0	A	20-06-2022	LMG	NEW BOUNDARY WALL ADJACENT TO THE House is amended to indicate Palisade fencing between posts and Not solid brick work
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2	_			

	SEE POWER OF ATTORNEY SIGNATURE OF CLIENT /AGENT	DATE					
	SIGNATURE OF AUTHOR	DATE					
	LEANNE GREYPR. SNR. ARCH. TECHNAMEREG. CATEGORY	ST 2226 REG. NO.					
	LEANNE GREY						
rol	RCHITECTURAL DRAFTING	GHAM AVENUE, PARKHILL : (+27) 072 3071 893 il: leanne@thegreys.co.za					
CT	PROPOSED 2 NEW DW UNITS FOR	/ELLING					
PROJECT	MR.& MRS C WAGNER 14 LOBELIA ROAD, BLUFF REM OF PORTION 10 OF ERF 1825 OF WENTWORTH						
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SITE PLAN, FLOOR PLAN, **ELEVATIONS AND SECTIONS** SCALE: 1:100, 1:200

PROJECT NUMBER REVISION 12-100 Α DRAWING STATU TENDER CONSTRUCTION SUBMISSION CHECKED BY:

SIGNED

DATE:

08-08-2022