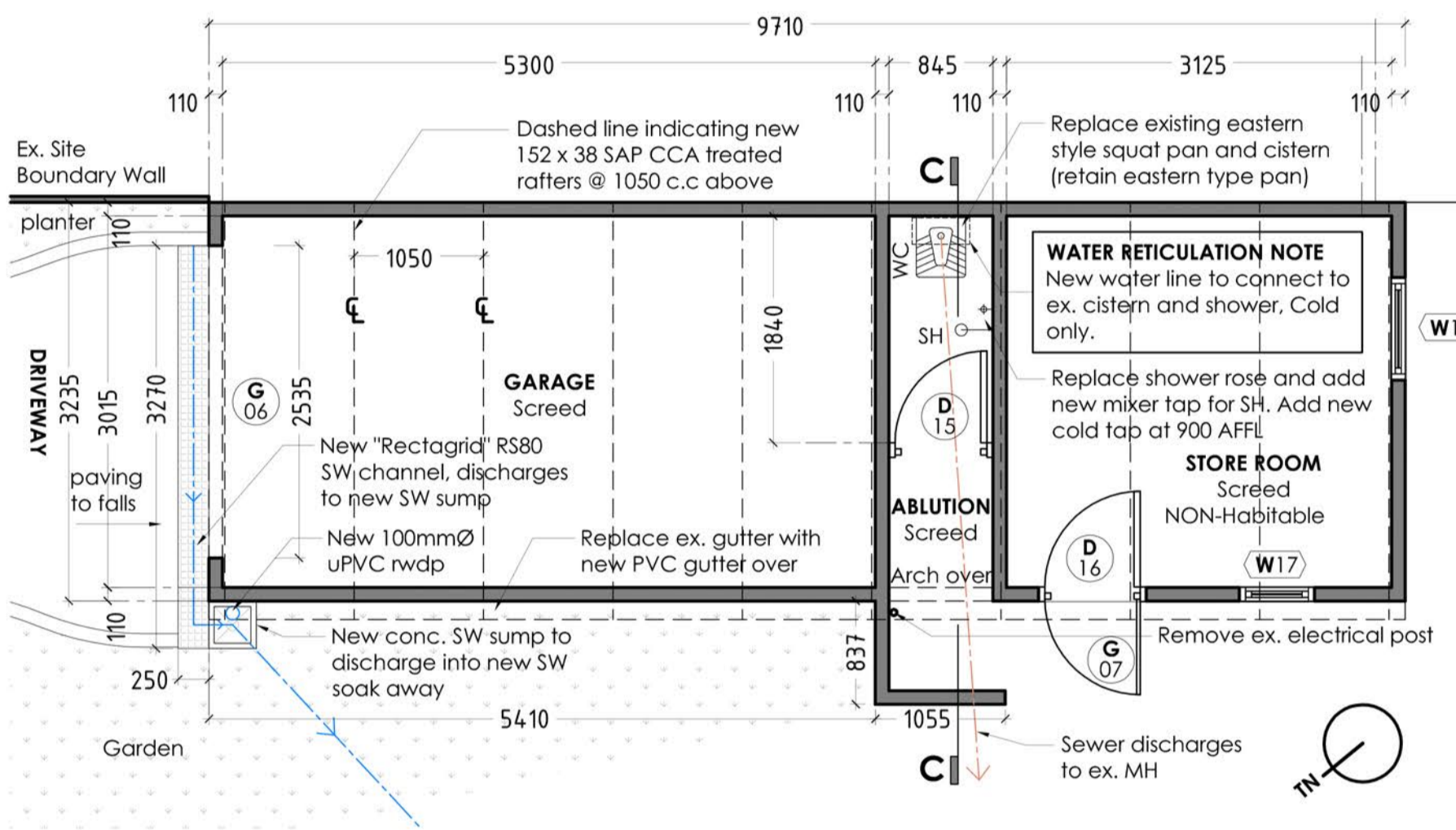


SECTION C-C
1:50 @ A1



GROUND FLOOR PLAN OUTBUILDING
1:50 @ A1

WINDOW SCHEDULE – Main House & Outbuilding

1:50 @ A1

Finishes Note (See finishes schedule)

All interior faces of timber windows: Varnish Spec 1
All exterior faces of timber windows: Varnish Spec 2

Construction Note

All timber / joinery sections to match existing and original windows – to be identified on site.

REFERENCE: Kitchen System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Laundry System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Dining Room System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Bathroom System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Bedroom 2 & 3 System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Master Bedroom System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Master Bedroom System: Purpose made HW bay window. Ironmongery: By specialist
EX/NEW: Ex QTY: 1 (W01)	EX/NEW: New QTY: 1 (W02)	EX/NEW: Ex QTY: 1 (W03)	EX/NEW: Ex QTY: 1 (W04)	EX/NEW: Ex QTY: 2 (W05) (W06)	EX/NEW: Ex QTY: 1 (W07)	EX/NEW: Ex QTY: 1 (W08)
Part XA Orientation: P: 0.5 G: 0.778 H: 1.79	Part XA Orientation: P: 0.5 G: 0.948 H: 1.963	Part XA Orientation: P: 3.82 G: -0.58 H: 0.97	Part XA Orientation: P: 3.82 G: -0.35 H: 0.17	Part XA Orientation: P: 0.5 G: 0.658 H: 2.288	Part XA Orientation: P: 0.5 G: 0.658 H: 2.288	Part XA Orientation: P: 0.566 G: 0.05 H: 1.715
Note: Replace window (identical) with borer resistant timber, all joinery to match existing.	Note: New borer resistant timber window, all joinery and pane sizes to match existing.	Note: Replace window (identical) with borer resistant timber, all joinery to match existing. No architraves on W03.	Note: Replace window (identical) with borer resistant timber, all joinery to match existing. Template for W14	Note: Replace window (identical) with borer resistant timber, all joinery to match existing.	Note: New borer resistant timber window, all joinery to match existing. Template for W12.	Note: New borer resistant timber bay window, replace with new, joinery as per original.
Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10
REFERENCE: Entrance Passage System: Purpose made HW stained glass window. Ironmongery: N/A	REFERENCE: Living Room System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Study System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Front Veranda System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: En Suite System: Purpose made HW casement window. Ironmongery: By specialist	REFERENCE: Outbuilding Store Room System: Glass blocks	REFERENCE: Outbuilding Store Room System: Purpose made HW casement window. Ironmongery: By specialist
EX/NEW: Ex QTY: 1 (W09) (W10)	EX/NEW: New QTY: 1 (W11)	EX/NEW: New QTY: 1 (W12)	EX/NEW: New QTY: 1 (W13)	EX/NEW: New QTY: 1 (W14)	OMITTED (W15)	EX/NEW: Ex QTY: 1 (W16) (W17)
Part XA Orientation: P: 3.046 G: 0.528 H: 2.098	Part XA Orientation: P: 0.5 G: 0.658 H: 2.248	Part XA Orientation: P: 0.5 G: 0.658 H: 2.248	Part XA Orientation: P: 3.046 G: 0.658 H: 2.248	Part XA Orientation: P: 3.82 G: -0.35 H: 0.17		Part XA Orientation: P: 0.01 G: 0.7 H: 1.12
Note: Remove ex. paint and return	Note: New window from borer resistant timber, all joinery to match existing. To match W07.	Note: New borer resistant timber window, all joinery to match existing. To match W07.	Note: New window from borer resistant timber, all joinery to match existing. To match W11	Note: Replace window (identical) with borer resistant timber, all joinery to match existing. To match W04.		Note: Make good grout / plaster around window
Glazing: Original stained glass window.	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10		Glazing: See SANS 10400 XA report attached DWG NO. 1912_41_10

AMAFI SUBMISSION DRAWINGS

Neighbour's Address: _____
Date: _____
Name: _____
Signed: _____

Neighbour's Address: _____
Date: _____
Name: _____
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Neighbour's Address: _____
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Neighbour's Address: _____
Date: _____
Name: _____
Signed: _____

Neighbour's Address: _____
Date: _____
Name: _____
Signed: _____

HOUSE SINGH
15 Bedford Gardens

PLAN, ELEVATIONS, SECTION - OUTBUILDING WINDOW SCHEDULES - MAIN HOUSE & OUTBUILDING

Client: Shanan Singh
Address: 15 Bedford Gardens, 4001, Durban
Cadastral: Lot 5551

Project: ADDITIONS AND ALTERATIONS TO EXISTING HERITAGE HOUSE

Client's Signature

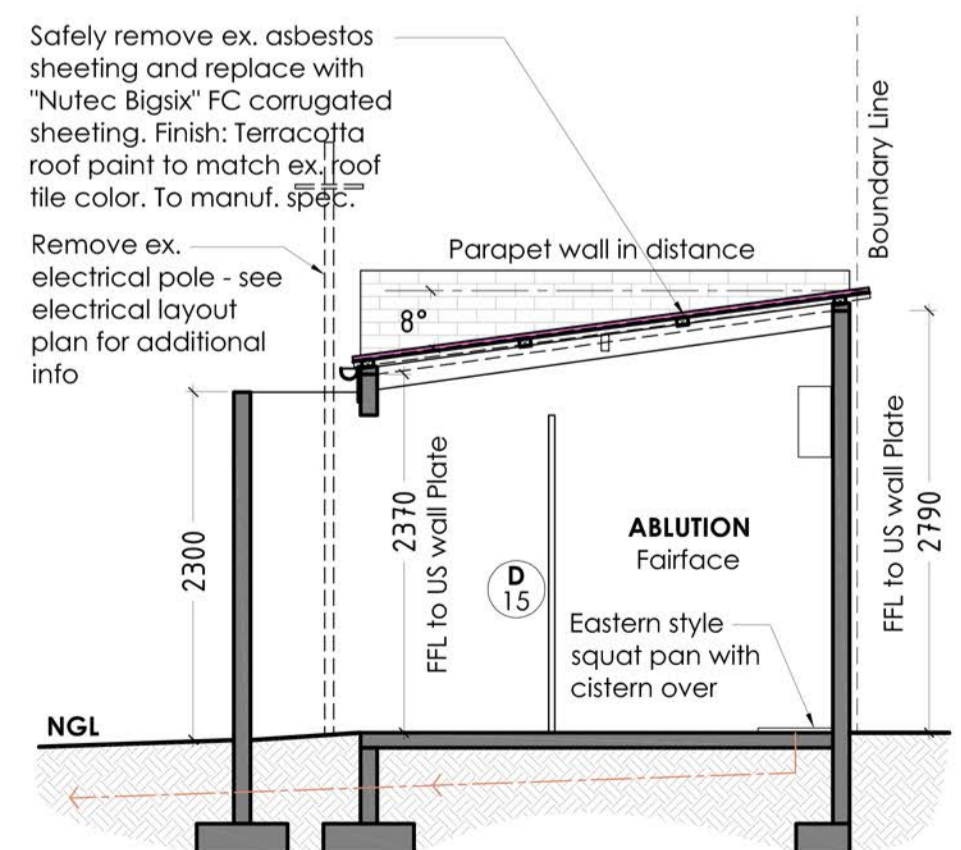
Architect's Signature

Lead architects

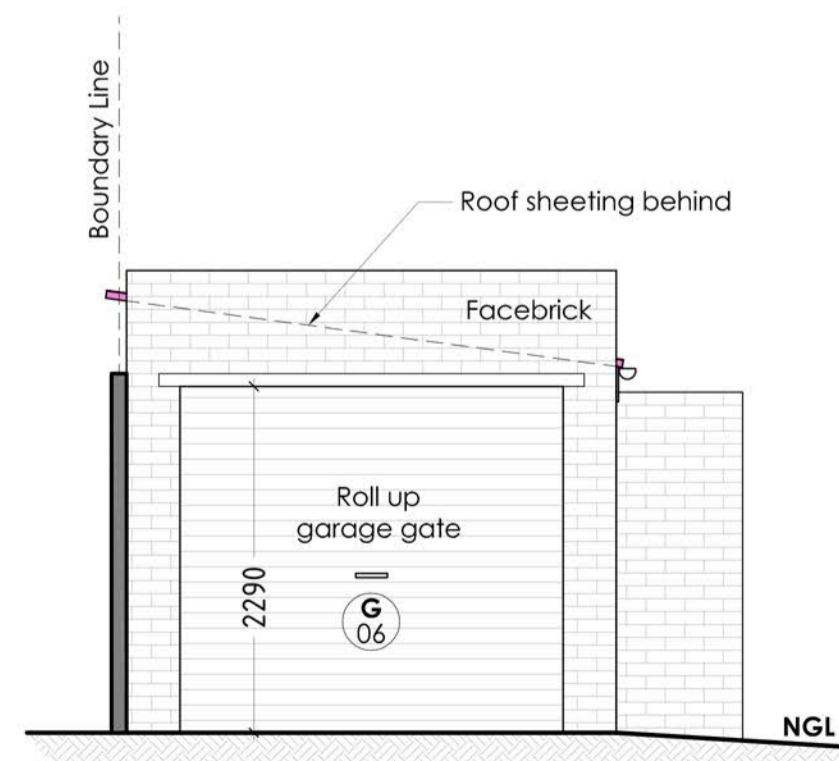
REGISTRATION No. 5027
54 EDMONDS ROAD, GLENWOOD, DURBAN, 4001.
TEL: (031) 205 1410
e-mail : amanda@leadarchitects.co.za
www.leadarchitects.co.za

Project Number: 1912
Date: 09 December 2019
Drawn: DV Dobrev
Checked: AK Lead
Scale: As shown @ A1

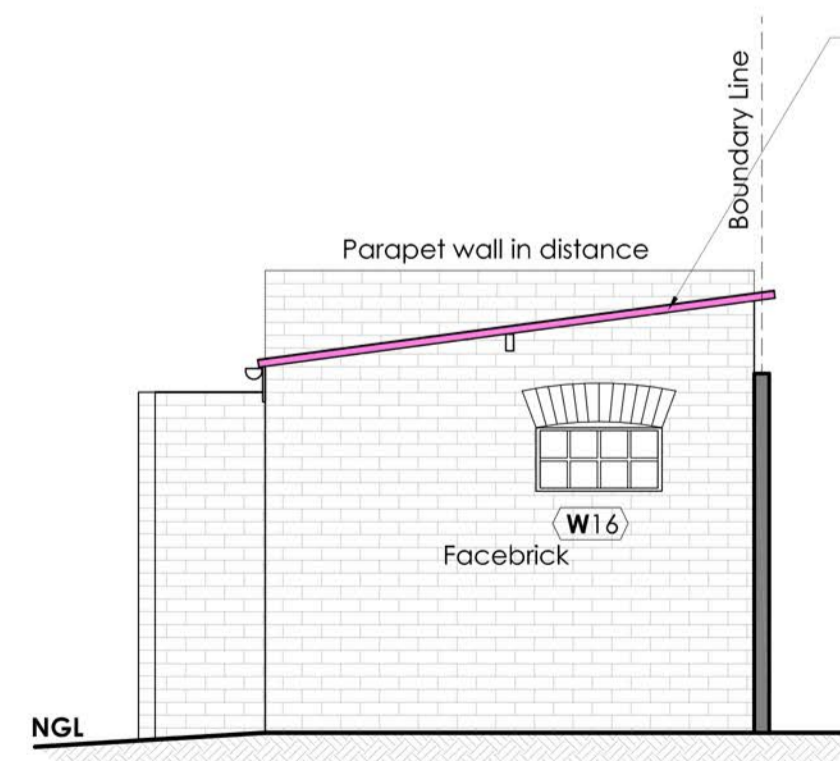
DWG No: **1912_41_03** REV



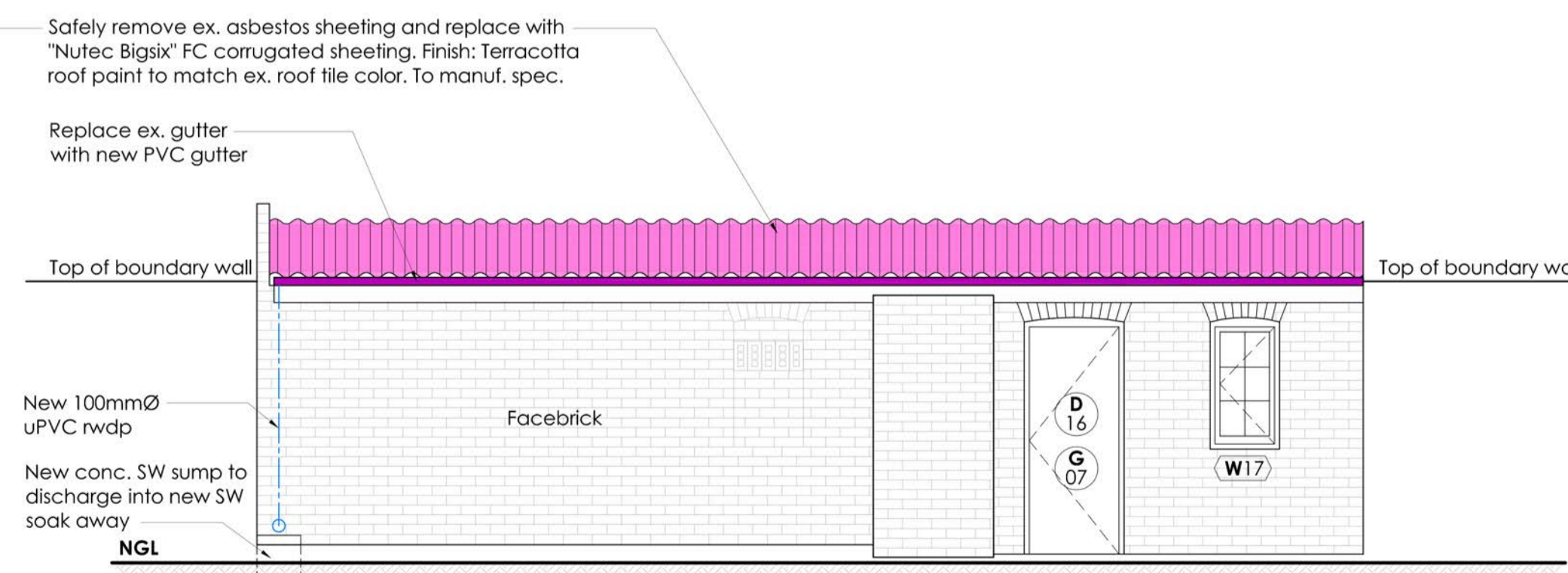
SECTION C-C
1:50 @ A1



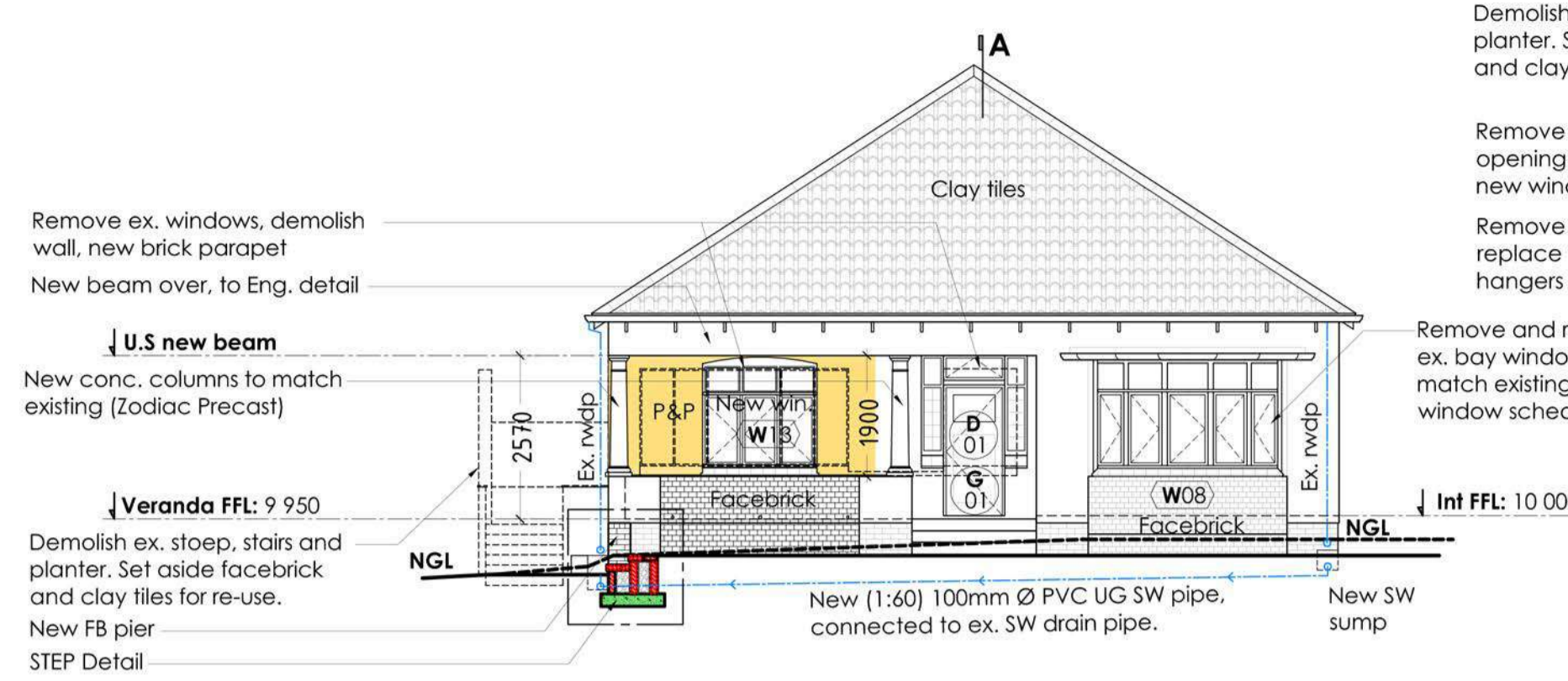
NORTH-EAST ELEVATION
1:50 @ A1



SOUTH-WEST ELEVATION
1:50 @ A1

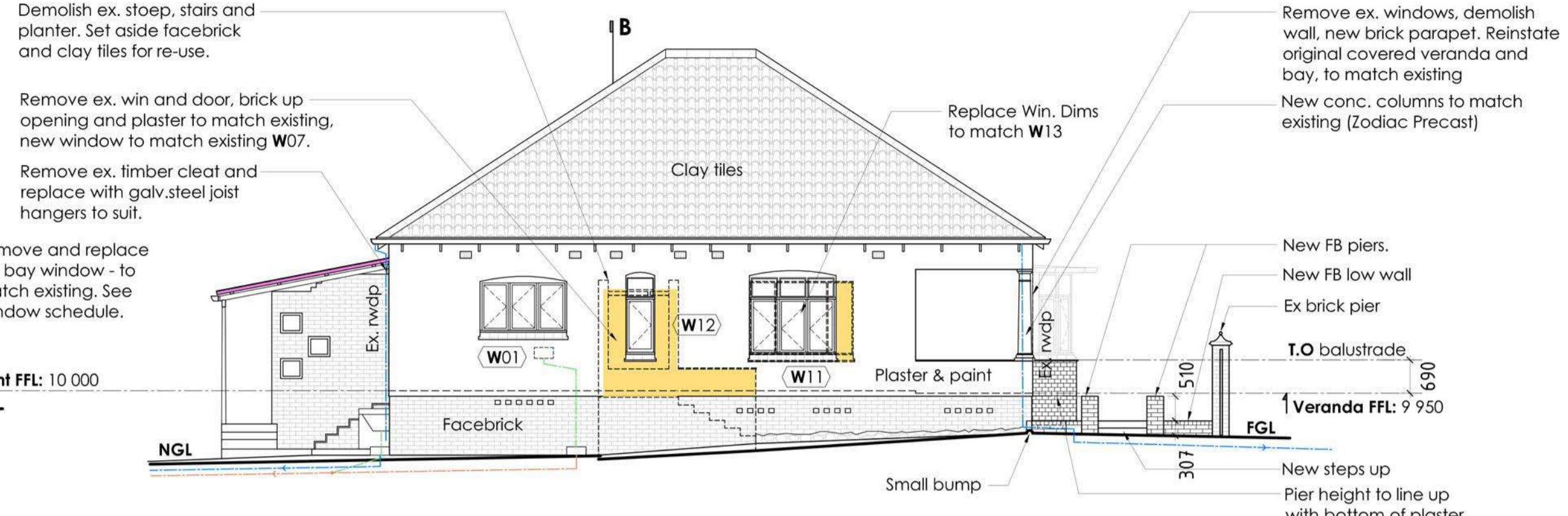


NORTH-WEST ELEVATION
1:50 @ A1



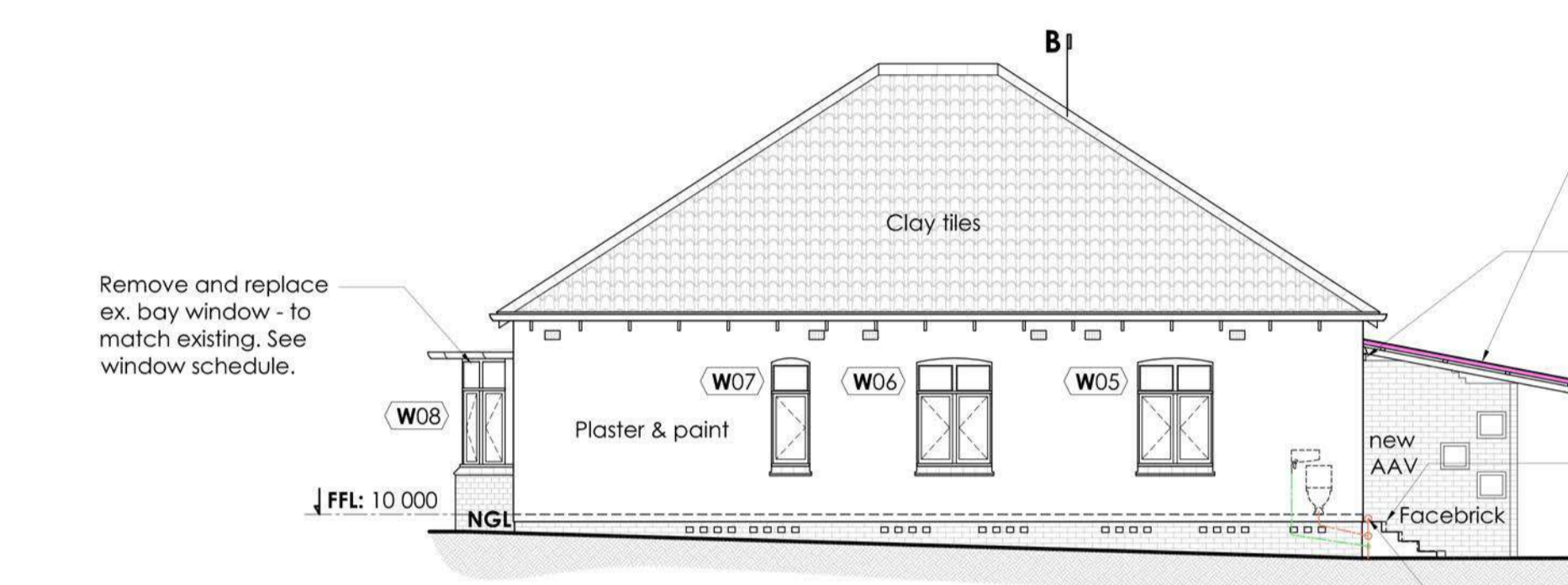
NORTH-EAST ELEVATION

1:100 @ A1



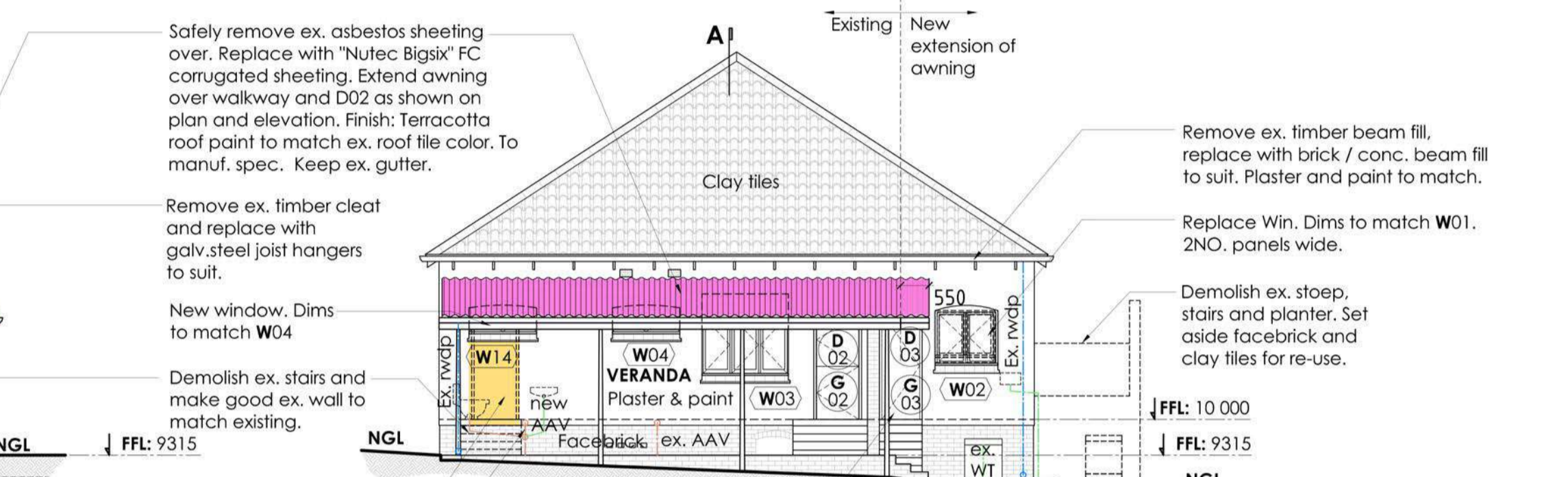
SOUTH-EAST ELEVATION

1:100 @ A1



NORTH-WEST ELEVATION

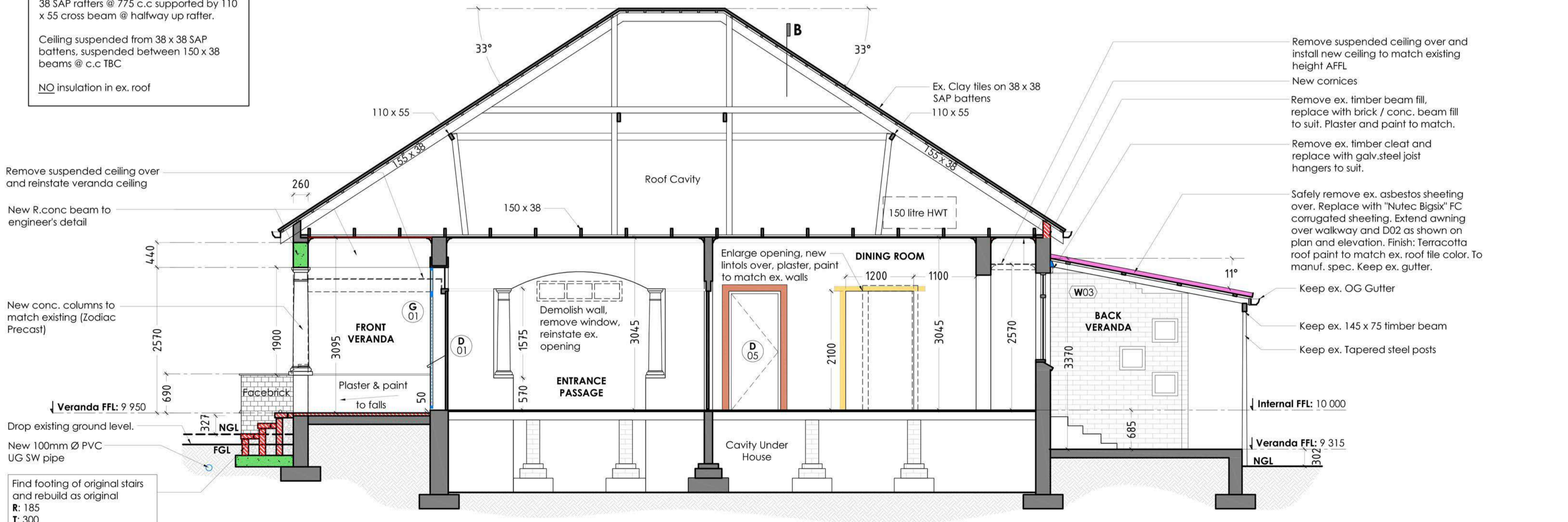
1:100 @ A1



SOUTH-WEST ELEVATION

1:100 @ A1

ROOF SPEC EXISTING
 Clay tiles on 38 x 38 SAP battens, on 155 x 38 SAP rafters @ 775 c.c supported by 110 x 55 cross beam @ halfway up rafter.
 Ceiling suspended from 38 x 38 SAP battens, suspended between 150 x 38 beams @ c.c TBC
 NO insulation in ex. roof



SECTION A-A

1:50 @ A1

GENERAL CONSTRUCTION NOTES & SPECIFICATIONS

These apply to Main House and Outbuilding

SEWER
 All existing clay/metal sewer pipes to be replaced with 100mmØ uPVC pipes. This includes outbuilding toilet. All to drain to ex. MHs.

WASTE WATER
 All existing clay/metal waste water pipes to be replaced with 50mmØ uPVC pipes. All to drain to ex. gullies.

STORM WATER
 All existing clay/metal SW pipes to be replaced with 100mmØ uPVC pipes. To drain to new soak-away.

WALLS
 Assess and fill wall plaster cracks where visible. Fill bkvwk mortar where needed. See finishes.

VERANDAS (BACK AND FRONT)
 New floor finish: New terracotta tiles on existing screed surface (allowance: 15mm tile adhesive, 15mm tiles). Tiles to client's spec.

ROOF
 MAIN HOUSE: Replace all existing roof members (trusses, props, rafters, battens etc) with new CCA treated SAP. To be approved by Engineer.
 BACK VERANDA & OUTBUILDING: Safely remove ex. asbestos sheeting and replace with "Nutec Bigsix" FC corrugated sheeting. Finish: Terracotta roof paint to match ex. roof tile color. To manuf. spec.

INSULATION
 IN MAIN HOUSE ROOF ONLY: Install 75mm blanket wool insulation with min. 1.88 R-Value (Pink Aerolite or equivalent)

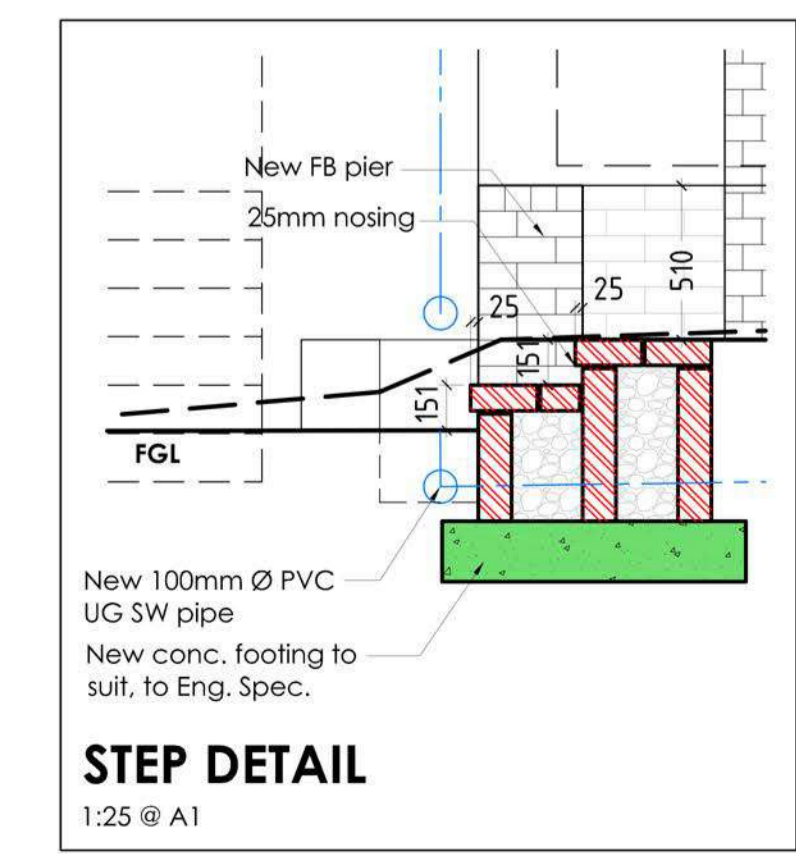
CEILINGS, COVER STRIPS & CORNICES
 All ex. ceilings to be replaced with 6mm "Nutec" ceiling board, finished with white water based acrylic to manuf. spec. Replace all ex. cornices and cover strips with Cedar Deodar timber - dimensions to match existing. Finish: Varnish Spec 1.

SKIRTING, DOOR FRAMES, DADO RAILS
 Remove paint off all ex. timber skirting, door frames and dado rails. Replace / repair timber where required with Cedar Deodar timber - dimensions to match existing. Finish: Varnish Spec 1.

KITCHEN
 Uplift ex. tiles and make good original floor (timber).
 Paint External: Plascon "Wall and All" or equivalent. Colour to match existing, to clients approval.
 Paint Internal: Plascon "Cashmere" or equivalent. Colour to match existing, to clients approval.
 Paint Kitchen / Bathroom / En Suite: Plascon "Kitchens & Bathrooms" or equivalent. Colour to match existing, to clients approval.

FINISHES
 Varnish Spec 1: "Woodoc 10 - Indoor Velvet Polywax Sealer" to manuf. spec. Gloss / semi-gloss / matt finish to be indicated by Client (this product can achieve all 3 finishes, see manufacturer's instruction).
 Varnish Spec 2: "Woodoc 35 - Exterior Polywax Sealer" to manuf. spec. Colour: to Client's spec. (Meranti / Dark Brown / Russet)

STEP DETAIL
 1:25 @ A1



AMAFI SUBMISSION DRAWINGS

Neighbour's Address: _____
 Date: _____
 Name: _____
 Signed: _____

Neighbour's Address: _____
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 Date: _____
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 Signed: _____

Neighbour's Address: _____
 Date: _____
 Name: _____
 Signed: _____

HOUSE SINGH
 15 Bedford Gardens

ELEVATIONS & SECTION A-A
 MAIN HOUSE

Client: Shanan Singh
 Address: 15 Bedford Gardens, 4001, Durban
 Cadastral: Lot 5551

ADDITIONS AND ALTERATIONS TO EXISTING HERITAGE HOUSE

Client's Signature _____
 Architect's Signature _____

Lead architects

REGISTRATION No. 5027
 54 EDMONDS ROAD, GLENWOOD, DURBAN, 4001.
 TEL: (031) 205 1410
 e-mail : amanda@leadarchitects.co.za
 www.leadarchitects.co.za

Project Number: 1912
 Date: 09 December 2019
 Drawn: DV Dobrev
 Checked: AK Lead
 Scale: As shown @ A1

DWG No: **1912_41_02** REV

AMAFA SUBMISSION DRAWINGS

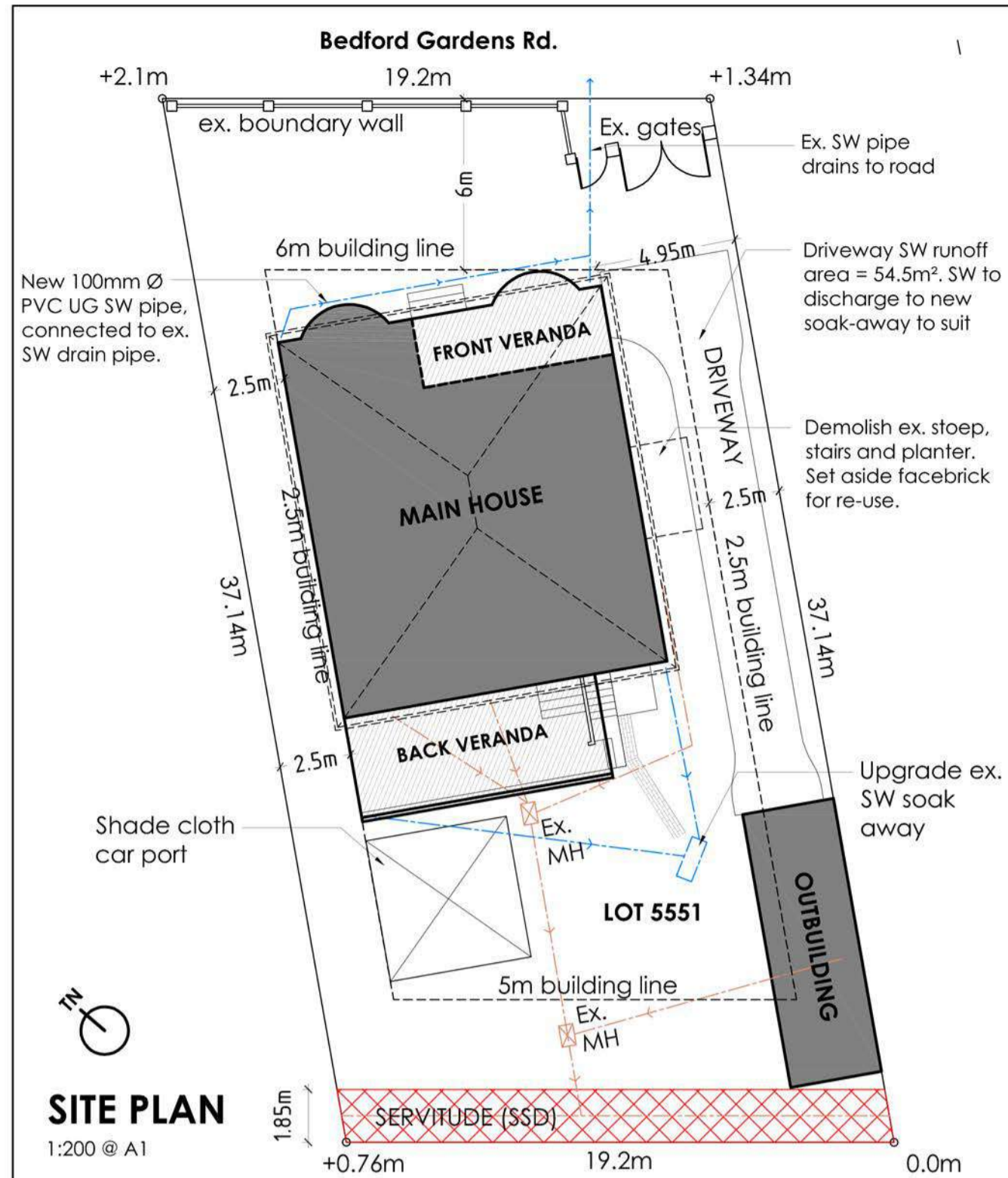
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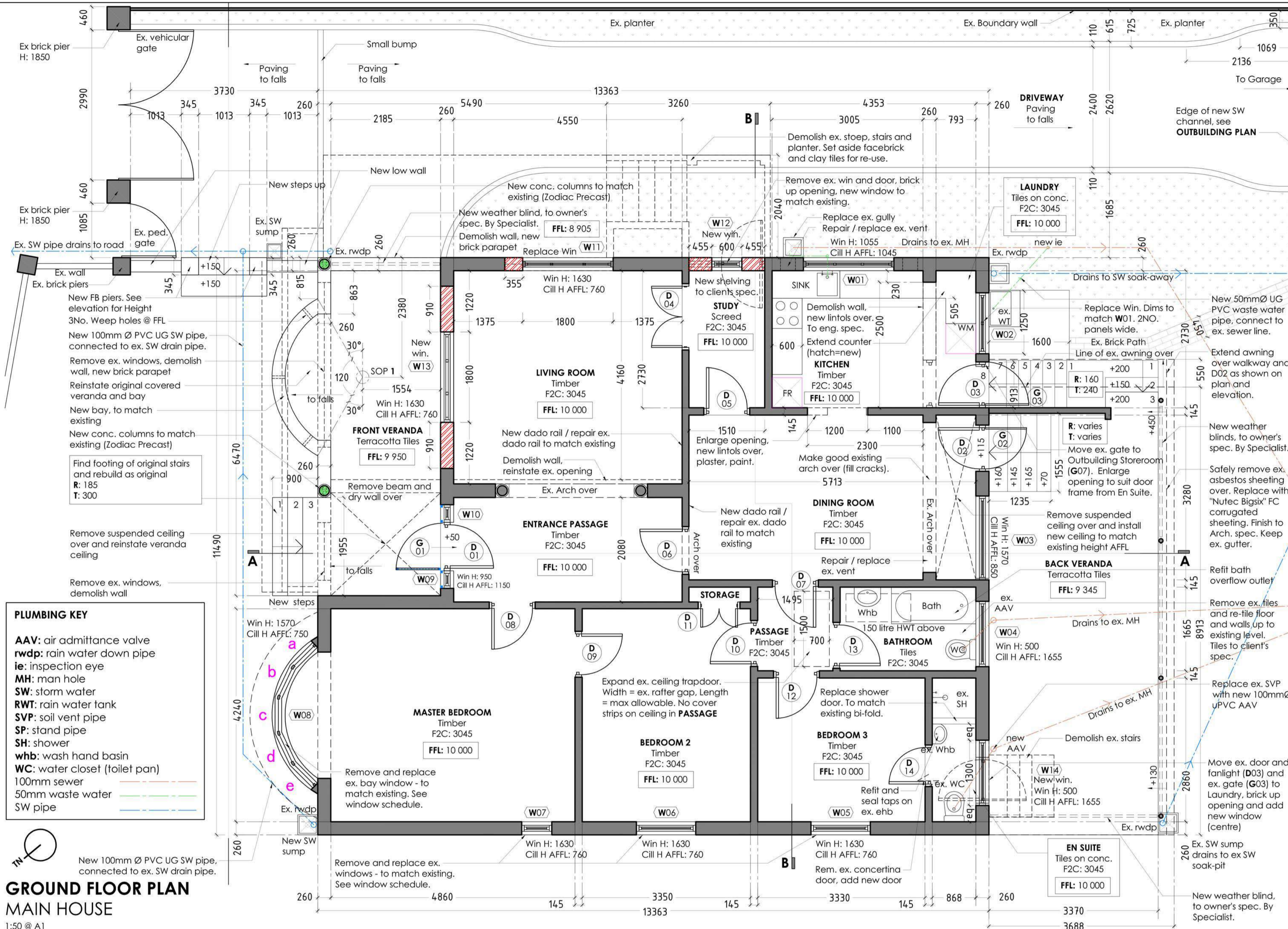
Neighbour's Address: _____
 Date: _____
 Name: _____
 Signed: _____



NOTE
 All (hidden) services indicated (Sewer, SW) are based on latest approved plans dated 08.12.2000 by N.Chadderton. Exact positions to be confirmed on site.

TOWN PLANNING INFORMATION
Zoning: Special Residential 650
FAR: N/A
Coverage: 40%
Min Building Line: 6.0m to all road frontages; Swimming pool, 1.0m; Abutting N2, 1.5m; Abutting M19, 7.5m
Min Side S: Aggregate of 5.0m - one side not less than 2.0m; Multiple Unit: 3.0m on each side; where semi-detached 3.0m on other side. S/Pool, 1.0m. Non-res. 5.0m (see cl. 19(4)(a))
Min Rear S: 5.0m. Swimming Pool, 1.0m
Max Height: Double storey
Parking: Dependent on land use. See cl 12
No. Units: One dwelling unit for every 650sqm of net site area with the resultant quotient being taken to the nearest unit or if there is a fraction of one half, the next highest.

SITE INFORMATION
Site Area: 702m²
Ex. Main House FAR: 155.6m²
Ex. Main House COV: 187m²
Ex. Outbuilding FAR: 12.6m²
Ex. Outbuilding COV: 31.4m²
Ex. TOTAL FAR: 168.2m² (0.24)
Ex. TOTAL COV: 218.4m² (0.31)
 - Reduce by 16.45m²
 - NO ADDITIONAL COVERAGE
 - NO ADDITIONAL FAR
 - NO ADDITIONAL COVERAGE
 - **New FAR: 151.75m² (0.216)**
 - **New COV: 218.4m² (0.31)**

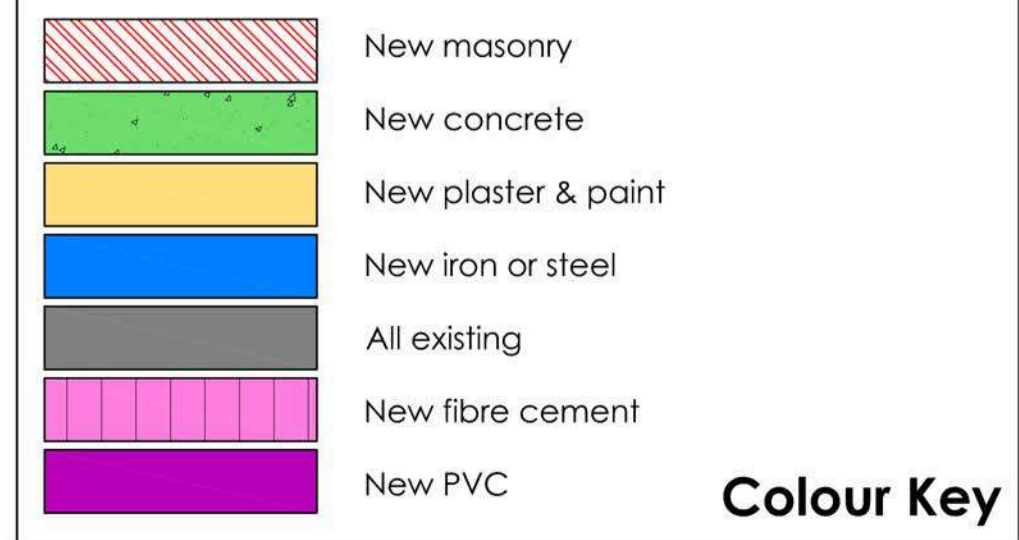


HOUSE SINGH
 15 Bedford Gardens

GROUND FLOOR PLANS
 MAIN HOUSE & OUTBUILDING



LOCALITY PLAN Google Earth
 Not to scale @ A1



LIST OF ABBREVIATIONS
AFFL: Above finished floor level
Conc: Concrete
COV: Coverage
Ex: Existing
F2C: Finished floor level to underside of ceiling
FAR: Floor Area Ratio
FB: Facebrick
FC: Fibre Cement
FFL: Finished floor level
FGl: Finished Ground Level
FR: Refrigerator
H: Height
HWT: Hot Water Tank
NgL: Natural Ground Level
MH: Manhole
Qry: Quarry
R: Riser
SAP: South African Pine
SH: Shower
SOP: Settling out point
SW: Storm water
T: Tread
TO: Top of
UG: Underground
US: Underside
WC: Water closet (toilet pan)
Whb: Wash-hand basin
Win: Window
WM: Washing Machine
WT: Wash Trough

STORM WATER NOTE
 • Total ex roof area (main house, verandas, outbuilding) discharging to soak pit = **147.1m²**
 • Total ex roof area (main house) discharging to road (ex. pipe) = **86.4m²**
 • Total new paved area (driveway) = **54.5m²**
 Existing soak-away is currently dealing effectively with existing SW volumes.
 No additional coverage. Only new driveway paving applies.
Calculation: 54.5m² / 40 = 0.73 cubic metres additional required. ie. 1m (L) x 0.9m (W) x 0.9m (H) chamber in addition to existing.

GENERAL NOTES
 1. Drawings to be read in conjunction with surveyor's drawings and engineer's drawings.
 2. The contractor shall be responsible for the correct setting out of the building and its internal and external walling and is to check all levels, heights, and dimensions generally and build in DPC's whether shown or not, to all walls, beams, parapets, doors, windows and other external openings, as per SANS 10400 / SABS 021
 3. Any discrepancies to be immediately brought to the attention of the Architect.
 4. Drawings are not to be scaled. Prefer written dimension.
SITE
 1. All demolition work to comply with Parts D & E of SANS 10400
 2. All site work to comply with Parts F & G of SANS 10400
STRUCTURAL
 1. All structural components - foundations, retaining walls, walls, lintols, beams, roof structure, slabs and stairs - to be designed by engineer and/or to comply with detailed requirements of Parts B, H, J, K, L, M & N of SANS 10400.
FINISHES
 1. Generally all external finishes to match existing, unless otherwise specified.
 2. Generally all internal finishes plastered and painted to match existing, unless otherwise specified.
 3. New facebrick walls to match existing, to Architect's approval.
 4. Floor finishes as indicated on drawings and finishes schedule, by Specialist.
 5. All internal timber to be treated against wood eating insects with approved product strictly to manuf. spec.
 6. Refer to finishes schedule for internal and external timber finishes.
 7. All steel to be galvanized, primed and painted with enamel to manufacturer's specifications.
GLAZING
 1. New windows and glazing elements to comply with Part N of SANS 10400. Refer to window and door schedule and SANS 10400:XA report attached.
 2. New 6mm toughened safety fixed glass shower panel by specialist to comply with Part N 4.4.6 of SANS 10400
DRAINAGE
 1. All new drainage by certified specialist, in strict accordance with Part P of SANS 10400.
WATER RETICULATION
 No additional sanware, no change in ex. water reticulation.
PART XA
 1. Lighting and ventilation in accordance with Part O of SANS 10400
 2. Hot water supply to comply with 4.1 of Part XA of SANS 10400

PART O CALCULATIONS

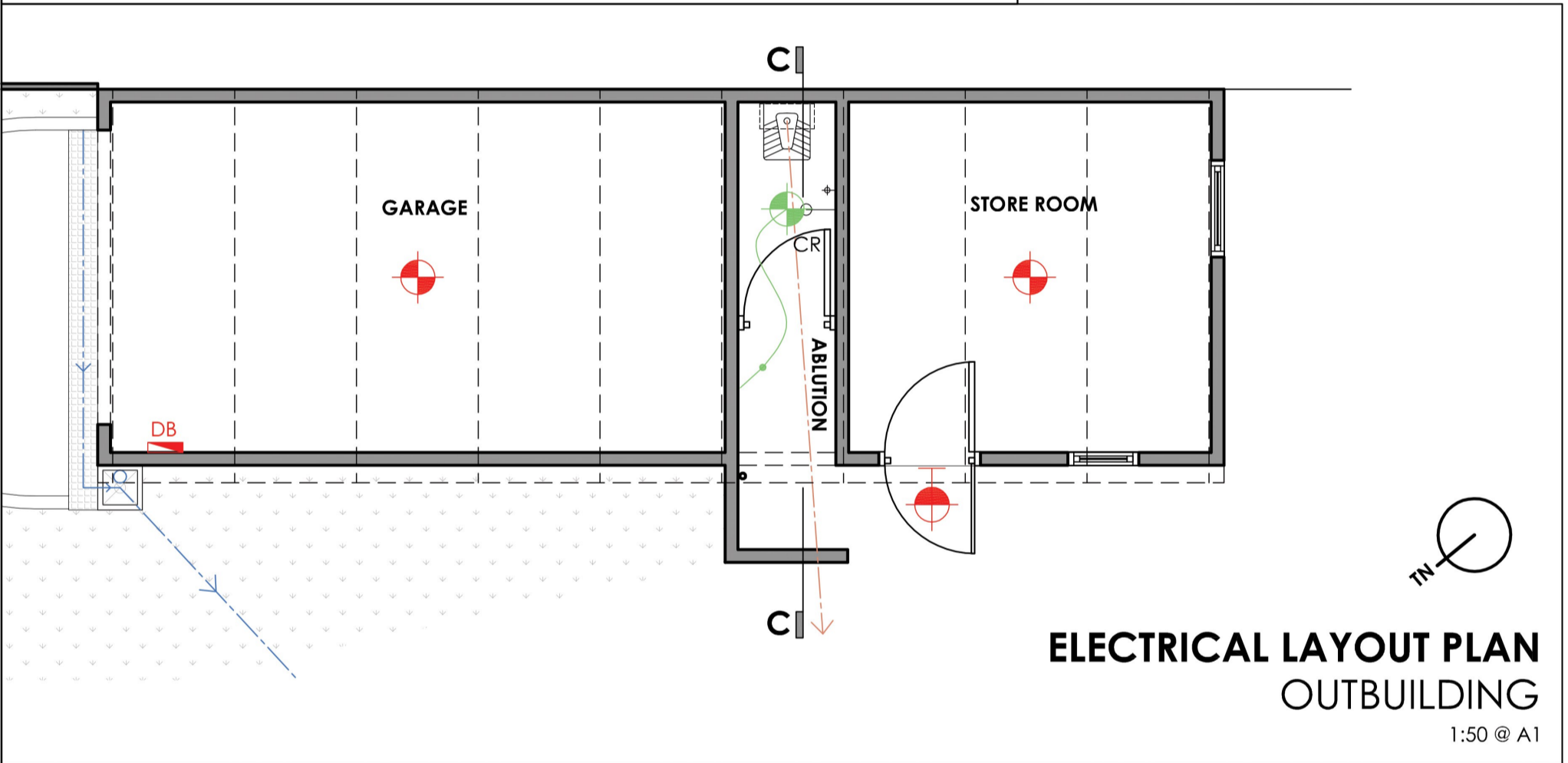
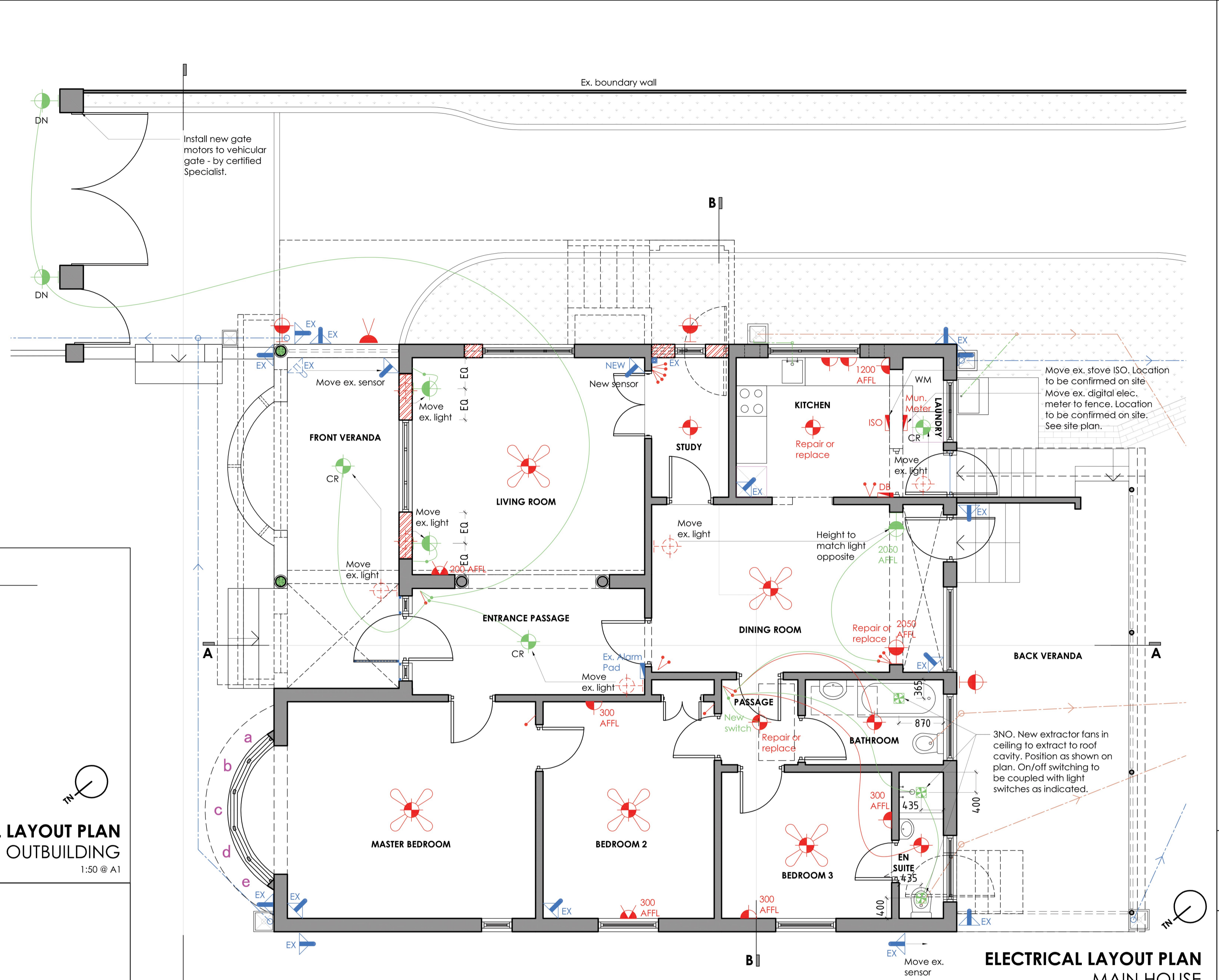
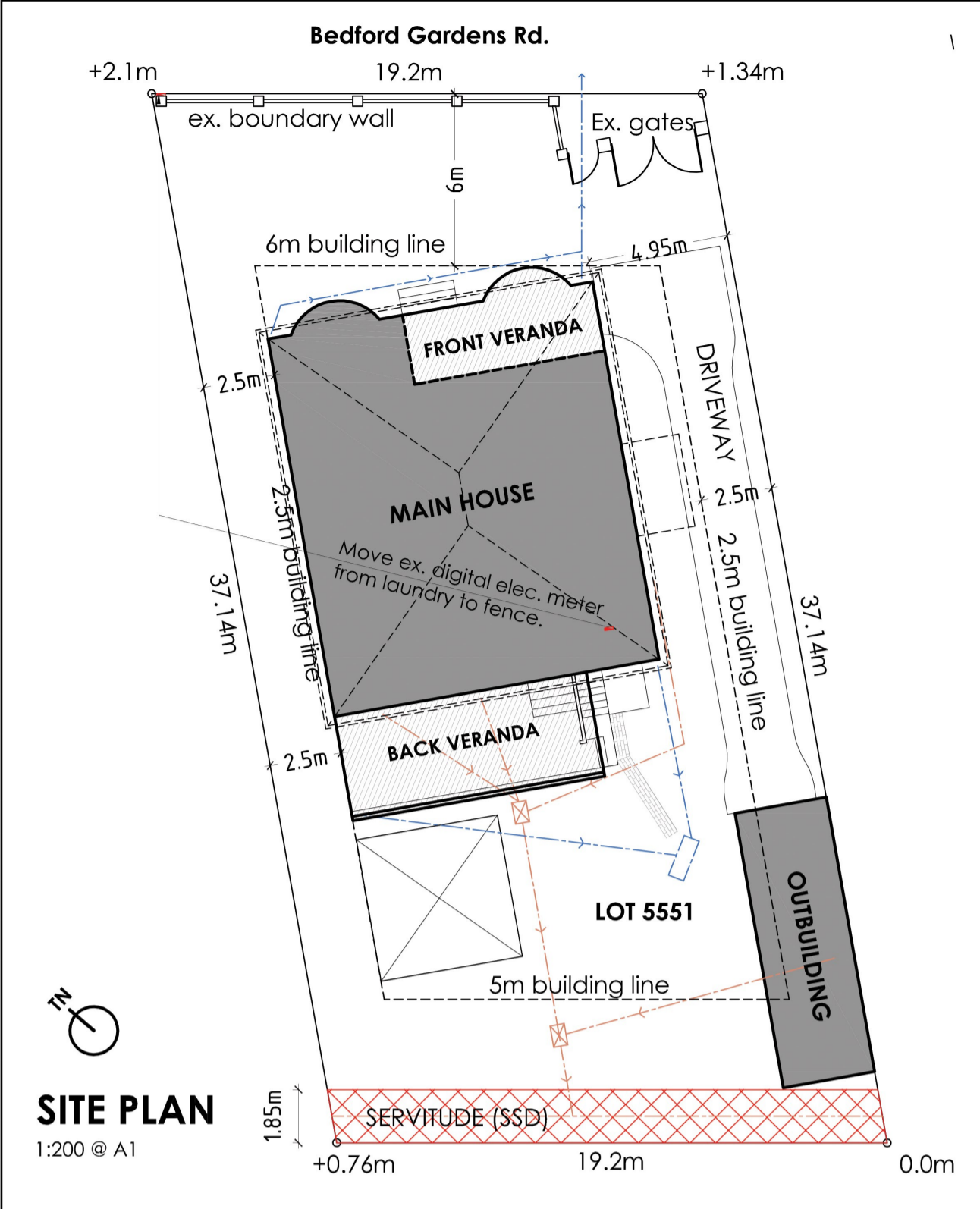
	Living Room	Ent. Passage	Passage	Study	Kitchen / Laundry	Dining Room	Bathroom	Master Bedroom	Bedroom 2	Bedroom 3	En Suite
Room Area:	19.65m ²	9.8m ²	2.48m ²	4.1m ²	11.08m ²	18.74m ²	4.5m ²	22.41m ²	14.2m ²	9.5m ²	2.48m ²
Lighting (L) Area:	3.96m ² (20%)	1.32m ² (13.5%)	N/A	0.65m ² (15.6%)	2.33m ² (21%)	1.71 (9.1%)	0.4m ² (8.8%)	4.94m ² (22%)	1.26 (8.8%)	1.26 (13.3%)	0.4 (16.13%)
Ventilation (V) Area:	3.78m ² (19.2%)	2.36m ² (24%)	N/A	0.61m ² (14.9%)	4.36m ² (39.4%)	4.15 (22.1%)	0.55m ² (12.2%)	4.32m ² (19.3%)	1.18 (8.3%)	1.18 (12.4%)	0.55 (22.18%)

	Garage	Abution	Store Room (Non-Hab)
Room Area:	15.98m ²	1.55m ²	9.4m ²
Lighting (L) Area:	0m ² (0%)	0m ² (0%)	0.65m ² (6.9%)
Ventilation (V) Area:	5.8m ² (36.3%)	2.2m ² (142%)	1.57m ² (11%)

CLIENT: Shanan Singh
 Address: 15 Bedford Gardens, 4001., Durban
 Cadastral: Lot 5551
Project:
ADDITIONS AND ALTERATIONS TO EXISTING HERITAGE HOUSE
 Client's Signature: _____
 Architect's Signature: *AK Lead*

Lead architects
 REGISTRATION No. 5027
 54 EDMONDS ROAD, GLENWOOD, DURBAN, 4001.
 TEL: (031) 205 1410
 e-mail : amanda@leadarchitects.co.za
 www.leadarchitects.co.za

Project Number: 1912
 Date: 01 December 2019
 Drawn: DV Dobrev
 Checked: AK Lead
 Scale: As shown @ A1
 DWG No: **1912 41_01** REV



ELECTRICAL NOTES

Remove all overhead power cables and route all main input power cables underground / under the house - by certified Specialist

Install new gate motors to vehicular gate - by certified Specialist.

See XA Calculation spreadsheet DWG NO. 1912_41_10

ENERGY EFFICIENCY NOTES

HOT WATER
New heat pump for existing 200 litre hot water tank, by Specialist - See XA Calculation spreadsheet DWG NO. 1912_41_10

DOOR SCHEDULE – Main House & Outbuilding
1:50 @ A1

REFERENCE: Entrance Passage System: Original HW timber with stained glass panel	REFERENCE: Dining Room System: Timber stable door	REFERENCE: Laundry System: Original HW door	REFERENCE: Living Room System: Original HW dbl. doors with stained glass inset	REFERENCE: See note below System: Original HW Door	REFERENCE: Entrance Passage System: Original HW Door	REFERENCE: See below System: Original HW Door	REFERENCE: Bedroom 2 BIC System: Original HW Door	REFERENCE: Bedroom 3 System: Original HW Door	REFERENCE: En Suite System: New HW Door	REFERENCE: Outbuilding System: New HW Door	REFERENCE: Outbuilding System: Original HW Door
EX/NEW: Ex QTY: 1 D01	EX/NEW: Ex QTY: 1 D02	EX/NEW: Ex QTY: 1 D03	EX/NEW: Ex QTY: 1 D04	EX/NEW: Ex QTY: 4 D05 - Study D07 - Dining D09 - Bed 2 D13 - Bathrm	EX/NEW: Ex QTY: 1 D06	EX/NEW: Ex QTY: 2 D08 - M.Bed D10 - Bed 2	EX/NEW: Ex QTY: 1 D11	EX/NEW: Ex QTY: 1 D12	EX/NEW: New QTY: 1 D14	EX/NEW: New QTY: 1 D15	EX/NEW: Ex QTY: 1 D16
Note: Remove ex. Paint and refurb to match D12	Note: Fix door frame and replace lower stable door. NO Architraves on D02	Note: Move door frame + fanlight from ex. En suite to Laundry room. Remove ex. Paint and refurb to match D12. Note: NO Architraves on D03	Note: New door frame / jamb-lining with architrave both sides. Remove ex. paint and refurb. to match D12	Note: Remove ex. Paint and refurb to match D12. All doors with architraves both sides, except D13, with architrave on passage side only.	Note: Remove ex. Paint and refurb to match D12	Note: Remove ex. Paint and refurb to match D12	Note: Remove ex. Paint and refurb to match D12	Note: This is the model / Template door. All other doors to match D12	Note: Replace ex. concertina door. No fanlight. Add architrave on bedroom side only, to match D12	Note: New HW door to client's spec.	Note: Replace ex. door with solid Meranti.
Glazing: Original stained glass window. See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: Original. See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: Original. See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: Original. See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: None	Glazing: Original. See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: Original. See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: None	Glazing: Original. See SANS 10400 XA report attached DWG NO. 1912_41_10	Glazing: None	Glazing: None	Glazing: None

Finishes Note (See finishes schedule)
All interior faces of timber doors: Varnish Spec 1
All exterior faces of timber doors: Varnish Spec 2

Construction Note
All timber / joinery sections to match existing and original doors – to be identified on site.

- ELECTRICAL LEGEND**
- Denotes security fitting (blue colour)
 - Denotes new elec fitting (green colour)
 - Denotes existing elec fitting (red colour)
 - EX Denotes existing fitting
 - CR Denotes fitting location – Center of Room
 - DS Denotes double switch with parallel wiring
 - DM Denotes dimmer switch
 - DN Denotes day/night sensor automatic switch
 - 0000 AFFL Denotes height of fitting above FFL
 - Panic Button
 - Switch
 - Distribution Board
 - Single 3 pin plug
 - Double 3 pin plug
 - Pendant light fitting
 - Wall mounted light fitting
 - Wall mounted security beam
 - Wall mounted flood light
 - Extractor Fan
 - Fan and pendant combo

HOUSE SINGH
15 Bedford Gardens

ELECTRICAL LAYOUT PLANS; DOOR SCHEDULE MAIN HOUSE & OUTBUILDING

Client: Shanan Singh
Address: 15 Bedford Gardens, 4001, Durban
Cadastral: Lot 5551

ADDITIONS AND ALTERATIONS TO EXISTING HERITAGE HOUSE

Project:
Client's Signature:

Architect's Signature:

Lead architects
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Project Number: 1912
Date: 09 December 2019
Drawn: DV Dobrev
Checked: AK Lead
Scale: As shown @ A1

DWG No: **1912_41_04** REV