

GENERAL NOTES

ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY.

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVICES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY.

ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.

CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES.

ALL WORK TO COMPLY WITH SABS 0400.

ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS SANS 10400:2011. ALL LEVELS AND DIMENSIONS TO BE CHECKED AND VERIFIED IN SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

FENESTRATION - FIRST STOREY

1. NETT FLOOR AREA = 120.50

2. GLAZING AREA: TOTAL = 18.06
NORTH EAST ELEVATION = 14.82
SOUTH EAST ELEVATION = 3.24
NORTH WEST ELEVATION = 0.00
SOUTH WEST ELEVATION = 0.00

3. 15% OF NETT FLOOR AREA:
(sqm/100) X 15 = 18.08

CONCLUSION: TOTAL GLAZING AREA < 15% OF NET FLOOR AREA
18.06 sqm < 18.08 sqm

GLAZING IS LESS THAN 15% OF NETT FLOOR AREA OF PROPOSAL.
THEREFORE CALCULATIONS ACCORDING TO SANS 204 NOT REQUIRED.

LEGEND: FIRST STOREY

1. NETT FLOOR AREA = 120.50

2. GLAZING AREA: TOTAL = 18.06

3. 15% OF NETT FLOOR AREA:

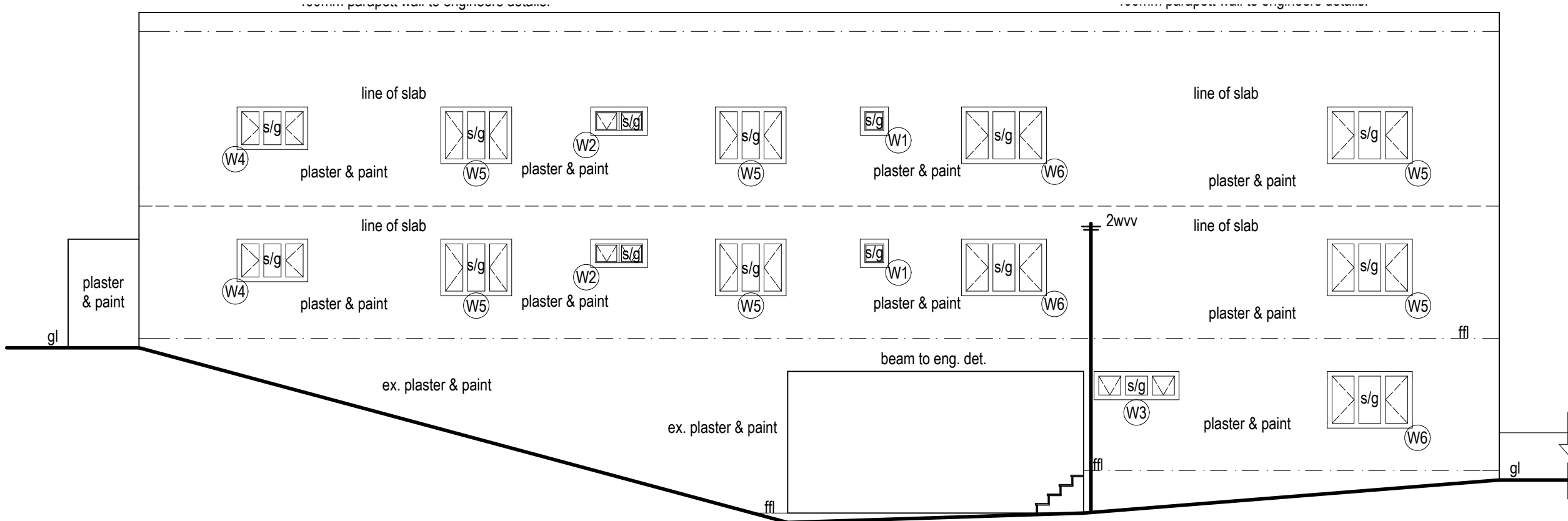
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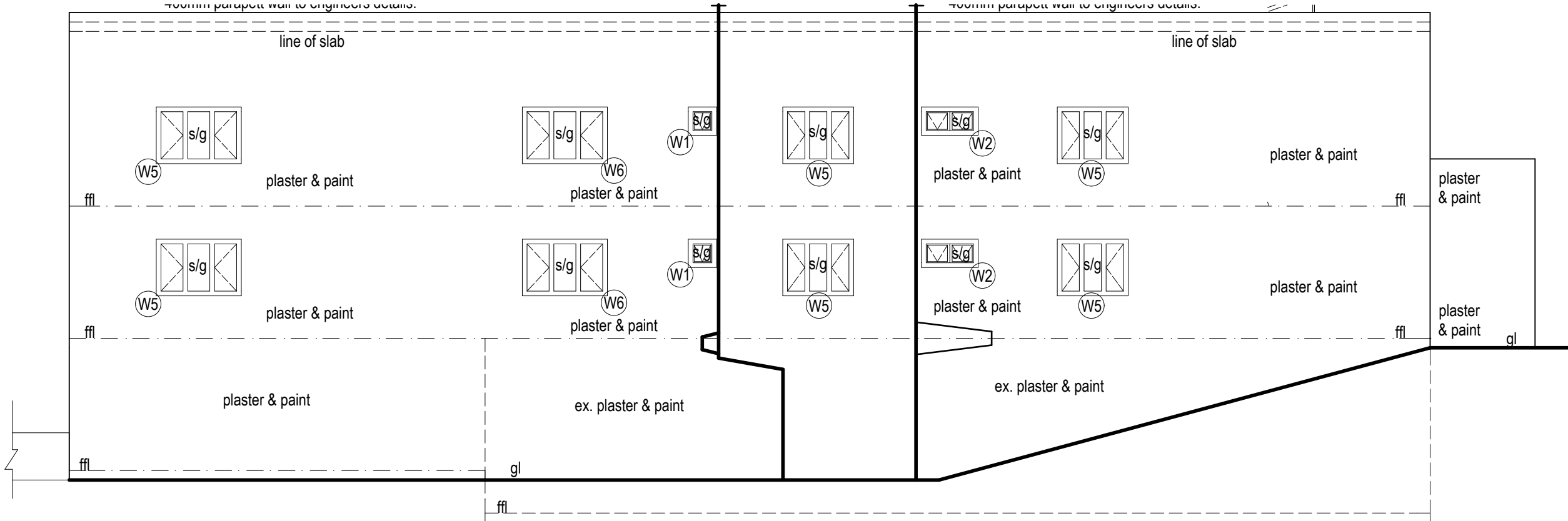
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SOUTH EAST ELEVATION



NORTH WEST ELEVATION

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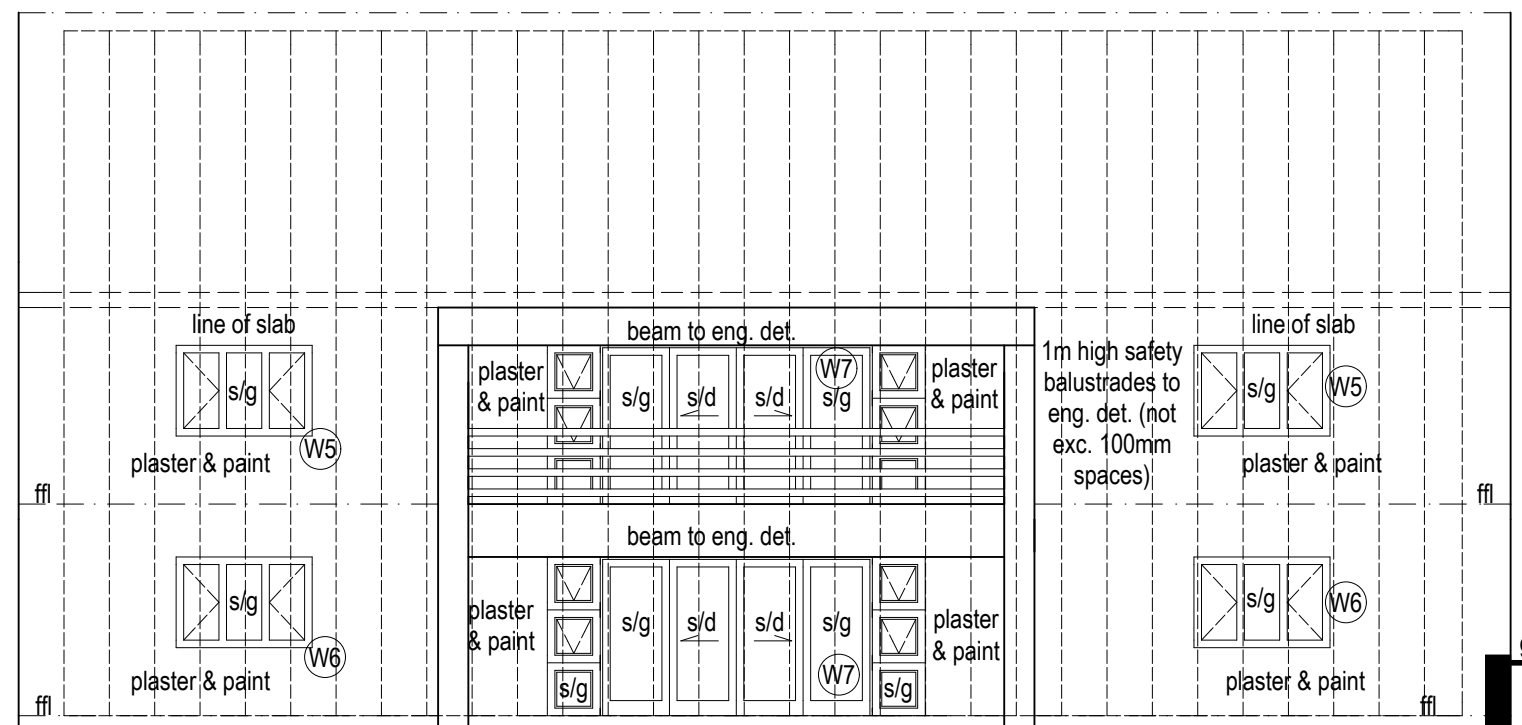
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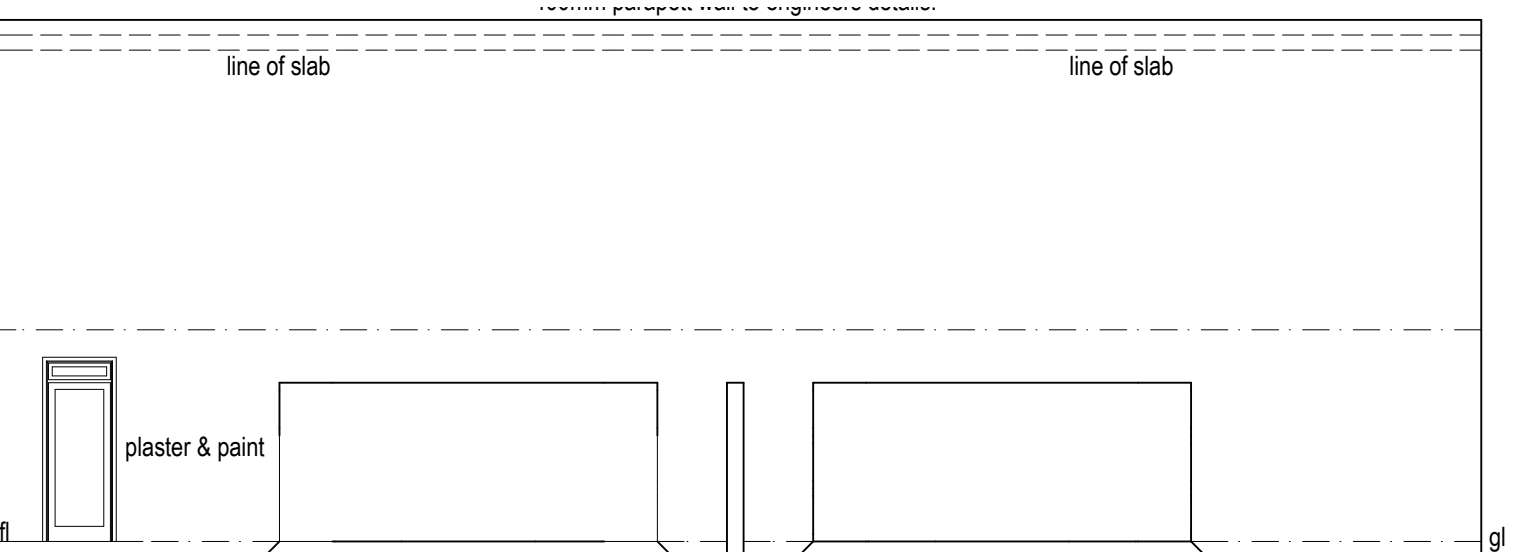
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NORTH EAST ELEVATION



SOUTH WEST ELEVATION

GLAZING NOTES:

GLAZING TO COMPLY WITH PART N OF SANS 10400-2011.

STAIR & BALUSTRADE NOTES:

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH PARTS M & D OF SANS 10400-2011.

BASIC STAIR NOTES:
MAX 200mm RISER MIN 250mm TREAD
BALUSTRADES 1.0m HIGH WITH NO GAP MORE THAN 100mm

IF THE STAIRCASE FORMS PART OF AN ESCAPE ROUTE IT IS TO COMPLY WITH PART M OF SANS 10400-2011.

STRUCTURAL:

ALL REINFORCED CONCRETE WORK AND RETAINING WALLS TO BE STRICTLY IN ACCORDANCE WITH REGISTERED STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS.

FENESTRATION:

AIR LEAKAGE SHALL NOT EXCEED 2L/SMETERS SQUARE FENESTRATION AREA (0.28L/SMETERS SQUARE).

FIXED GLAZING AND 5 L/SMETERS SQUARE REVOLVING/ SWING DOORS. (SANS 10400-XA-4.4.1.1) FENESTRATION MORE THAN 15% TO NETT FLOOR AREA PER STOREY THEN (SANS 10400-XA-4.4.2) FENESTRATION UP TO 15% TO NETT FLOOR AREA PER STOREY COMPLETES. (SANS 10400-XA-4.4.1) SOLAR HEAT GAIN AND HEAT CONDUCTANCE TO COMPLY WITH SANS 204-4.3.4

DEMOLITION WORK:

ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH SANS 10400-2011 PART F. NO DEMOLITION WORK IS TO BE CARRIED OUT WITH RELEVANT MUNICIPAL AND/OR CLIENT APPROVAL.

GENERAL SPECIFICATIONS

PLUMBING & DRAINAGE:

ALL PLUMBING TO COMPLY WITH PART P OF THE SANS 10400-2011.

ALL WASTE WATER PIPES AND DRAINS TO BE ACCESSIBLE ALONG THEIR ENTIRE LENGTH. PROVIDE INSPECTION EYES AT ALL DRAIN BENDS AND JUNCTIONS AND AT A MAX. 25m ALONG STRAIGHT RUNS. CLEANING EYES TO BE PROVIDED AT ALL BENDS AND JUNCTIONS OF WASTE PIPES. WASTE TO BE FITTED WITH 60mm RESEAL TRAPS.

WATER CONNECTIONS TO FITTINGS:
15mm DIA TO WHB, WC AND SHOWERS
20mm DIA TO GEYSERS
25mm DIA TO FHR
ALL VENT PIPES TO DISCHARGE TO EXTERNAL AIR
60MMR WASTE PIPES REQUIRE A 75MMR SLEEVE
110MMR WASTE PIPES REQUIRE A 150MMR SLEEVE
ALL NEW SEWER LINES TO RUN IN THE CEILING VOID ON THE FLOOR BELOW.

FOR PLUMBING AND DRAINAGE LAYOUT PLANS AND THE CROSS SECTIONS REFER TO REGISTERED WET SERVICES ENGINEERS DRAWINGS FOR RATIONAL DESIGN DRAWINGS.
ALL STORM WATER TO BE COLLECTED AND DRAIN TO MUNICIPAL STORM WATER DRAINAGE SYSTEM TO ENGINEERS DETAILS.

PLUMBING:

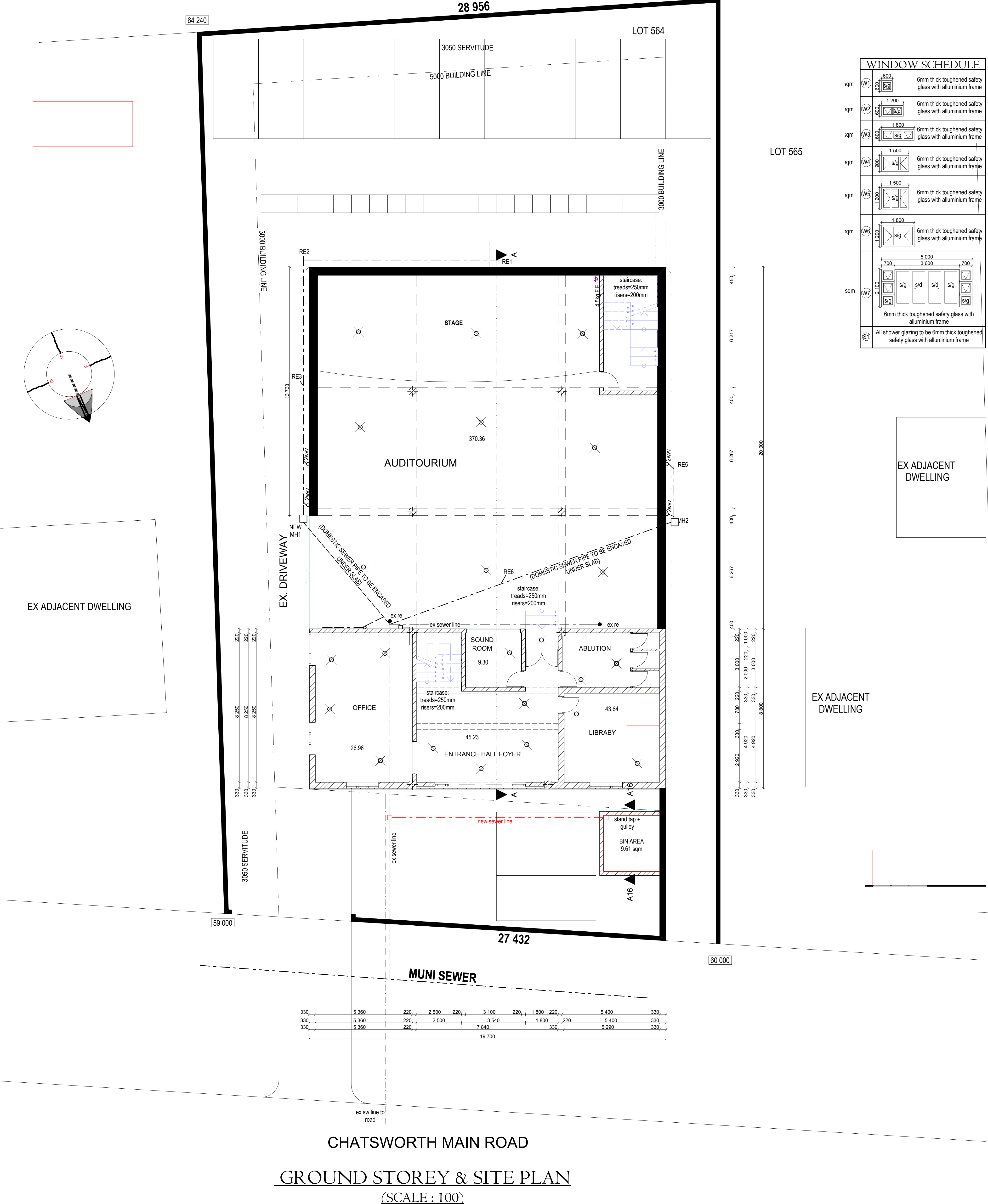
WASTE PIPES: 50 DIA. PVC PIPES
SEWER PIPES: 100 DIA. PVC PIPES
NEW SEWER TO CONNECT TO EXISTING AS SHOWN
ALL WHB TO HAVE 50 DIA. 1WAY VENT VALVE
ALL WCs TO HAVE 2WAY VENT VALVE
NOTE: ALL NEW SEWER TO CONNECT TO EXISTING

FLOOR CONSTRUCTION:

FLOOR FINISH ON MIN. 25mm THICK SCREED ON 100mm THICK REINFORCED CONCRETE SLAB ON 250 MICRON DPM ON WELL COMPACTED POISONED EARTH.

WALLS:

EXTERNAL: BRICKWORK PLASTERED & PAINTED
INTERNAL: COMMON BRICKWORK PLASTERED & PAINTED
AIR VENTS TO BE PROVIDED MIN. 2 PER ROOM



CHATSWORTH MAIN ROAD

GROUND STOREY & SITE PLAN

(SCALE: 1:100)

Roof insulation
Ventilation: Unvented
Climate Zone: 5
Orientation: North East

R-VALUES

Clay Roof Tiles: 0.48
Plaster Board Gypsum Ceiling: 0.06
80mm Roof insulation: fibreglass blanket at 300mm overlap: 2.83
Total R-value for roof: 3.37
Direction of heat flow: downwards

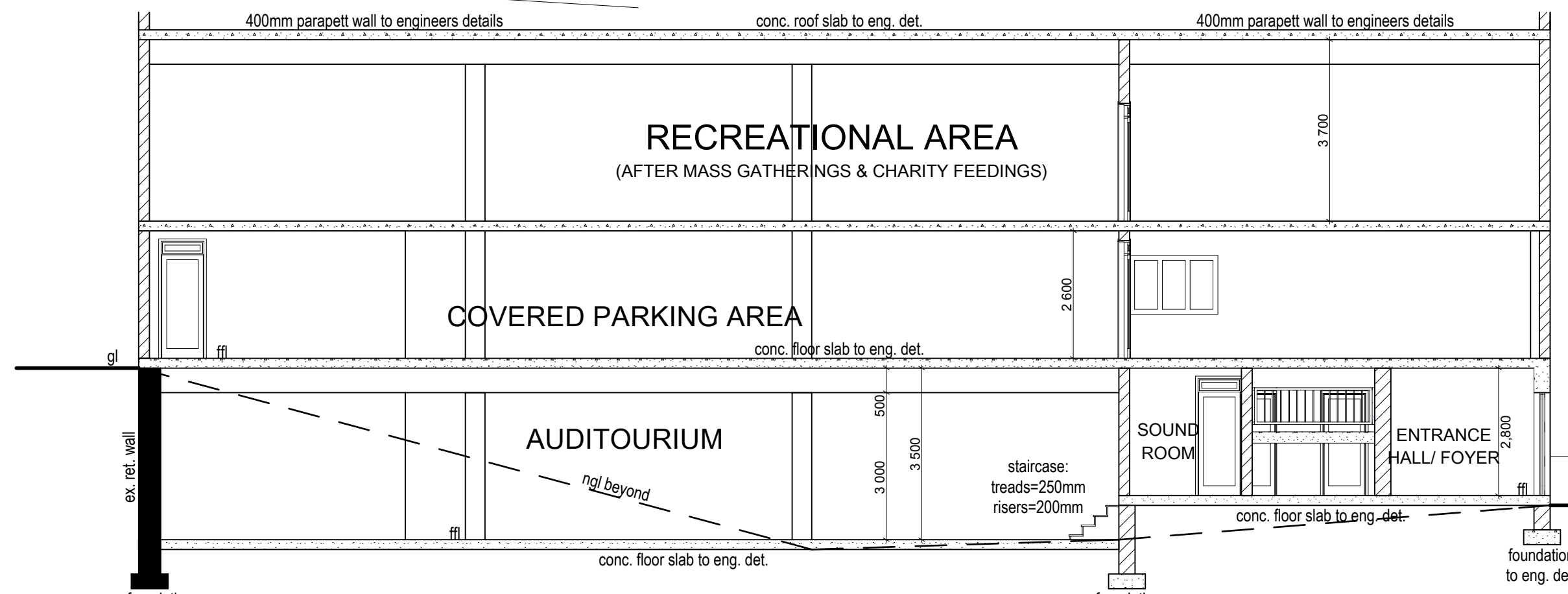
WALLS
Walls to have a CR-value of 60 and to have an R-value of 0.35

SCHEDULE OF AREA

SITE AREA	1419 sqm
EX. COVERAGE	126.00 sqm
LESS COVERAGE	126.00 sqm
PROP. COVERAGE	567.36 sqm
TOTAL COVERAGE	567.36 sqm
PERMITTED COVERAGE	567.76 sqm
EX. FAR	119.18 sqm
LESS FAR	119.18 sqm
PROP. FAR	720.21 sqm
TOTAL FAR	720.21 sqm
PERMITTED FAR	N/A

FIRST STOREY PLAN

(1:100)



THIS APPLICATION IS TO BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION REPORT.
SOIL CLASSIFICATION:

SECTION A-A

PROPOSED CHURCH
@ 15 CHATSWORTH MAIN ROAD,
UMHLATUZANA,
ON LOT 564 OF UMHLATUZANA,
FOR MR. R. AND MRS. S. GOVENDER.

PROJECT



Drawn by: JOASH PERUMAL Date: 27/06/2021

Checked by: JOASH PERUMAL Date: 27/06/2021

Drawing Scale

1:100

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