

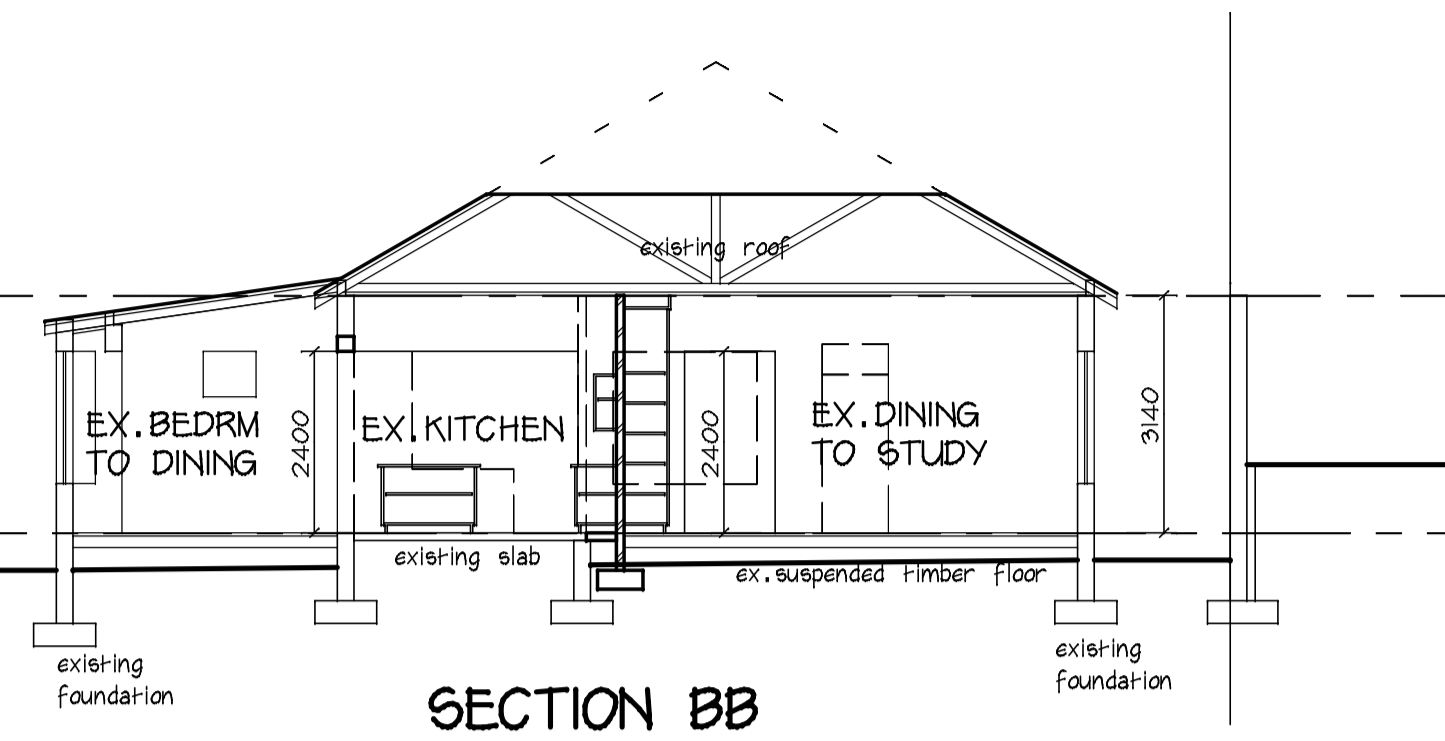
brickwork to be reinforced with galvanised steel brickforce both below wall plate level, above window head height & below window sill level

concrete lintels over all windows, doors & openings to engineers detail

375 mic DPC to be provided to walls at slab level, under all sills and to parapets

Competent person (structural) is responsible for the design, supervision & certification of the entire structural system, including foundations

INTERNAL BATHRM WALLS:
smooth skimmed 15mm gypsum plaster board internally fixed to studs & noggins, with minimum 50mm thick SABS approved flexible fibre glass blanket type insulation laid by specialist to manufactures specifications, density to be 10-18kg/m³
internal lining to bathrm to be 15mm water resistant gypsum plaster board as per part 6.4.2.4 of SANS 517:2009



GENERAL NOTES

All work to comply with SANS 10400

Corner beacons to be located and exposed before work on site commences

Contractor to check all dimensions and levels (schedules and details) before the relevant work is placed in hand and report any discrepancies to the OWNER/ARCHITECTURAL PROFESSIONAL.

All written dimensions to be taken in preference to scaling

Contractor to ensure that no changes in levels are made over local authority servitudes or underground services unless permission has been given in writing by the local authority

Any discrepancies and omissions are to be brought to the OWNER/ARCHITECTURAL PROFESSIONAL's attention immediately

If an excavation the site is found to contain expansive clay, shale, ground water or other suspect soil conditions, then all foundations are to be built to professional engineers details & under his supervision

All foundations to be taken down below natural ground level

The contractor is to inspect the official approved copies of the drawings to ensure that all amendments have been taken into account

The attention of the owner is drawn to the fact that changes to the plan &/or specification after official approval is likely to invalidate that approval

glazing to comply with part N of SANS 10400.

Natural ground line in approximate position only & no claim can be made for any discrepancies on site

No backfilling of over excavated areas will be permitted

Flashing to comply with SANS 10400:L 4.3.4.4

external doors to be fitted with draft seals

FENESTRATION CALCULATIONS:
see attached report for calculations

AREAS

| | |
|----------------|----------------------|
| GROUND STOREY | |
| EX. HOUSE | 237,91m ² |
| EX. O/BUILDING | 75,71m ² |

NO ADDITIONAL AREA

| | |
|--------------------------|----------------------|
| SITE AREA | 941m ² |
| PERMITTED COVERAGE (40%) | 376,40m ² |
| EXISTING COVERAGE | 313,62m ² |
| PROPOSED COVERAGE | NIL |
| TOTAL COVERAGE | 313,62m ² |

BOUNDARY LINE

EXISTING O/BUILDING

220 3000 110 2740 110 2660 220
230 2050 220 3470 100 600 5400 220

replace ex. timber windows with new
new window 7,5M FRONT B/LINE

EX. SCULL EX. L'DRY EX. BATH

EX. BEDRM TO DINING EX. KITCHEN EX. DINING TO STUDY

EX. LOUNGE EX. BEDRM 3

EX. BEDRM 2 EX. BEDRM 1

EX. VERANDAH

BOUNDARY LINE

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TWELFTH AVENUE

16,611M BOUNDARY

EXISTING O/BUILDING

7,5M FRONT B/LINE

EXISTING HOUSE

0,1M SERVITUDE SG 1282/2005

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GROUND STOREY PLAN

SITE PLAN
SCALE 1/250

ELEVENTH AVENUE

| | |
|---------------------------------|----|
| Climatic Zone as per SANS 204 | 5 |
| Occupancy as per SANS 10400-A20 | H4 |

PROPOSED ADDITIONS TO EX. HOUSE FOR R.B.D'AUBREY AT 15 ELEVENTH AVENUE ON REM OF ERF 1213 DURBAN

D'AUBREY POA

2013-04 sheet 1/1

LUMS, AMAFA & NBR ASSESSMENT APPLICATION

| | | |
|-----------|---------------|------------|
| scale | date | drawn |
| 1/100/250 | 12 MARCH 2013 | G.L.KEUTER |

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