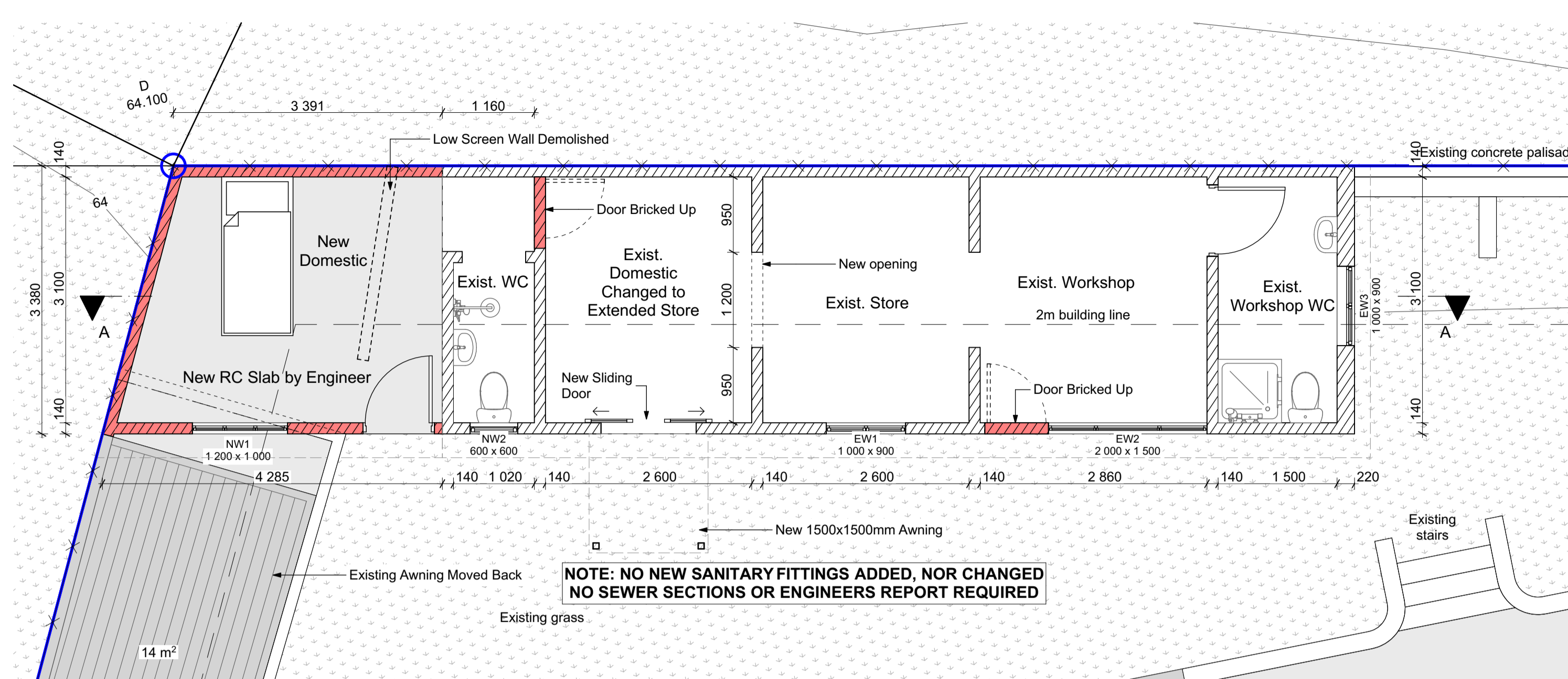
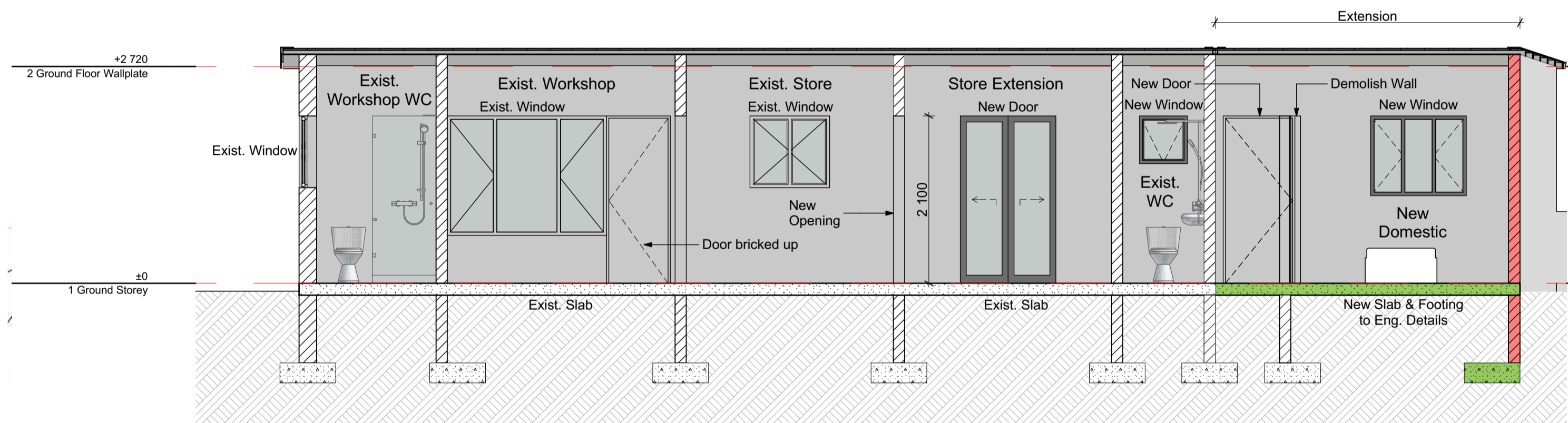


SITE PLAN 1:500



GROUND FLOOR PLAN (OUTBUILDING) 1:50



SECTION A-A 1:50

Roof Construction and waterproofing to be installed as per specialist detail and recommendations.

Roof components, fixing details and methodology to be in accordance with the structural engineers detail and rational design of the Architect.

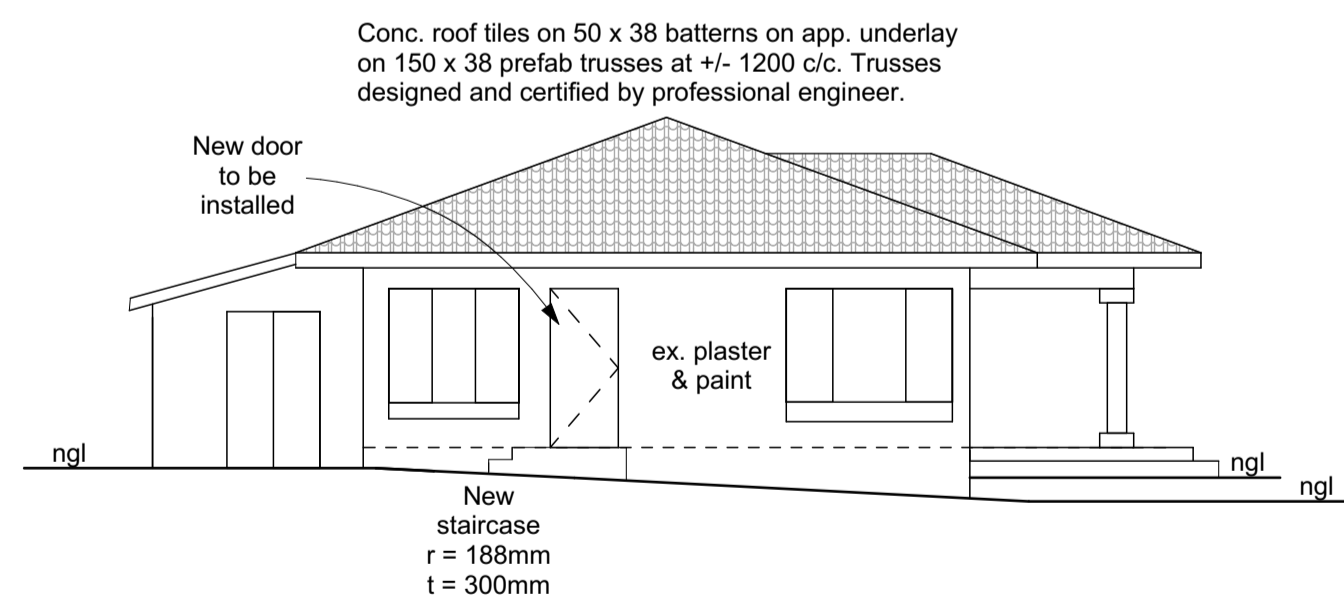
All roof trusses are to be designed and installed in accordance with the SANS 10400 Part L.

Beamfill to be built to underneath of roofing material and expansion foam to be applied to ensure proper sealing against weathering material.

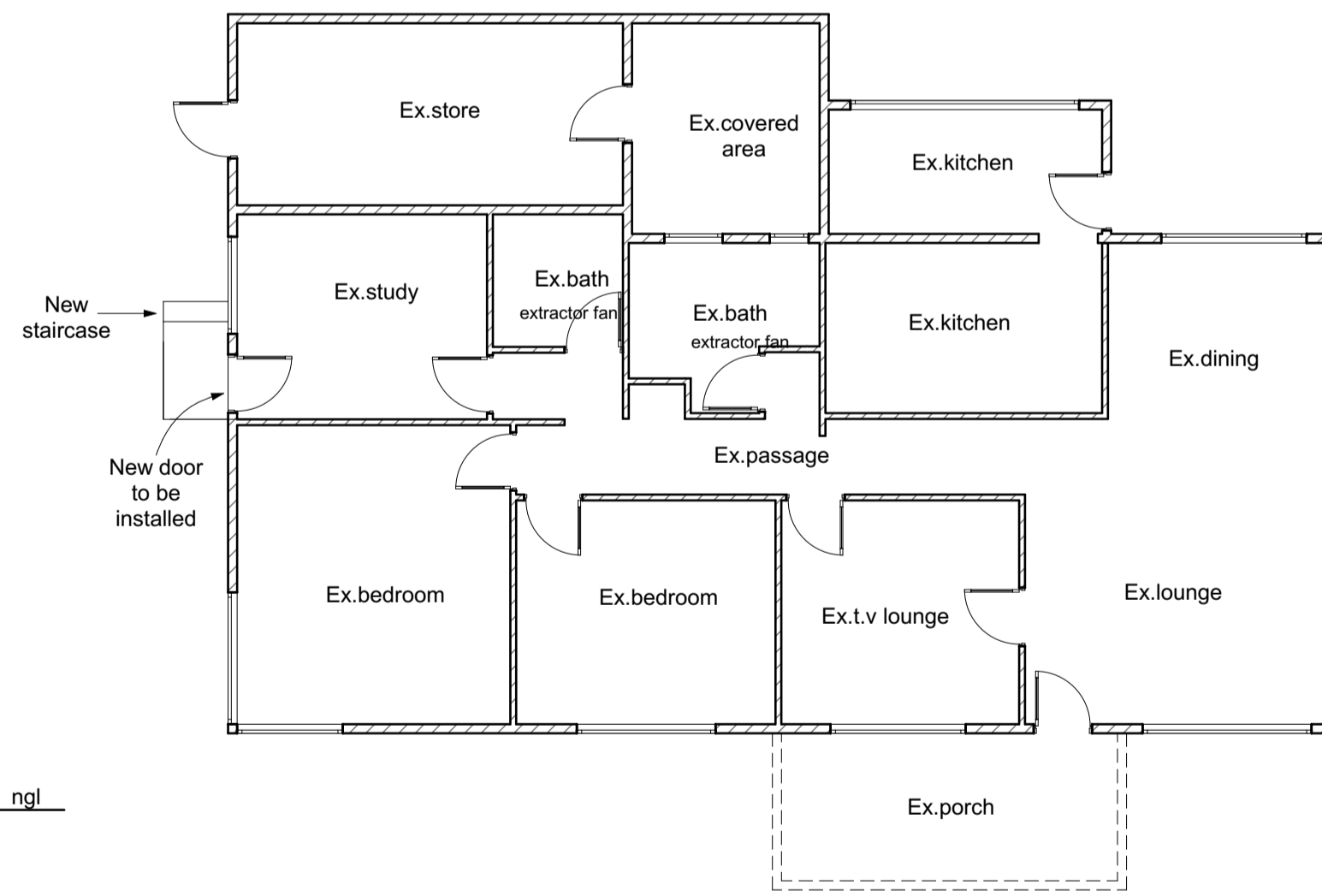
6mm Skimmed and painted Gypsum board fixed to 38x38mm SA-pine bracing @ max 400mm centers to underside of the beams and finished with 76mm Gypsum comices.



NORTH WEST ELEVATION (OUTBUILDING) 1:100



SOUTH WEST ELEVATION (MAIN HOUSE) 1:100



GROUND FLOOR PLAN (MAIN HOUSE) 1:100

NEIGHBOURS CONSENT

NAME	ADDRESS	I.D. NO.	TEL/CELL NO	SIGNATURE
Collins Mark	17 Lynford	621211518086	082 829 1449	<i>[Signature]</i>
LWABULE NEUBERTON	11 Lynford	871175626082	0729934460	<i>[Signature]</i>
Rosemanuel	11 Lonsdale Drive	740002156083	0837150877	<i>[Signature]</i>

AREAS SCHEDULE SPECIAL RESIDENTIAL 900 OCCUPANCY: H4	
SITE AREA	1,099.00m ²
PERMITTED FAR (N/A)	N/A
PERMITTED COV (50%)	549.50m ²
EXISTING FAR	296.00m ² 0.27
EXISTING COV	336.00m ² 30.57%

PROPOSED NEW FAR	14.00m ²	0.01
PROPOSED NEW COV	16.00m ²	1.46%
TOTAL NEW FAR	310.00m ²	0.28
TOTAL NEW COV	352.00m ²	32.03%
FAR IN HAND	N/A	N/A
COV IN HAND	197.50m ²	17.97%

PARABOLA
Architectural Designs
Plan Submission/As-Built Plans
Design/3D Render
paulpanace@gmail.com 082 226 4564

RESPONSIBLE PERSON	DATE	SCALE
PAUL ELLIOTT (SACAP D0827)		AS SHOWN
CHECKED	2022/03/28	
APPROVED	2022/03/28	

CLIENT INFORMATION
Alan Lukan & Theresa-Jane McMillan

MEMBER	ID NO	PHONE No	SIGNATURE
	6006255236086 & 6202040173086	071 355 3156	<i>[Signature]</i>

PROJECT INFORMATION
PROJECT DESCRIPTION
Add & Alts to Existing Dwelling

PROJECT NAME
House Lukan & McMillan

STREET ADDRESS
15 Lonsdale Drive Durban North

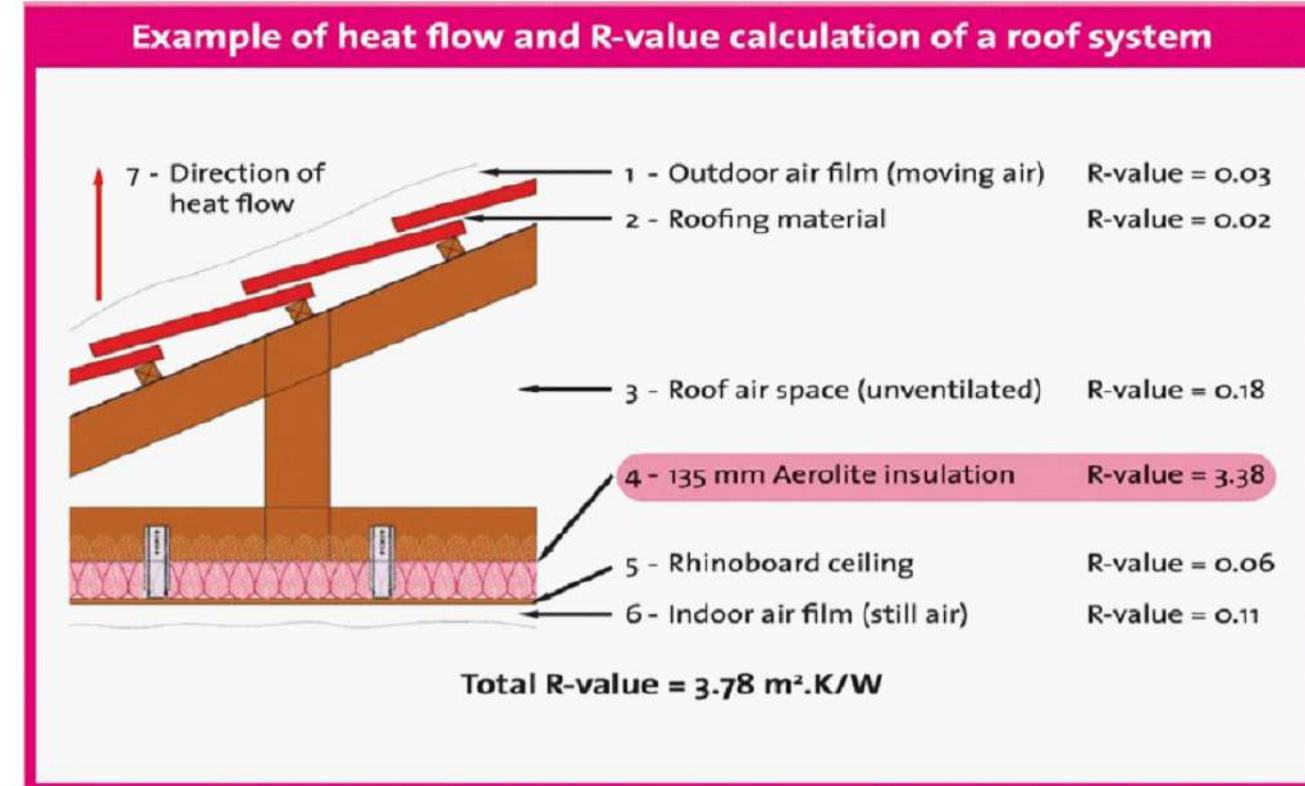
SITE DESCRIPTION
Sub 2584 of Lot 493 Durban North

DRAWING INFORMATION
DRAWING TITLE
Plans, Sections & Elevations

PROJECT NUMBER
01-05/22

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DOOR & WINDOW SCHEDULE					
	Total glazing area= 0.36m ²	Total glazing area= 0.9m ²	Total glazing area= 1.2m ²	Total glazing area= 3.0m ²	Total glazing area= 2.52m ²
DOOR/WINDOW TYPE:	Aluminium window	Aluminium window	Aluminium window	Aluminium window	Aluminium window
DOOR/WINDOW CODE:	(W1)	(W2)	(W3)	(W4)	(D1)
QUANTITY:	1	2	1	1	1
FRAME:	Standard approved aluminium frame	Standard approved aluminium frame	Standard approved aluminium frame	Standard approved aluminium frame	Standard approved aluminium frame
GLAZING:	6.38mm toughened safety glass, OBSCURE low E glazing	6.38mm toughened safety glass, CLEAR low E glazing	6.38mm toughened safety glass, CLEAR low E glazing	6.38mm toughened safety glass, CLEAR low E glazing	6.38mm toughened safety glass, CLEAR low E glazing



Roof insulation
Ventilation : Unvented
Climate Zone : 5
Orientation : North West

R-VALUES

Clay Roof Tiles :	0,48
Plaster Board Gypsum Ceiling	0,06
100mm Roof insulation- AEROLITE blanket at 300mm overlap	2,50
Total R-value for roof	3,37
Direction of heat flow:	downwards

CEILING

Ceiling insulation :	11,5
Thermal conductivity :	0,046w/mk
Ceiling insulation is to be by 80mm flexible Polyester blanket with a density of :	11,5kg/m3

WALLS
Walls to have a CR-value of 60 and to have an R-value of 0,35

GLAZING NOTES:

GLAZING TO COMPLY WITH PART N OF SANS 10400-2011

STRUCTURAL:

ALL REINFORCED CONCRETE WORK AND RETAINING WALLS TO BE STRICTLY IN ACCORDANCE WITH REGISTERED STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS.

FENESTRATION:

AIR LEAKAGE SHALL NOT EXCEED 2L/S/METERS SQUARE FENESTRATION AREA; 0.306 L/S/METERS SQUARE FIXED GLAZING; AND 5 L/S/METERS SQUARE REVOLVING/ SWING DOORS. (SANS 10400-XA-4.4.1, FENESTRATION MORE THAN 15% TO NETT FLOOR AREA PER STOREY THEN (SANS 10400-XA-4.4.2) FENESTRATION UP TO 15% TO NETT FLOOR AREA PER STOREY COMPLIES. (SANS 10400-XA-4.4.1) SOLAR HEAT GAIN AND HEAT CONDUCTANCE TO COMPLY WITH SANS 204-4.3.4

ROOF : PITCH 17.5 DEG.

CONCRETE ROOF TILES ON 38X38mm PINE PURLINS ONTO SISLATION 410 A.S. AT UNDERLAY ONTO ENGINEERS TRUSSES BY SPECIALIST ONTO WALL PLATE PROPERLY SECURED TO BRICKWORK WITH GALVANISED HOOP IRON TIES AT +- 1m SPACING

STORM WATER SPECS

-ALL RAINWATER PIPES TO BE 75mm DIAMETER
-ALL GUTTERS TO BE 150mm WIDE
-ALL PVC PIPES AND FACIA BOARDS TO BE MADE GOOD

WALLS:

EXTERNAL : BRICKWORK PLASTERED & PAINTED
INTERNAL : COMMON BRICKWORK PLASTERED & PAINTED
AIR VENTS TO BE PROVIDED MIN. 2 PER ROOM

GENERAL NOTES

ANY DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE DESIGNERS/OWNERS ATTENTION IMMEDIATELY.

CONTRACTOR TO ENSURE THAT NO CHANGES IN LEVELS ARE MADE OVER LOCAL AUTHORITY SERVITUDES OR UNDERGROUND SERVICES UNLESS PERMISSION HAS BEEN GIVEN IN WRITING BY THE LOCAL AUTHORITY.

ALL WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.

CORNER BEACONS TO BE LOCATED AND EXPOSED BEFORE WORK ON SITE COMMENCES.

ALL WORK TO COMPLY WITH SANS 10400.

ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS SANS 10400-2011. ALL LEVELS AND DIMENSIONS TO BE CHECKED AND VERIFIED IN SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

GENERAL SPECIFICATIONS

PLUMBING & DRAINAGE:

ALL PLUMBING TO COMPLY WITH PART P OF THE SANS 10400: 2010

ALL WASTE WATER PIPES AND DRAINS TO BE ACCESSIBLE ALONG THEIR ENTIRE LENGTH. PROVIDE INSPECTION EYES AT ALL DRAIN BENDS AND JUNCTIONS AND AT A MAX. 25m ALONG STRAIGHT RUNS. CLEANING EYES TO BE PROVIDED AT ALL BENDS AND JUNCTIONS OF WASTE PIPES. WASTE TO BE FITTED WITH 64mm RESEAL TRAPS. WATER CONNECTIONS TO FITTINGS : 15mm DIA TO WHB, WC AND SHOWERS 20mm DIA TO GEYSERS 25mm DIA TO FHR ALL VENT PIPES TO DISCHARGE TO EXTERNAL AIR 50MMR WASTE PIPES REQUIRE A 75MMR SLEEVE 110MMR WASTE PIPES REQUIRE A 150MMR SLEEVE ALL NEW SEWER LINES TO RUN IN THE CEILING VOID ON THE FLOOR BELOW.

FOR PLUMBING AND DRAINAGE LAYOUT PLANS AND THE CROSS SECTIONS REFER TO REGISTERED WET SERVICES ENGINEERS DRAWINGS FOR RATIONAL DESIGN DRAWINGS. ALL STORM WATER TO BE COLLECTED AND DRAIN TO MUNICIPAL STORM WATER DRAINAGE SYSTEM TO ENGINEERS DETAILS.

PLUMBING:

WASTE PIPES : 50 DIA. PVC PIPES
SEWER PIPES : 100 DIA. PVC PIPES
NEW SEWER TO CONNECT TO EXISTING AS SHOWN ALL WHB TO HAVE 50 DIA. 1WAY VENT VALVE ALL WC'S TO HAVE 2WAY VENT VALVE
NOTE: ALL NEW SEWER TO CONNECT TO EXISTING

FLOOR CONSTRUCTION:

FLOOR FINISH ON MIN. 25mm THICK SCREED ON 100mm THICK REINFORCED CONCRETE SLAB ON 250 MICRON DPM ON WELL COMPACTED POISONED EARTH.

FENESTRATION - GROUND STOREY ANCILLARY

- NETT FLOOR AREA = 52.40 sqm
- GLAZING AREA: TOTAL = 7.76 sqm
NORTH EAST ELEVATION = 0.9 sqm
NORTH WEST ELEVATION = 6.86 sqm
SOUTH EAST ELEVATION = nil
SOUTH WEST ELEVATION = nil

3. 15% OF NETT FLOOR AREA: (sqm/100) X 15= 7.86 sqm

CONCLUSION: TOTAL GLAZING AREA < 15% OF NET FLOOR AREA
7.76 sqm < 7.86 sqm

GLAZING IS LESS THAN 15% OF NETT FLOOR AREA OF PROPOSAL THEREFORE CALCULATIONS ACCORDING TO SANS 204 NOT REQUIRED.

External wall construction

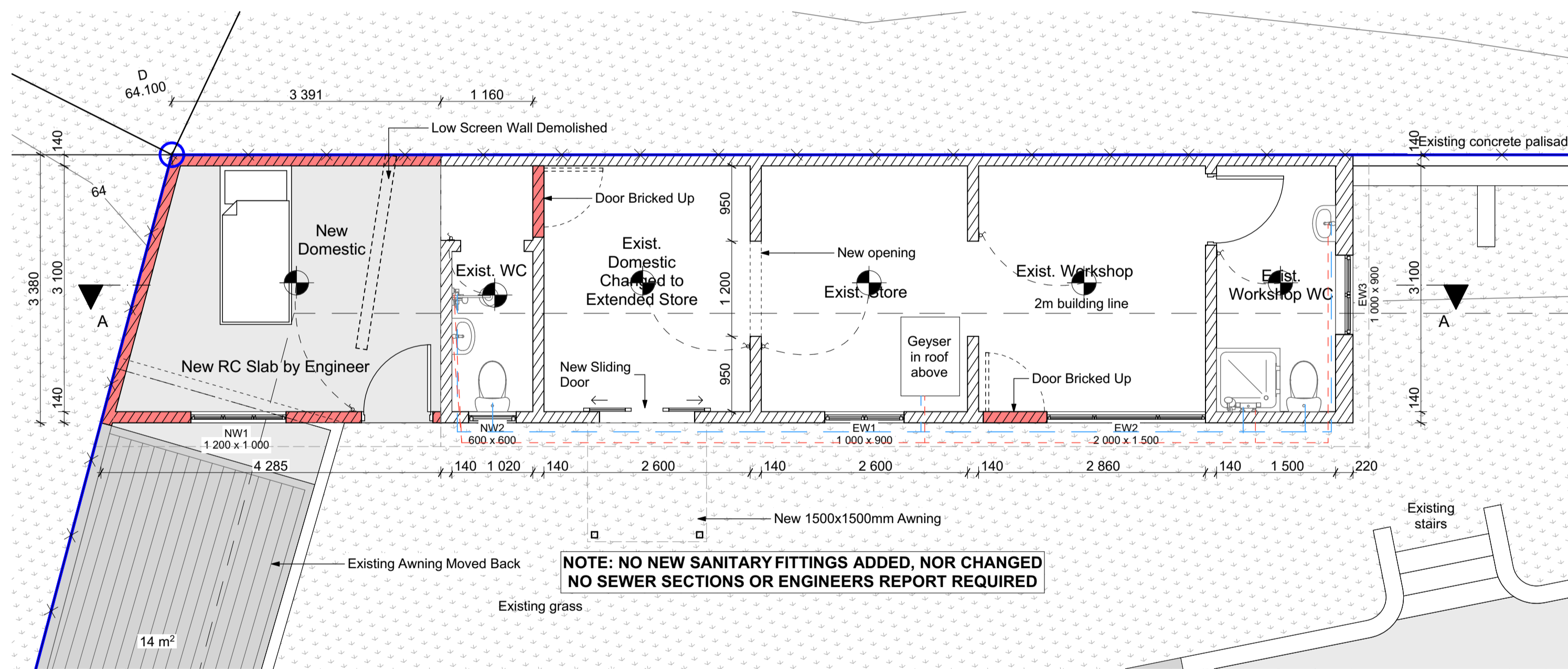
SANS 10400 Table 3 - Minimum CR- value, in hours, for external walling:

Wall type	Masonry: Double-skin masonry wall, no cavity, plastered internally
Minimum CR-value	40Hrs
Wall R-value required	0.35

Calculation:

	Conductivity (W/m.°C)	Thickness (m)	Resistivity (m²K/W)
Minimum CR-value	0.6	0.015	0.025
Minimum CR-value	0.6	0.220	0.314
Minimum CR-value	0.6	0.015	0.025
Total R-value achieved			0.364

Conclusion:
Wall complies with minimum R-value of 0.35 for external walls



ELECTRICAL & WATER LAYOUT (OUTBUILDING) 1:50

ELECTRICAL LEGEND

- ☉ CEILING MOUNTED LIGHT FITTING
- ☛ WALL LIGHT
- ☛ LIGHT SWITCH
- ☛ 2 WAY LIGHT SWITCH
- ☛ STOVE CONNECTION
- ☛ DISTRIBUTION BOARD

ALL ELECTRICAL WIRING TO BE CARRIED OUT BY QUALIFIED ELECTRICAL CONTRACTOR

GROUND STOREY OUTBUILDING

LEGEND:

	= 11W
--	-------

ALLOWED SKWH PER sqm

sqm X 5 Kwh
51.86 sqm X 5 Kwh
259.30 Kwh

ENERGY CONSUMPTION

= (5 hrs per day X 365) X (6 X 11 WATTS)
1825 kwh X 66 watts (x 1000)
120.45kwh

WATER SUPPLY

ALL HOT WATER PIPES NOT CHASED INTO WALLS OR ENCASED IN FLOORS TO BE INSULATED TO MIN R-VALUE OF 1

DOMESTIC RESIDENCE H4.1 BEDROOM

HOT WATER DEMAND
2 PERSONS PER BEDROOM
1 X 2 =2

2 X 140L /PERSON= 280L

THIS WILL BE THE DEMAND OVER A 24H PERIOD

A20 CLASSIFICATION	:H4
A21 OCCUPANCY	:2 PERSONS PER BEDROOM
TYPE OF HOT WATER GENERATION	:SOLAR WITH BACK UP ELEMENT
HOT WATER DEMAND	:140L PER DAY
NUMBER OF BEDROOMS	:1
TOTAL DEMAND	:1 X 2 X140L = 280L (50% XA2)
CAPACITY PROVIDED	:150L

WATER SUPPLY

WATER SUPPLY	LEGEND
WATER METER	
COLD WATER STOP COCK	
HOT WATER STOP COCK	
25mm COLD WATER GEYSER PIPE	
25mm HOT WATER GEYSER PIPE	
15mm COLD WATER SUPPLY PIPE	
15mm HOT WATER SUPPLY PIPE	
G	
WHB	
SINK	
WC	
OVERFLOW	

WATER SUPPLY

DRIP TRAY TO BE PROVIDED AND TO COMPLY WITH SANS 10400
A DISCHARGE PIPE SHALL BE CONNECTED TO THE DISCHARGE CONNECTION OF THE DRIP TRAY AND SHALL BE LEAD THROUGH AN EXTERNAL WALL IN ORDER TO DISCHARGE ON THE OUTSIDE OF THE BUILDING IN A VISIBLE POSITION



RESPONSIBLE PERSON	DATE	SCALE
DRAWN PAUL ELLIOTT (SACAP D0827)		AS SHOWN
CHECKED PAUL ELLIOTT (SACAP D0827)	2022/03/28	
APPROVED PAUL ELLIOTT (SACAP D0827)	2022/03/28	

CLIENT INFORMATION

CLIENT/COMPANY NAME
Alan Lukan & Theresa-Jane McMillan

MEMBER	SIGNATURE
ID NO 6006255236086 & 6202040173086	
PHONE No 071 355 3156	

PROJECT INFORMATION

PROJECT DESCRIPTION
Add & Alts to Existing Dwelling

PROJECT NAME
House Lukan & McMillan

STREET ADDRESS
15 Lonsdale Drive Durban North

SITE DESCRIPTION
Sub 2584 of Lot 493 Durban North

DRAWING INFORMATION

DRAWING TITLE
Door & Window Schedule, SANS10400XA/204 Compliance

PROJECT NUMBER

01-05/22

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