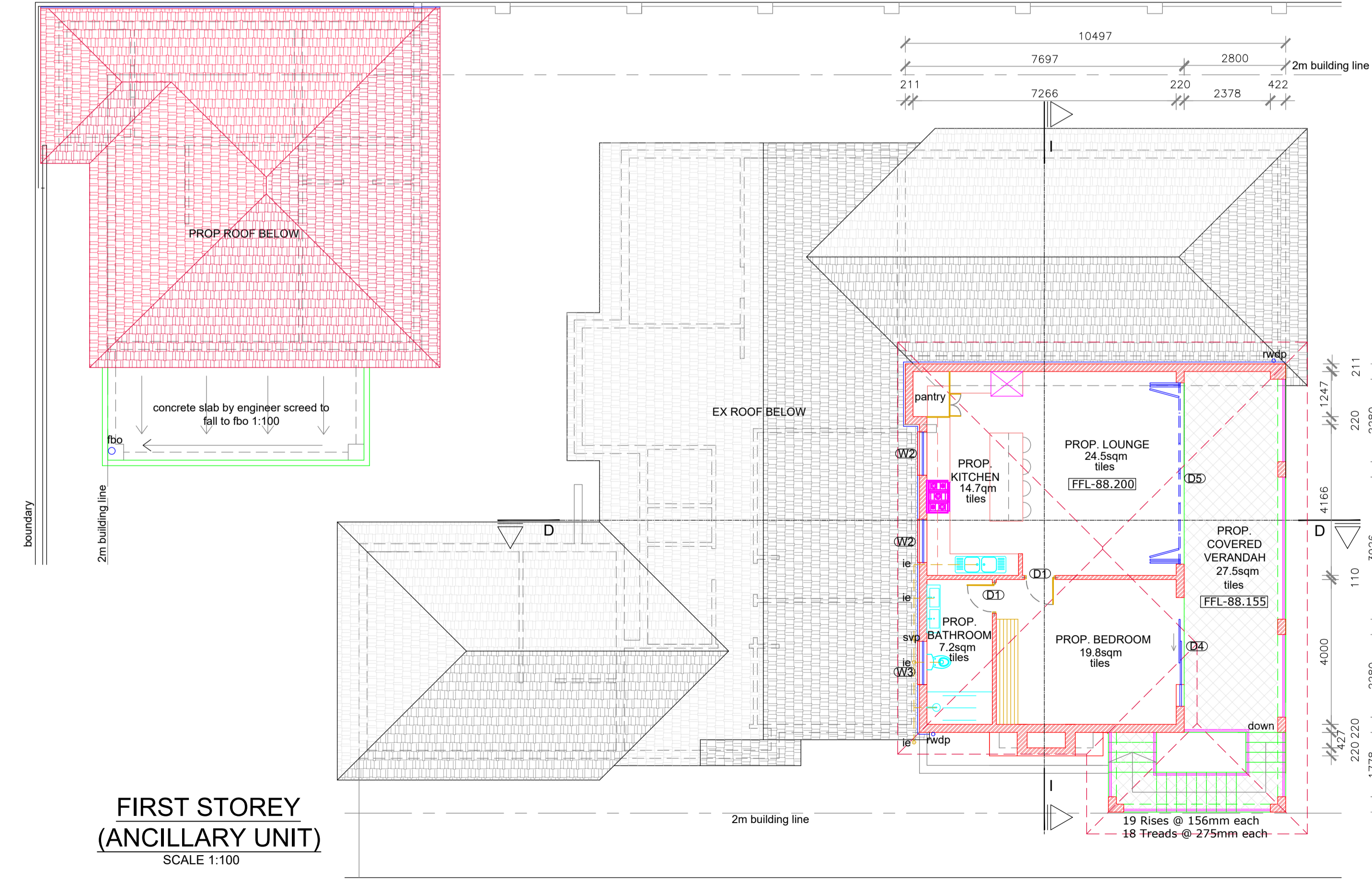
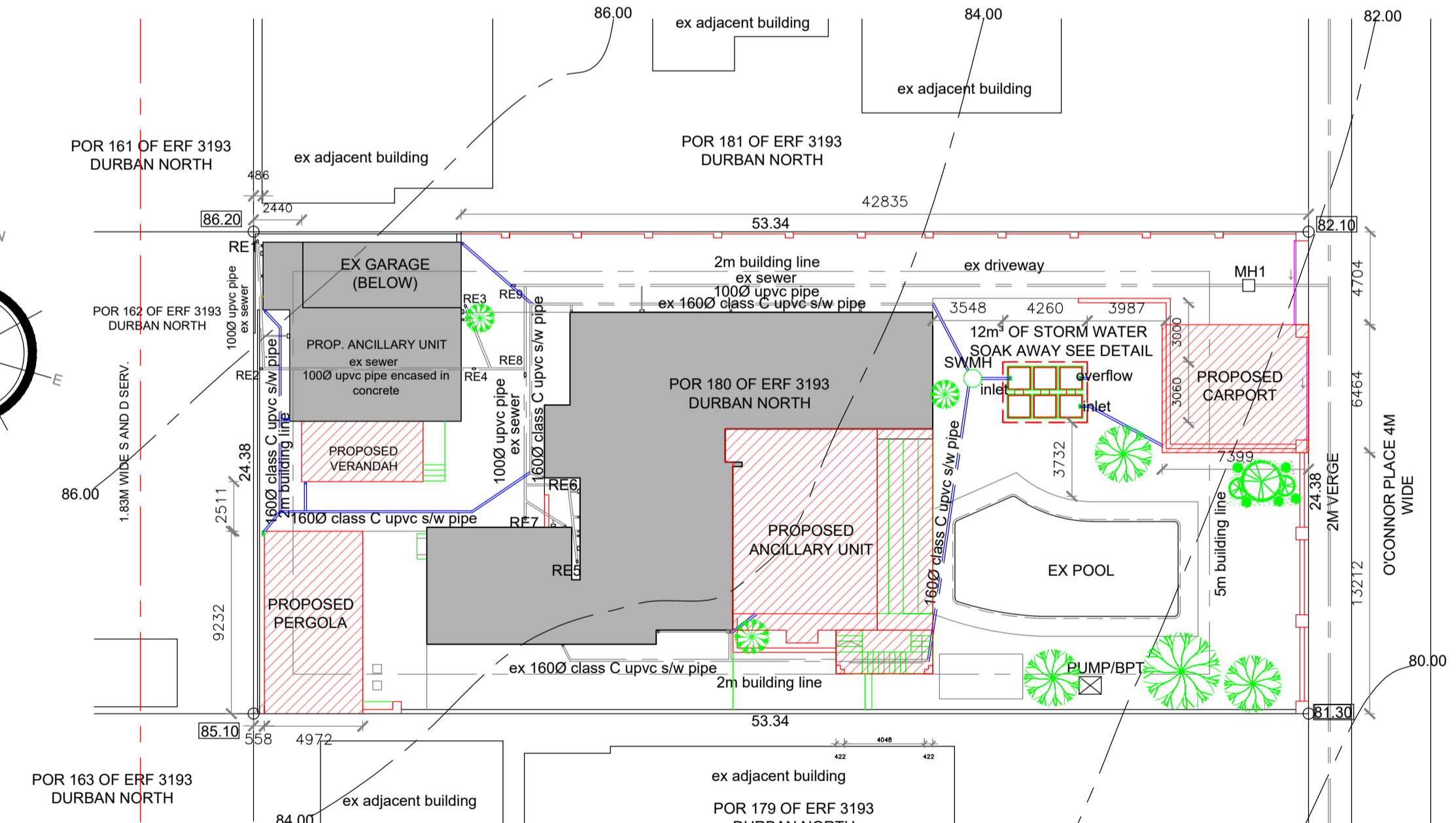


**GROUND STOREY**  
SCALE 1:100



**FIRST STOREY  
(ANCILLARY UNIT)**  
SCALE 1:100



**SITE PLAN**  
SCALE 1:250

**WALLS**  
SANS 10400-XA REQUIRED R-VALUE 0.35  
SANS 204 REQUIRED CR-VALUE 60 HOURS  
230MM BRICK WALLS WITH A 50MM AIR CAVITY  
R-VALUE = 1.9 COMPLIES AS PER SANS 10400-XA  
CR-VALUE = 60 COMPLIES AS PER SANS 204

**WATER**  
DWELLING HOUSE LOW RENTAL : 80-115 L/CAPITADAY  
ASSUMED HOT WATER CONSUMPTION : 30L  
NUMBER OF PERSONS : 4 PER DAY  
ASSUMED DAILY HOT WATER CONSUMPTION : 120L  
ASSUMED ANNUAL HOT WATER CONSUMPTION : 43,68KL  
50% OF ANNUAL HOT WATER CONSUMPTION : 21,34KL  
60L PER DAY PROVIDED BY 50KW HEAT PUMP.  
>80MM DIAMETER HOT WATER PIPE WITH A MINIMUM R-VALUE OF 1.5 TO BE USED

**ROOF (NOT VENTILATED)**  
R-Value required = 2.7  
Material R-Value  
Roof tile : 0.45  
Ceiling (gypsum board) : 0.05  
Insulation (100mm aerolite) : 2.17  
Insulation with 30cm overlaps  
Total R-Value = 2.7 [complies]

**SITES ZONED: SPECIAL RESIDENTIAL 900**  
POR 180 OF ERF 3193 DURBAN NORTH SITE AREA: 1301sqm  
TOTAL F.A.R PERMISSIBLE: N/A  
TOTAL COVERAGE PERMISSIBLE: 50% = 650.5sqm

FLOOR AREA:	AREA	COV.
EX. GROUND STOREY -	239.7m <sup>2</sup>	239.7m <sup>2</sup>
EX. OUTBUILDING -	56.5m <sup>2</sup>	56.5m <sup>2</sup>
EX. GARAGE TO STORE -	11.1m <sup>2</sup>	11.1m <sup>2</sup>
EX. GARAGE TO STORE -	15.4m <sup>2</sup>	15.4m <sup>2</sup>
<b>TOTAL EX AREA-</b>	<b>322.7m<sup>2</sup></b>	<b>322.7m<sup>2</sup></b>
PROP. GROUND STOREY VERANDAH -	115.2m <sup>2</sup>	115.2m <sup>2</sup>
PROP. VERANDAH OUTBUILDING -	18.7m <sup>2</sup>	18.7m <sup>2</sup>
PROP. FIRST STOREY ANCILLARY -	76.2m <sup>2</sup>	76.2m <sup>2</sup>
PROP. FIRST STOREY VERANDAH -	28.2m <sup>2</sup>	28.2m <sup>2</sup>
PROP. CARPORT -	42.1m <sup>2</sup>	41.2m <sup>2</sup>
<b>TOTAL NEW AREA-</b>	<b>279.5m<sup>2</sup></b>	<b>175.1m<sup>2</sup></b>

EX COVERAGE = 322.7sqm = 24.8%  
PROP COVERAGE = 175.1qm = 13.5%  
TOTAL COVERAGE = 497.8sqm = 38.3%  
COVERAGE IN HAND = 152.7sqm = 11.7%

**NOTES IN RESPECT OF SA STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS SANS 10400-2010**

- CONSTRUCTION NOTES**  
**GENERAL NOTES**
- Contractor to report any discrepancies, omissions or deviations to architect.
  - Do not scale this drawing.
  - Contractor to notify local authority when inspections are due and to obtain all the necessary clearances and certificates.
  - Contractor to locate & identify any services on site and protect these from damage during construction.
  - Contractor to ensure all certificates of compliance are handed to owner on completion of construction.
  - all construction materials and components to comply strictly with all national building regulations (NBR), and SANS 10400 Specifications and codes of practice.
- WATER NOTES:**
- Municipal ticket registered plumbing contractor is to perform plumbing installation and comply with municipal water supply by-laws.
- PART N: GLAZING**
- All glazing to comply with SANS 10400-N 2010 as per glazing schedule.
  - Glazing certificate required from SAGGA on completion.

- SUSPENDED CONCRETE SLABS WALLS AND FOUNDATIONS**
- Strictly to Engineers detail and design.
  - Joints to walls and slabs to comply with engineer.
  - Engineer to inspect building work during construction.
  - Stability to be certified by engineer on completion of construction.
  - New common brick walls as shown with galvanised brick force as specified by engineer and to be provided at slab, sill and wall plate level, and laid to manufacturers recommendations, with expansion joints to engineers details.
  - All sand used in mortar to be screened free of impurities and cleaned, top surface of all new parapets, openings, exposed walls and sills to be waterproofed with approved waterproof membrane.
  - Precast r/c lintels to all new openings with brick force above as per engineer.
  - 1 Coat smooth sand/cement plaster to all new external walls. All materials used in plaster to comply with the relevant SANS 10400 standard specifications.
  - All support columns and beams to Engineers design.

- ROOF**
- 22° Roof pitch with concrete roof tiles with approved underlay. Roof fixed as per manufacturers specification on 38 x 38 battens at 700mm centers on PVC waterproof membrane/sisilation on 38 x 150mm trusses (bolted together) by specialist at max 760 cnts on 76 x 114 wall plates.
  - Galvanized truss ties built in to brickwork min 4 courses per truss end as per SANS 10400 part L.
  - 230 x 10mm thk Fibre Cement Barge Boards and Fascias.
  - 100 x 100mm Powder coated aluminum gutters and downpipes.
  - 200mm STYCON durable polystyrene villa cornice to be fixed to walls with STYCON adhesive.
  - Professional roofing engineer to certify fixing and stability of roof.
  - All over hangs minimum 600mm.
- ELECTRICAL**
- All lighting and ventilation to comply with SANS 10400 - O
  - Electrical refer to electrical layout.
  - Electrical to be fitted by council approved registered electrician.

**AMFA**  
ARCHITECTURAL MANAGEMENT & FACILITIES ASSOCIATION

*S. Mofe*

**CASE ID: 21848**

**13 October 2023**

**APPROVED**

**OWNER / AGENT SIGNATURE:**

**CLIENT:**  
MR. PETRUS DANIEL JACOBS AND  
MRS. LINDI JACOBS

**ADDRESS:**  
17 O'Connor Place,  
POR 180 OF ERF 3193 DURBAN NORTH

**PROJECT:**  
PROPOSED ADDITIONS AND ALTERATIONS

Budget Plans cc Trading as  
**Architectural Aspirations**  
CK 95/35928/23

Address : 27 Lady Bruce Place  
Morningside  
Durban  
4001

Tel : 031 -208 9382  
Fax: 086 428 3415  
email: mariablack1960@GMAIL.COM  
www.architecturalaspirations.co.za

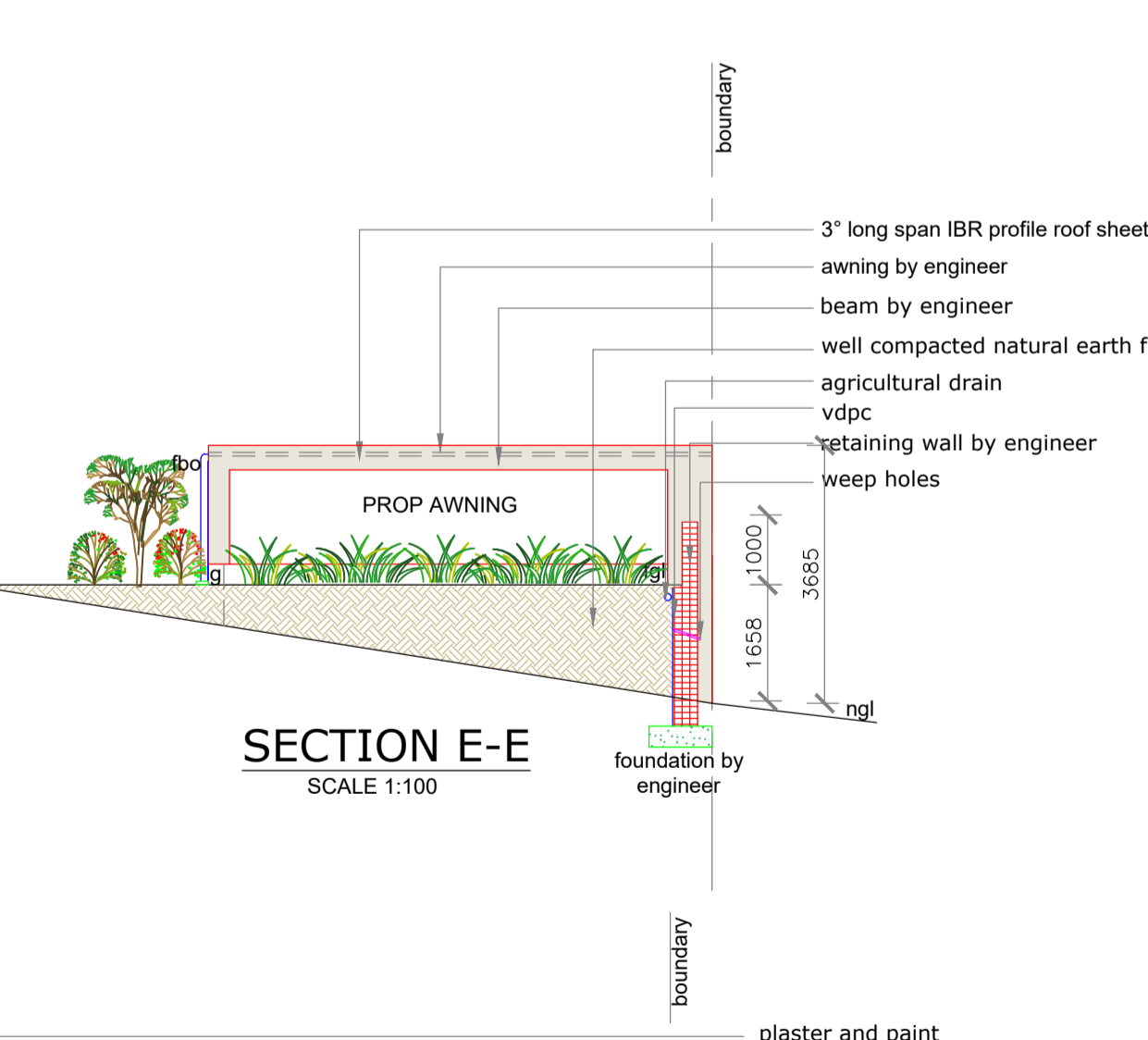
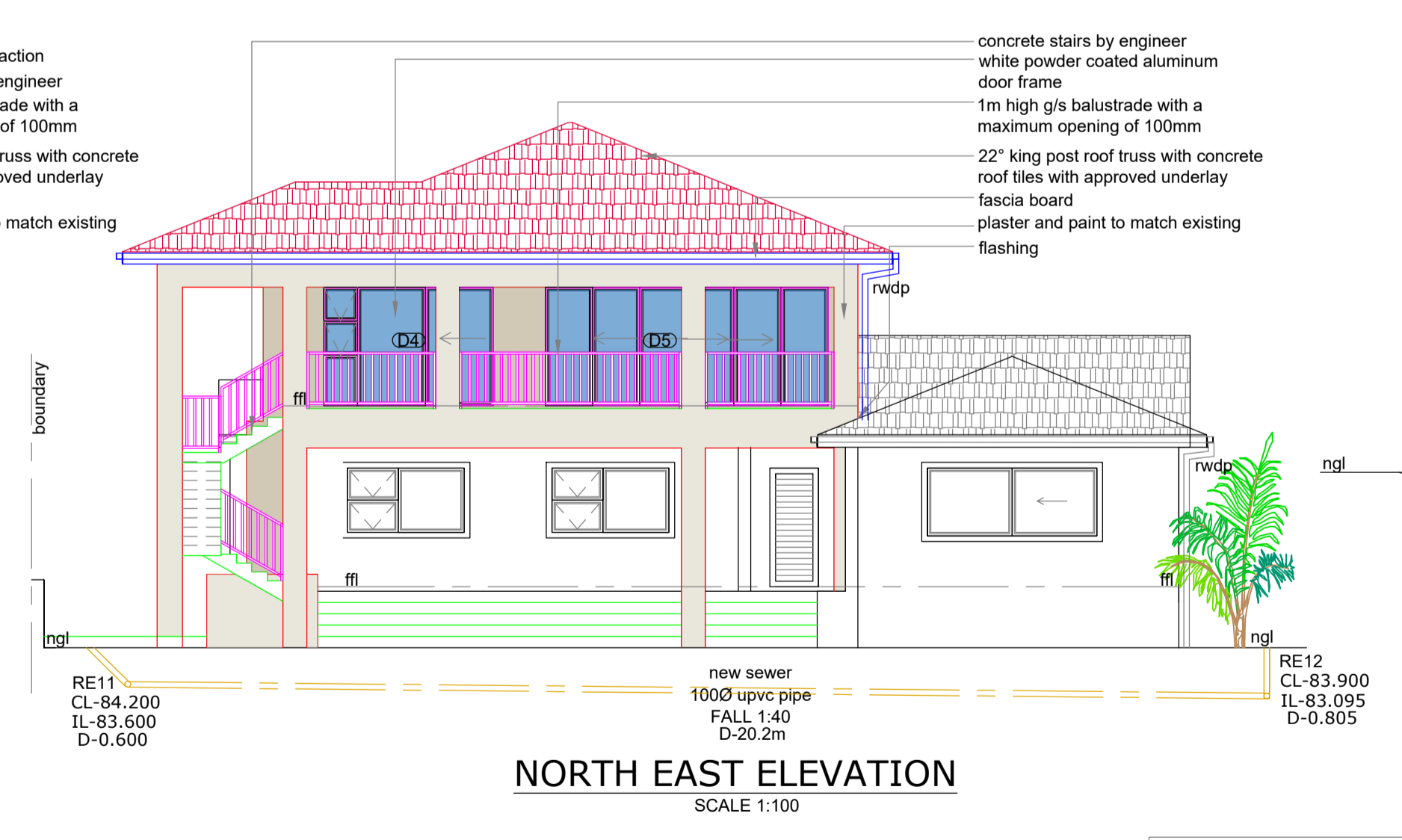
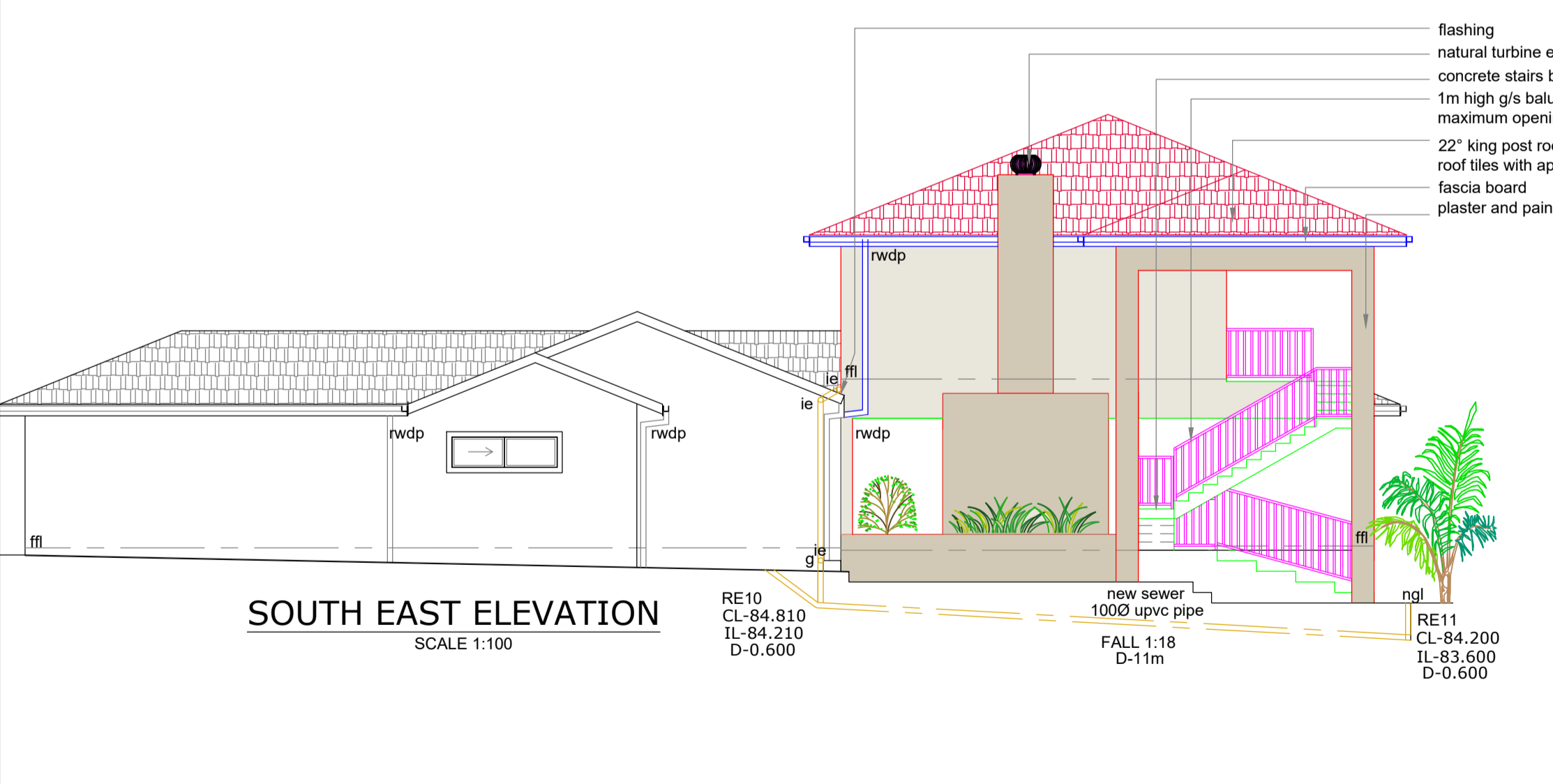
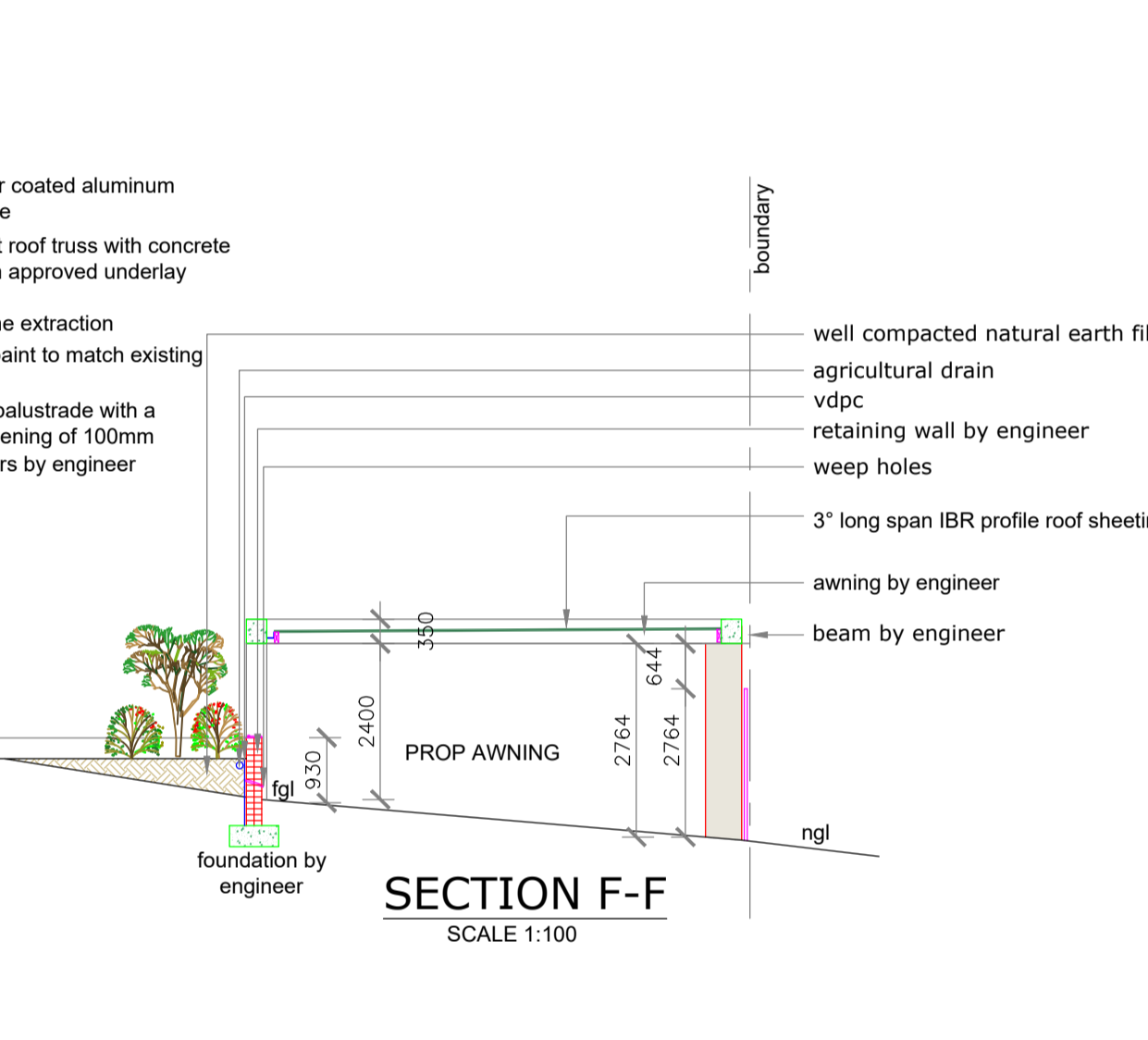
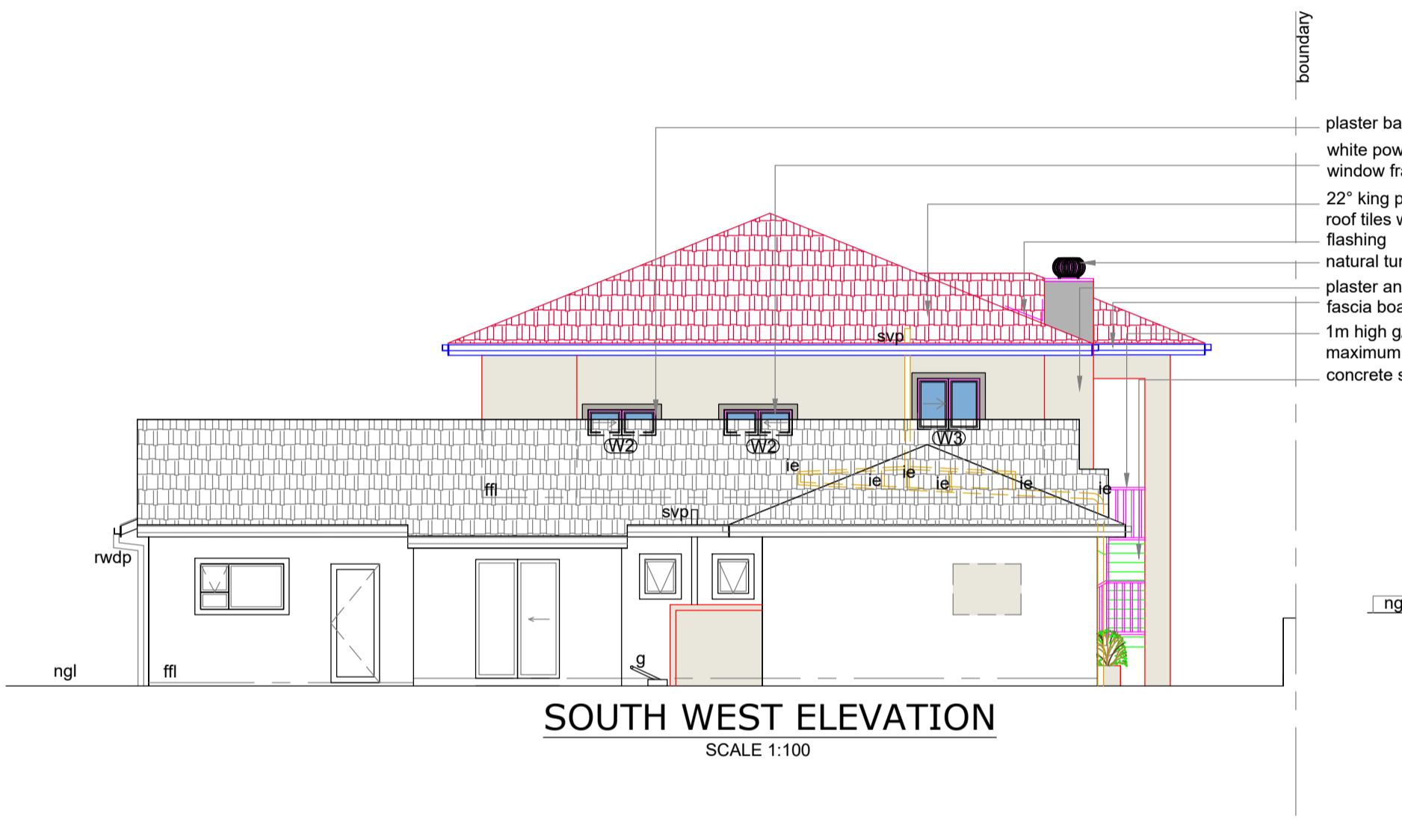
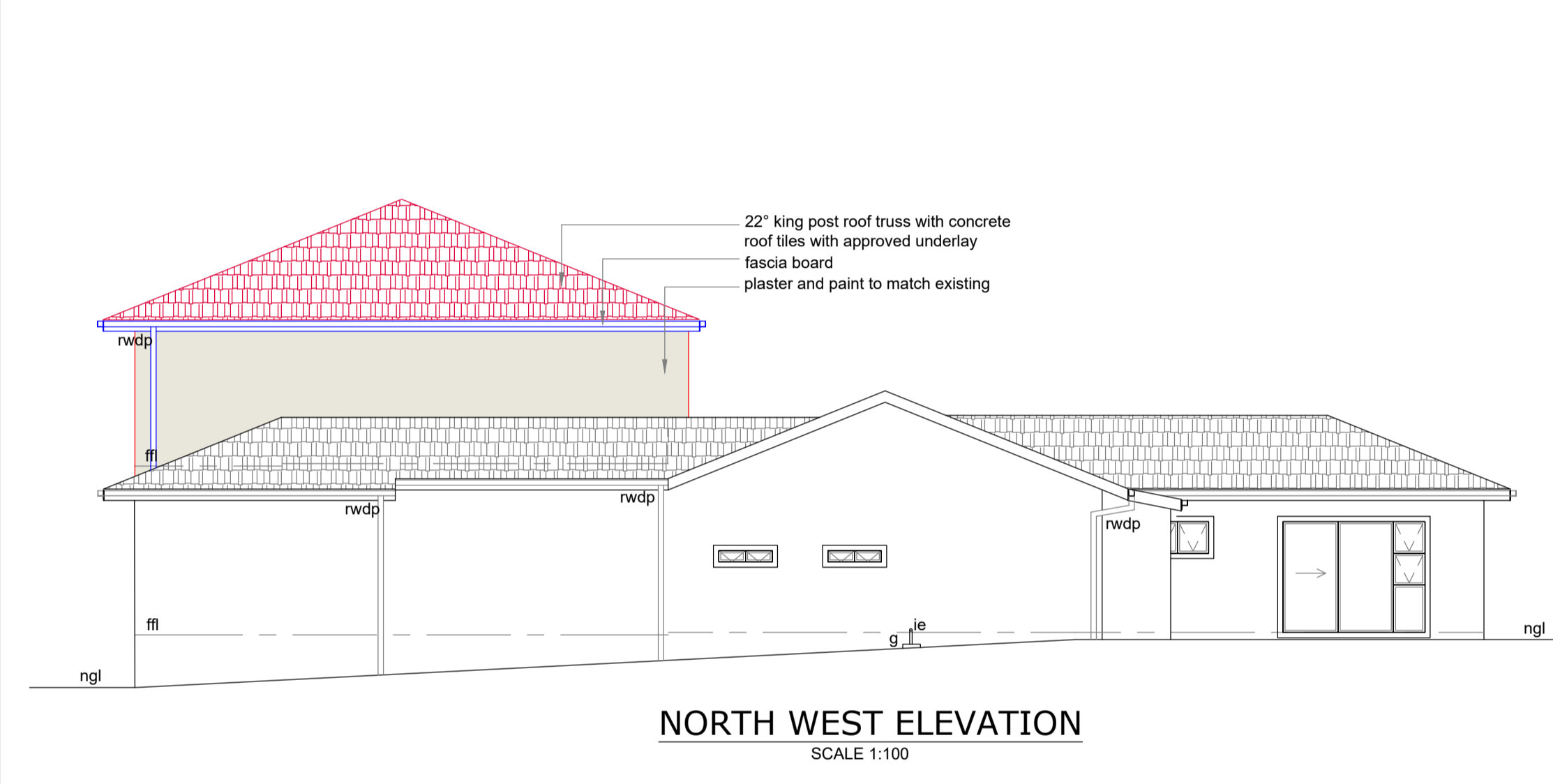
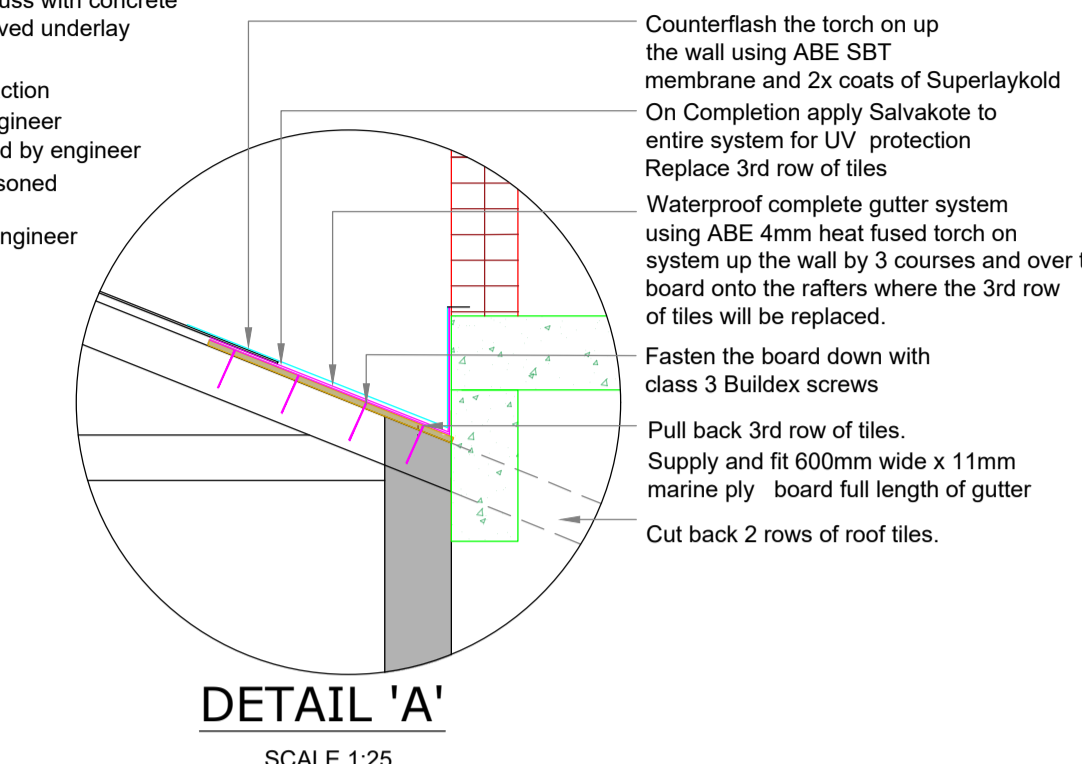
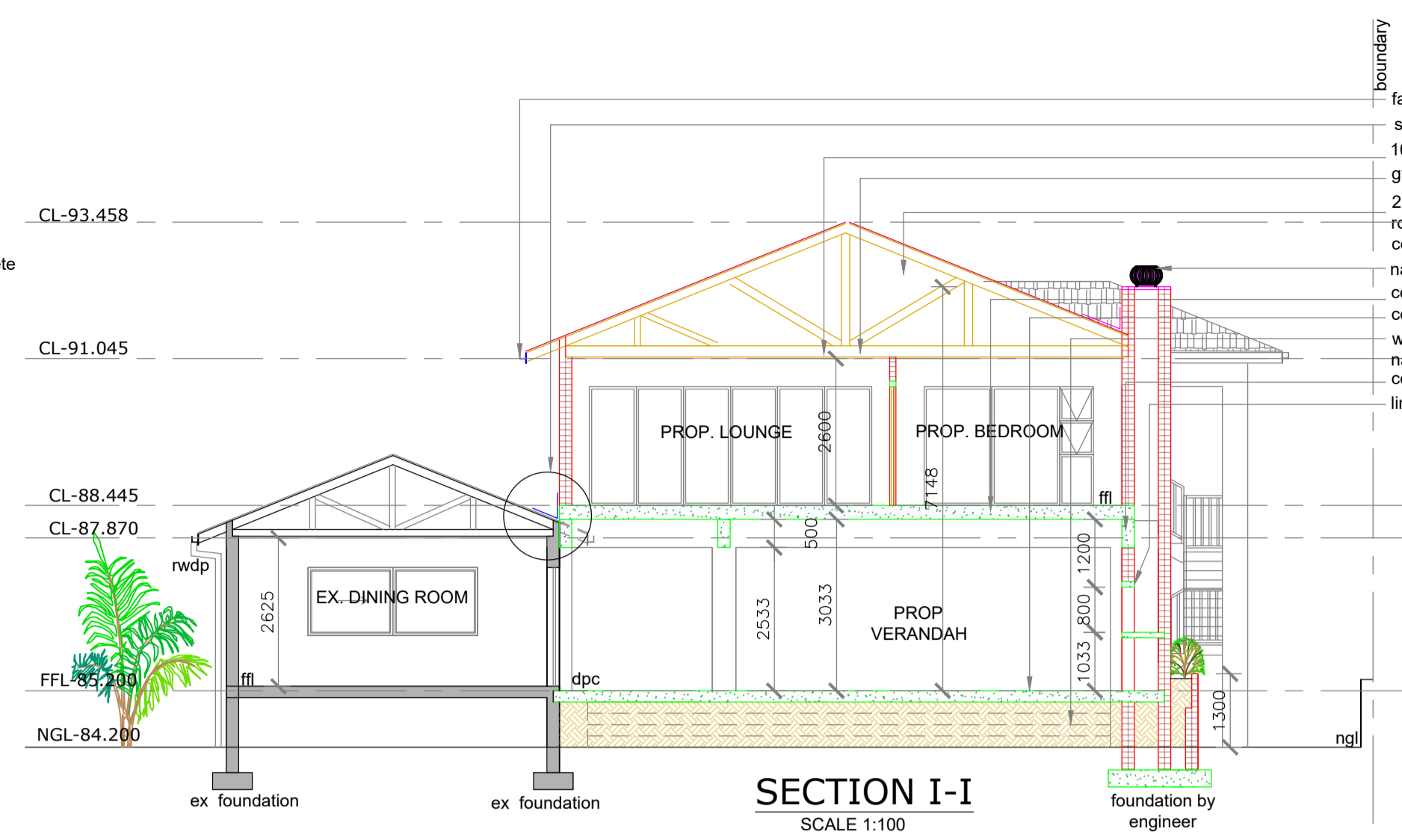
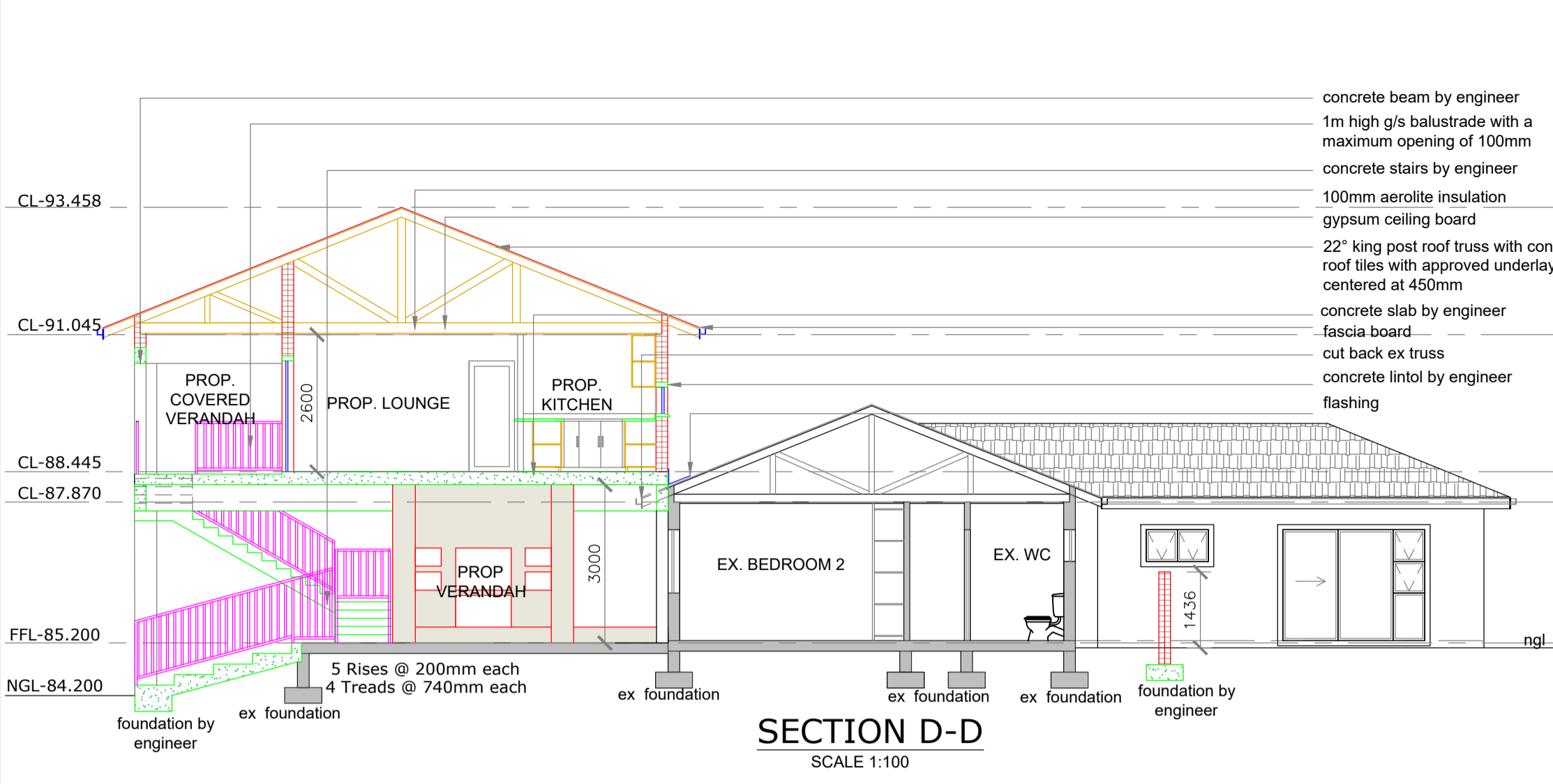
**CHECKED BY:**  
MARZAN BLACK  
Registration: SACAP T0076  
KZNIA 103 SAIBD B0404

**Drawn:** WESLEY R. LAVIS  
Registration: SACAP PAD 3383 5850  
SAIBD L0519/2021/KZN

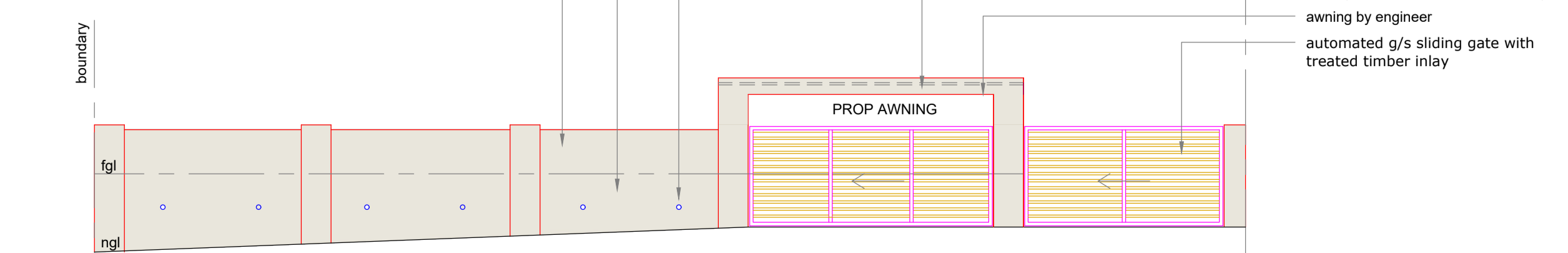
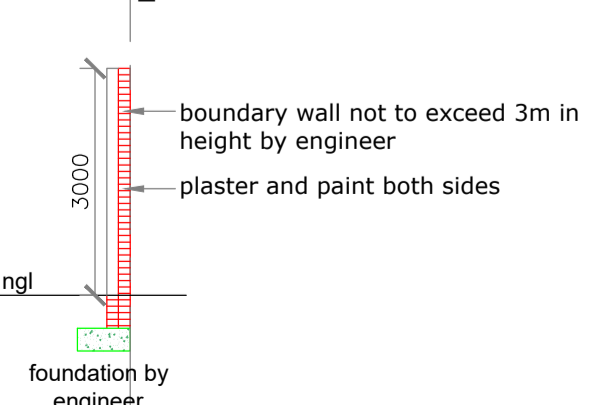
Date: 17 February 2023  
Sheet: 1 of 4  
Drawing Number: 1508/21W

Page Size: A1  
Scale: as shown  
Revision: g

NAME	ADDRESS	TELEPHONE NUMBER	SIGNATURE
Colin Cross	15 O'Connor Place, Durban North	0829007175	
Brian Gordon	19 O'Connor Place, Durban North	0828000965	
Johannes Jacobus Van Der Berg	20 Maryland Ave, Durban North	0828776437	



NAME	ADDRESS	TELEPHONE NUMBER	SIGNATURE
Colin Cross	15 O'Connor Place, Durban North	0829007175	
Brian Gordon	19 O'Connor Place, Durban North	0828000965	
Johannes Jacobus Van Der Berg	20 Maryland Ave, Durban North	0828776437	



OWNER / AGENT SIGNATURE:

CLIENT:  
MR. PETRUS DANIEL JACOBS AND  
MRS. LINDI JACOBS

ADDRESS:  
17 O'Connor Place,  
POR 180 OF ERF 3193 DURBAN NORTH

PROJECT:  
PROPOSED ADDITIONS AND ALTERATIONS

Budget Plans cc Trading as  
**Architectural Aspirations**  
CK 95/35928/23

Address : 27 Lady Bruce Place  
Morningside  
Durban  
4001

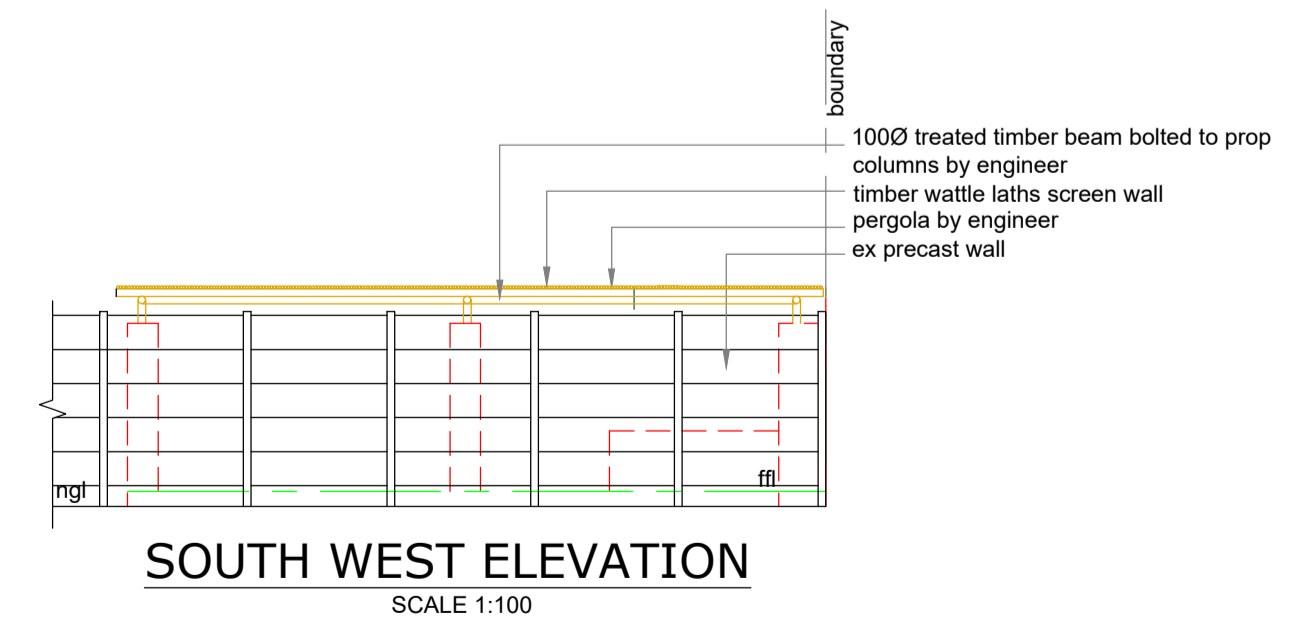
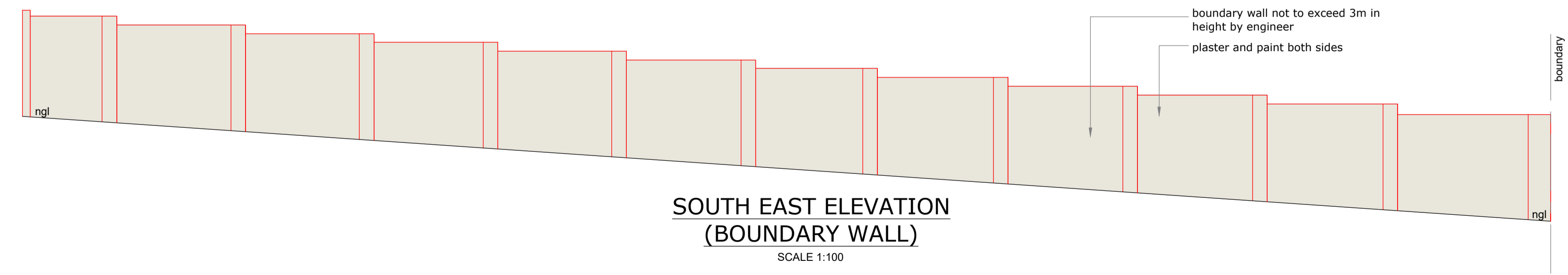
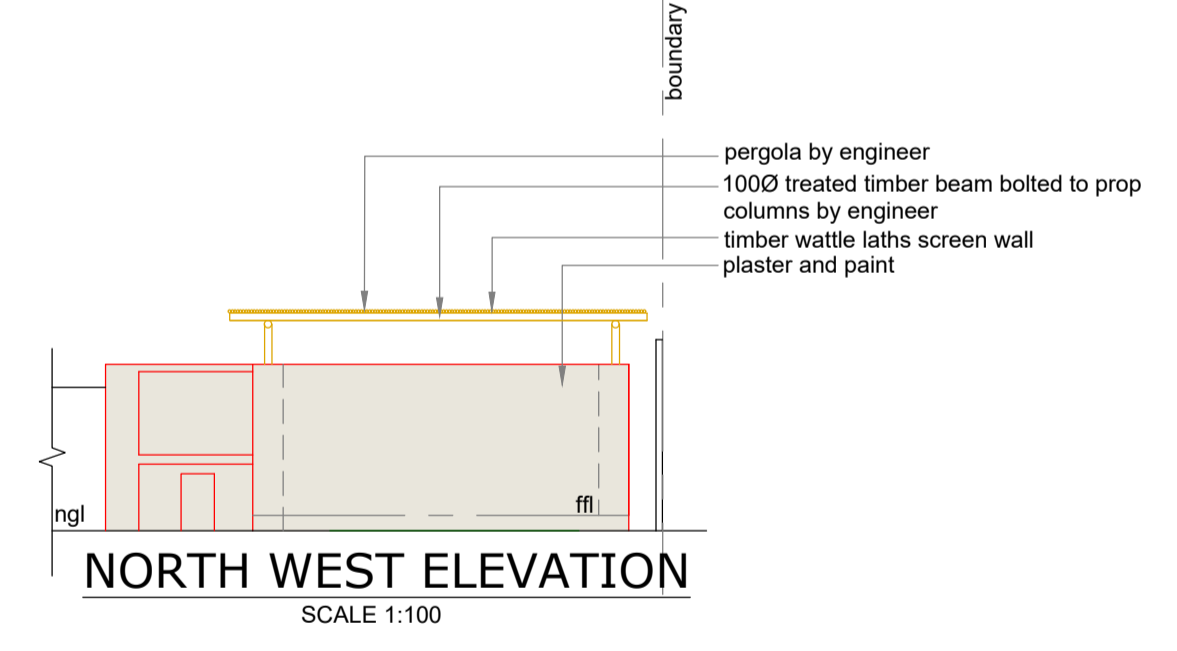
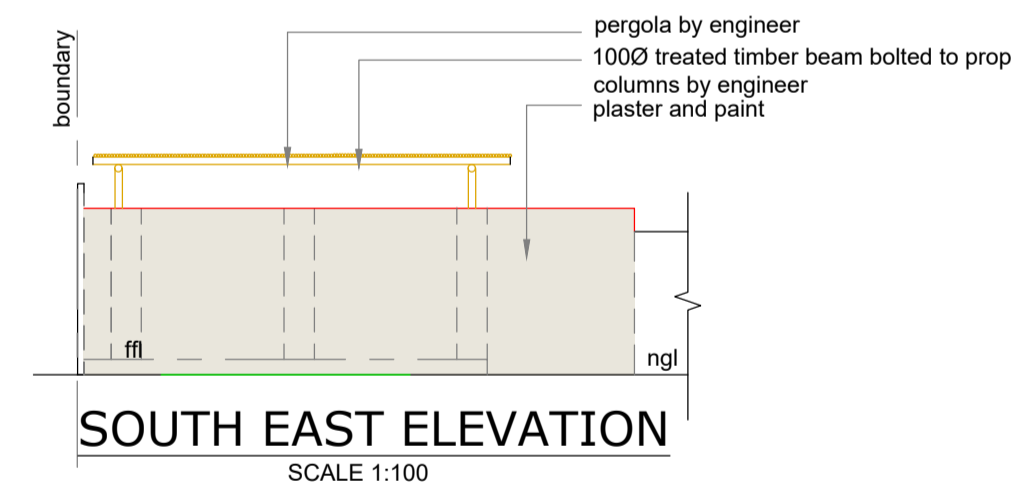
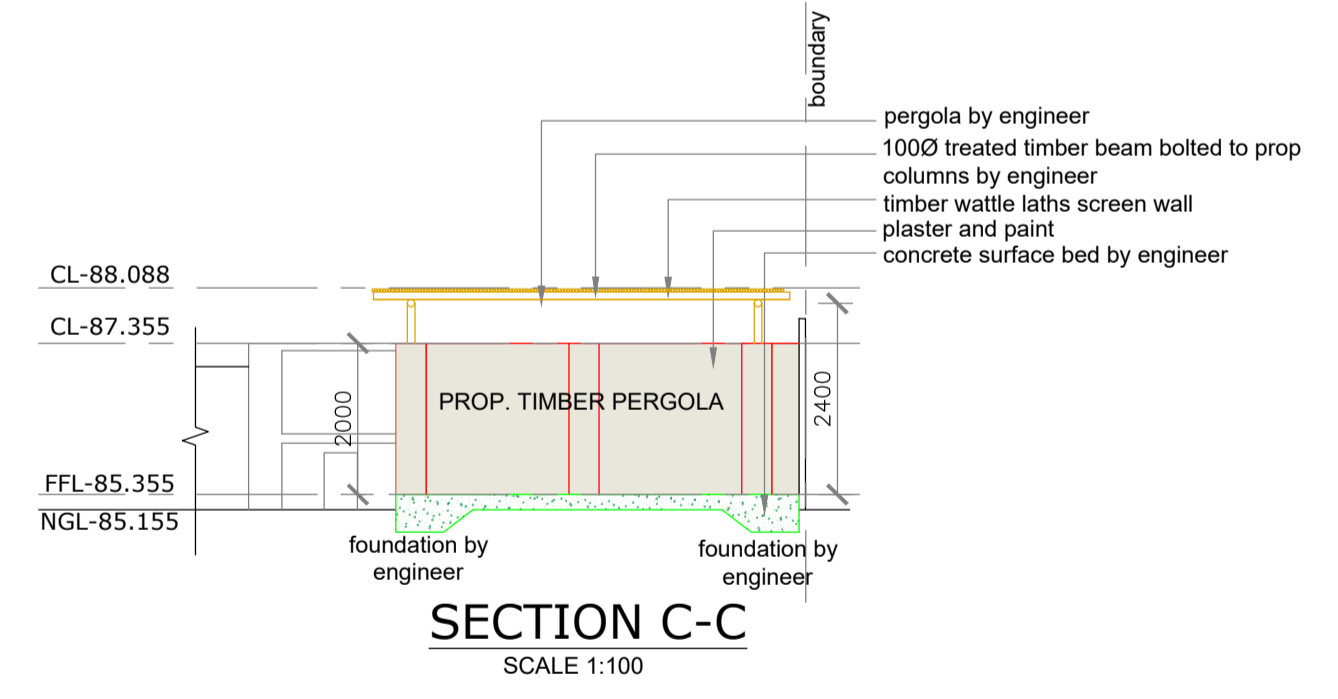
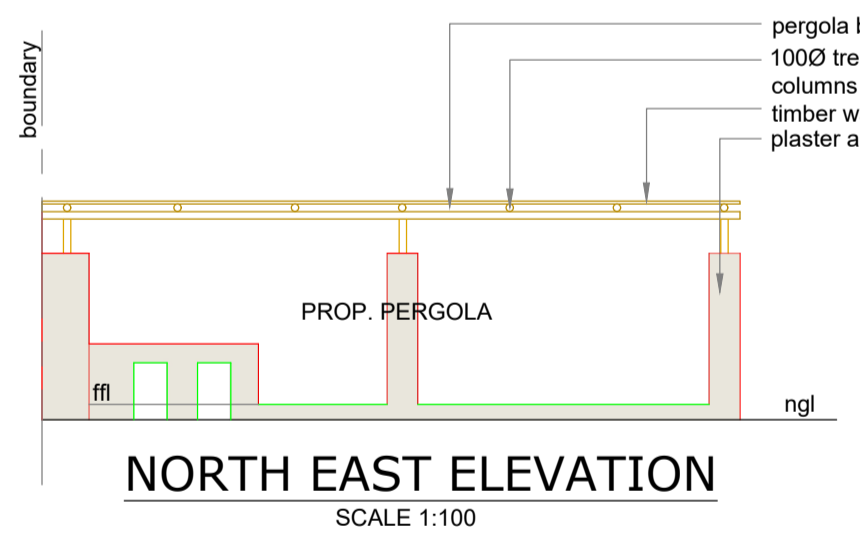
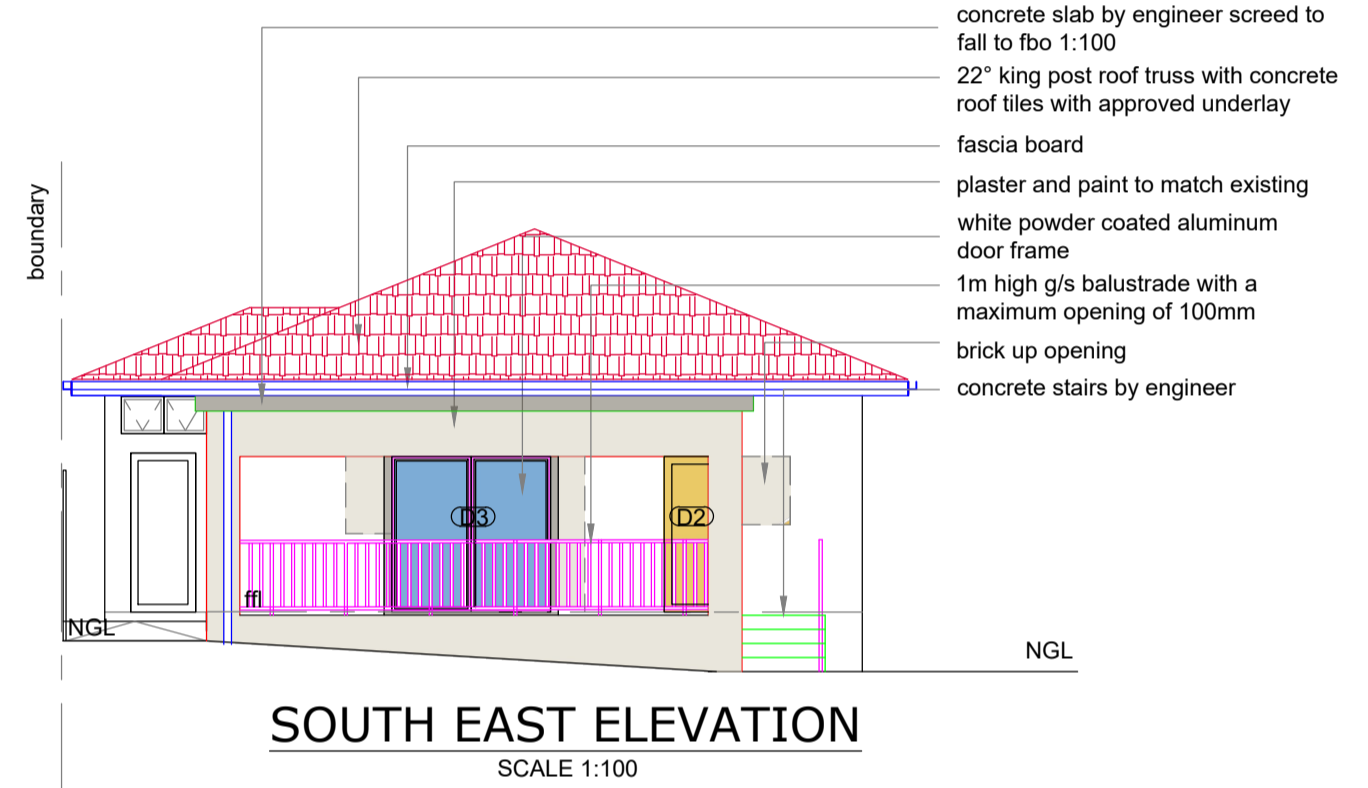
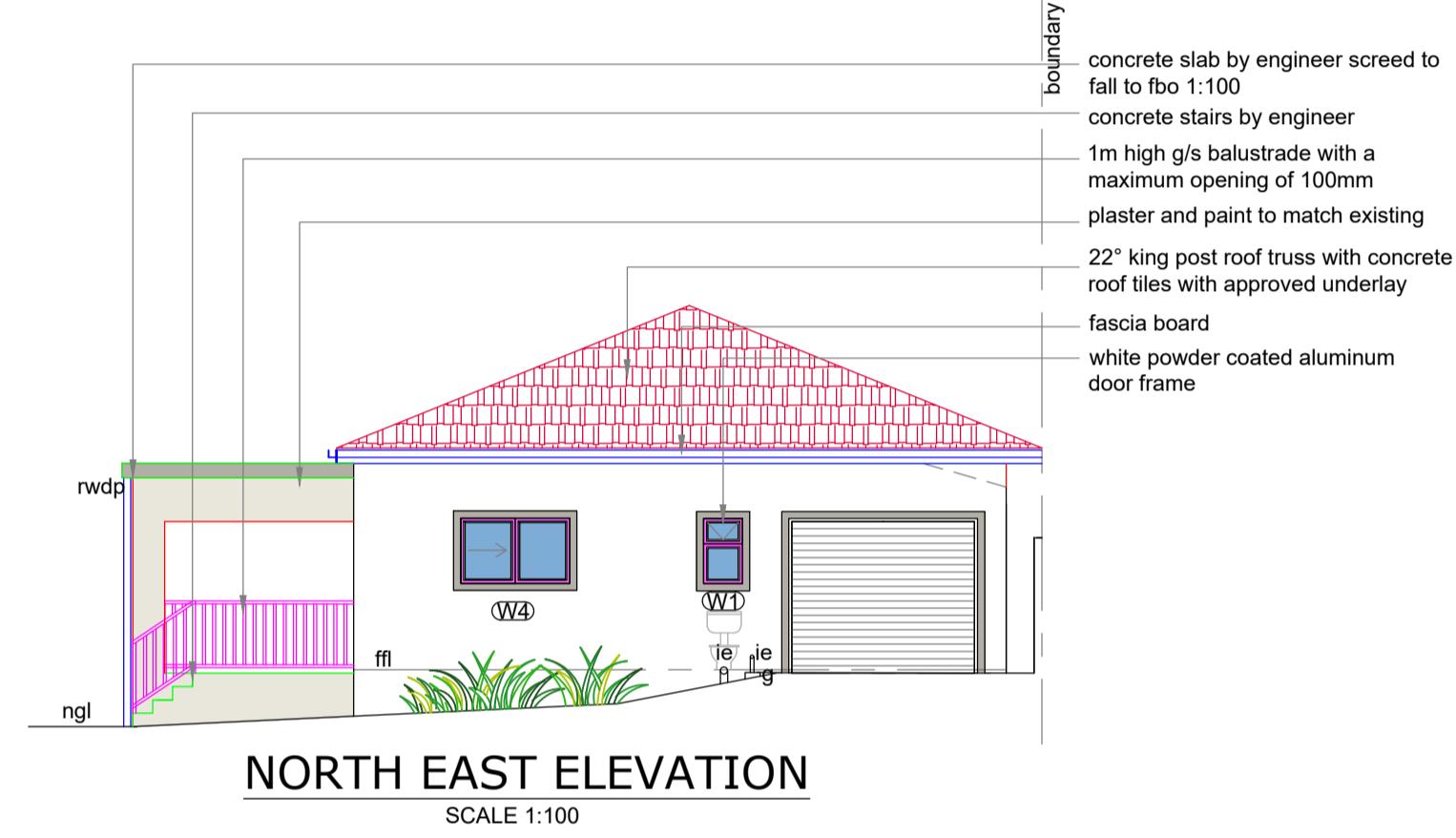
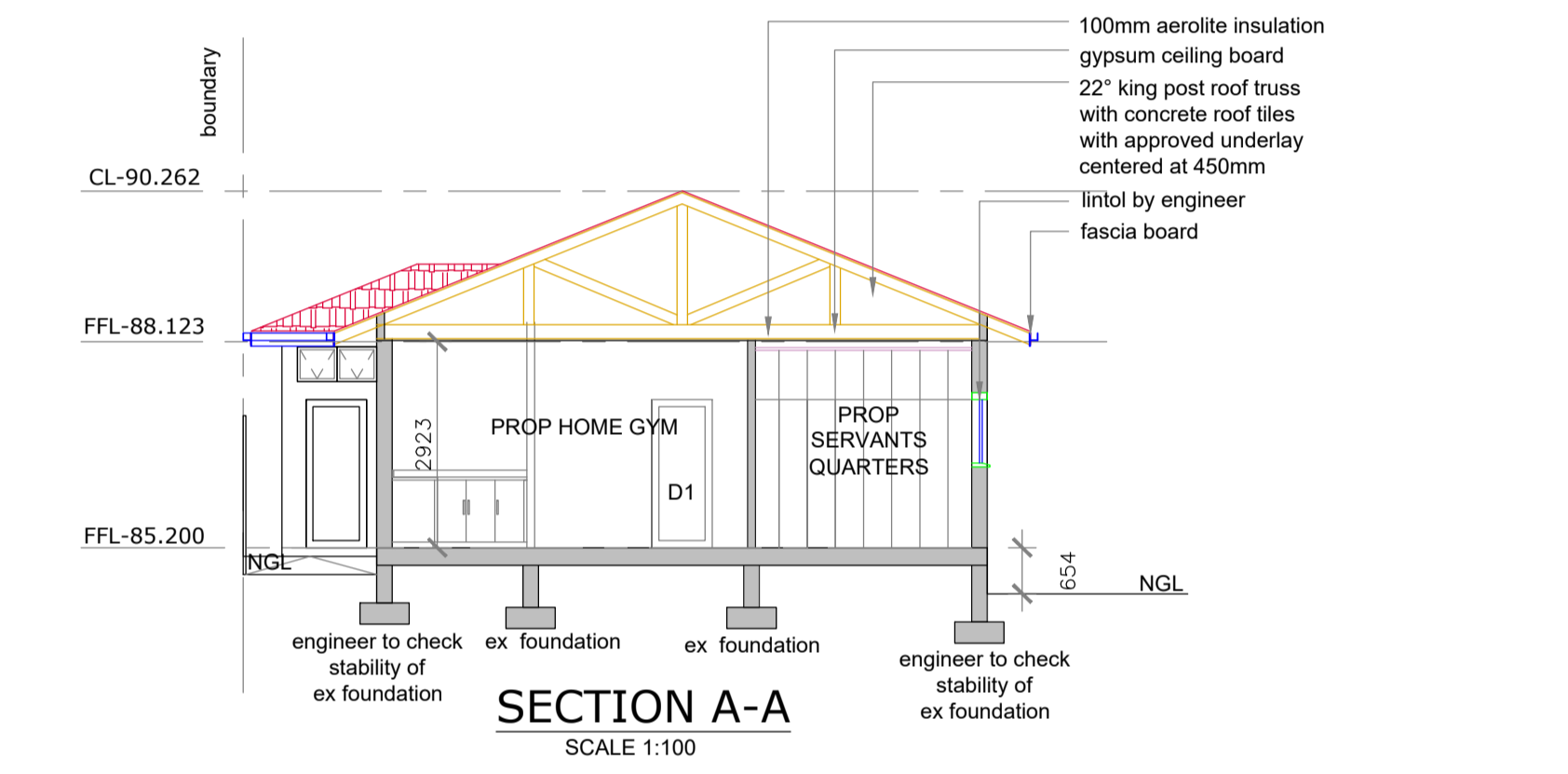
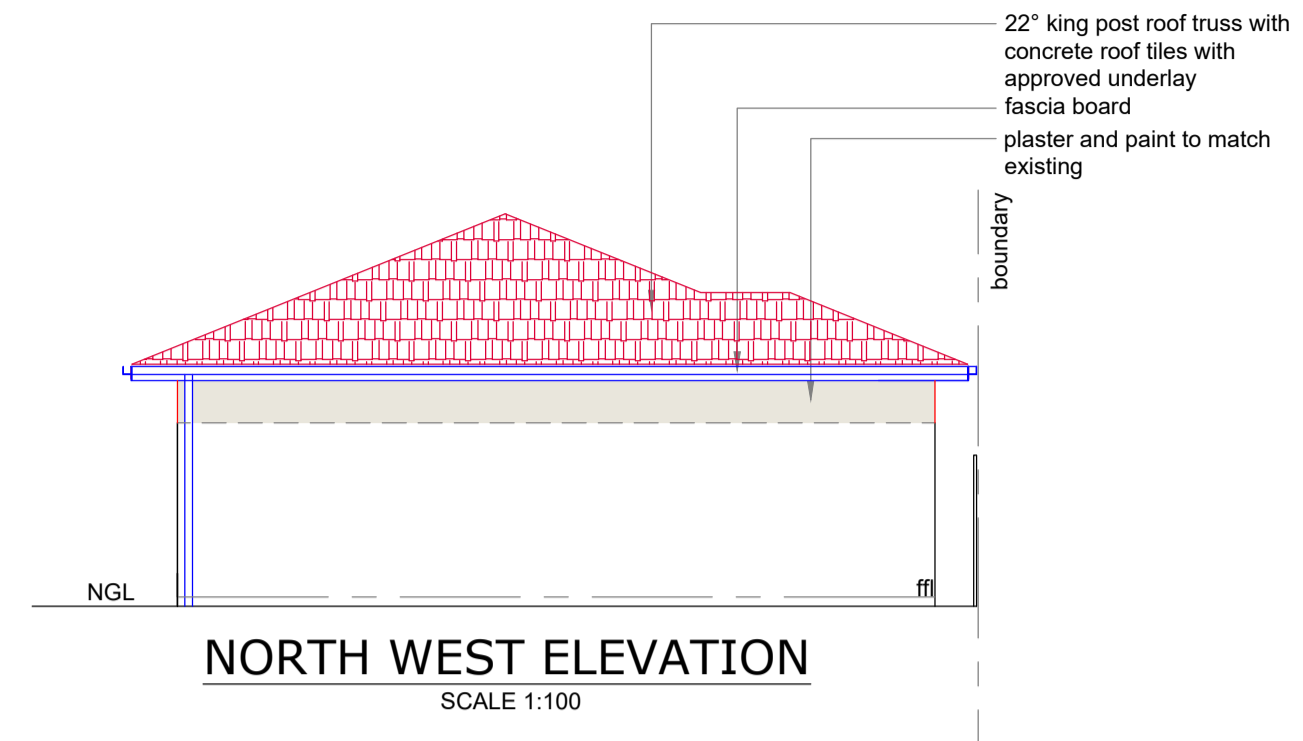
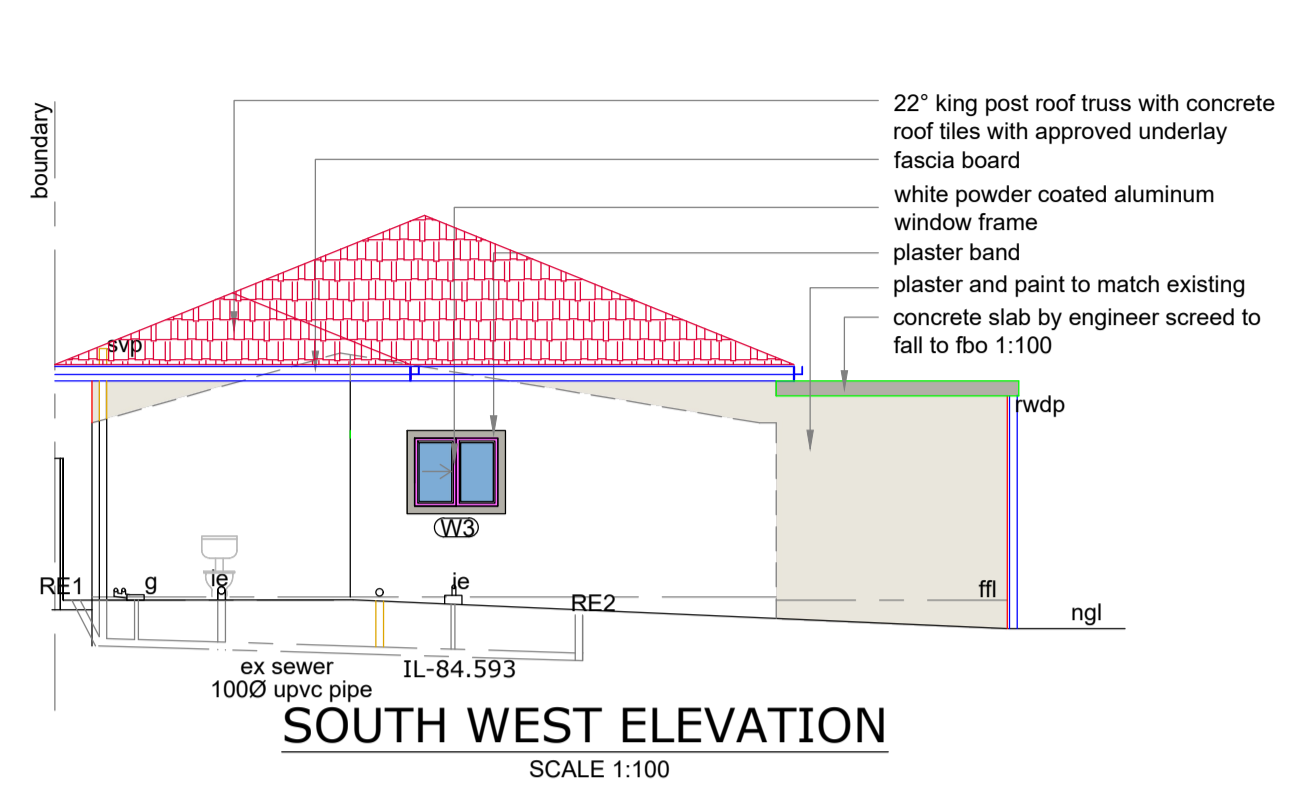
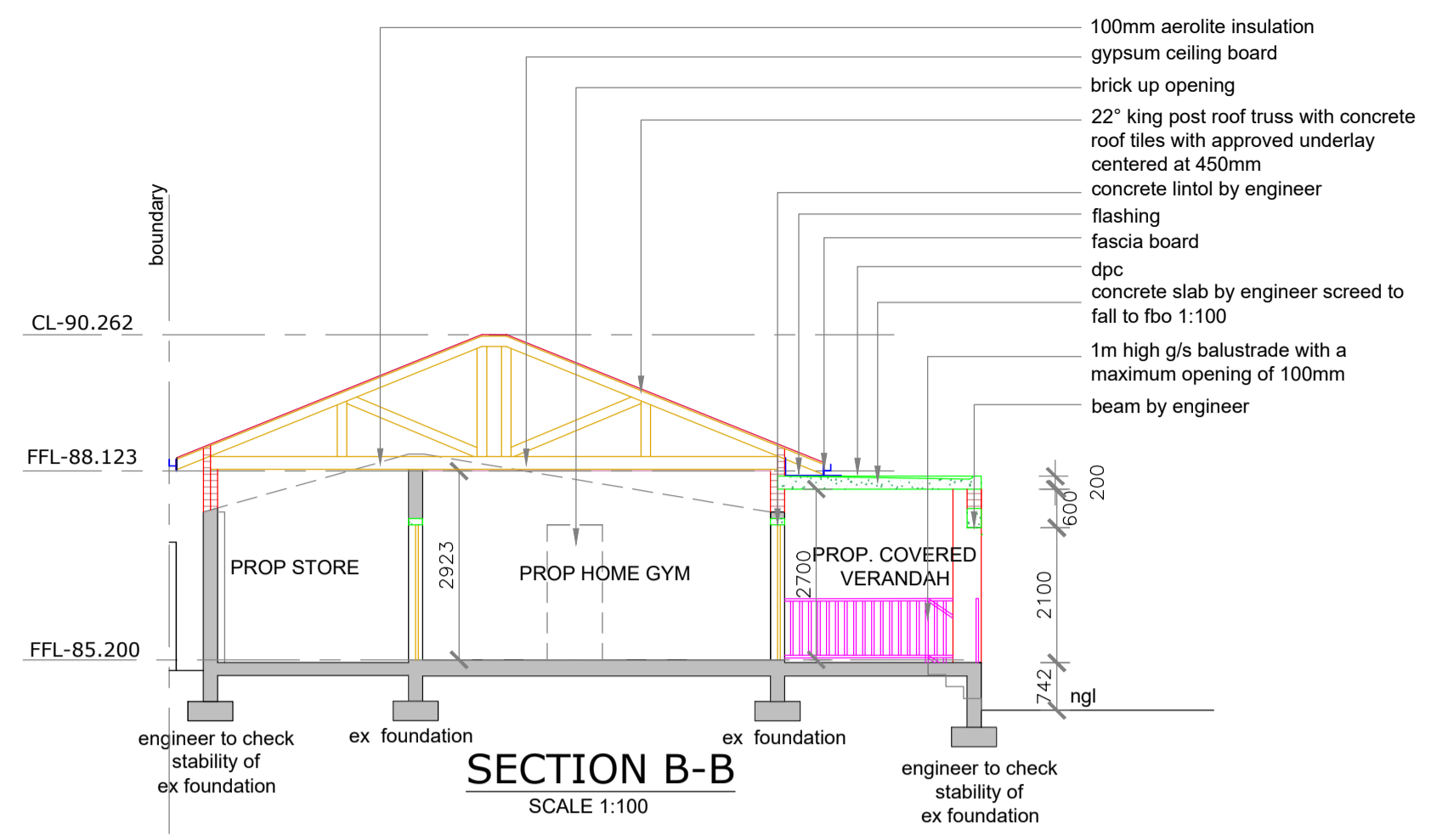
Tel : 031 -208 9382  
Fax: 086 428 3415  
email: marianblack1960@GMAIL.COM  
www.architecturalaspirations.co.za

CHECKED :  
MARIAN BLACK  
Registration: SACAP T0076  
KZNIA 103 SAIBD B0404

Drawn: WESLEY R.LAVIS  
Registration: SACAP PAD 3383 5850  
SAIBD L0519/2021/KZN

Date: 17 February 2023  
Sheet: 2 of 4  
Drawing Number: 1508/21W

Page Size: A1  
Scale: as shown  
Revision: g



NAME	ADDRESS	TELEPHONE NUMBER	SIGNATURE
Colin Cross	15 O'Connor Place, Durban North	0829007175	
Brian Gordon	19 O'Connor Place, Durban North	0828000965	
Johannes Jacobus Van Der Berg	20 Maryland Ave, Durban North	0828776437	

OWNER / AGENT SIGNATURE:

CLIENT:  
**MR. PETRUS DANIEL JACOBS AND  
MRS. LINDI JACOBS**

ADDRESS:  
**17 O'Connor Place,  
POR 180 OF ERF 3193 DURBAN NORTH**

PROJECT:  
**PROPOSED ADDITIONS AND ALTERATIONS**

Budget Plans cc Trading as  
**Architectural Aspirations**  
CK 95/35928/23

Address : 27 Lady Bruce Place  
Morningside  
Durban  
4001

Tel : 031 -208 9382  
Fax: 086 428 3415  
email: marianblack1960@GMAIL.COM  
www.architecturalaspirations.co.za

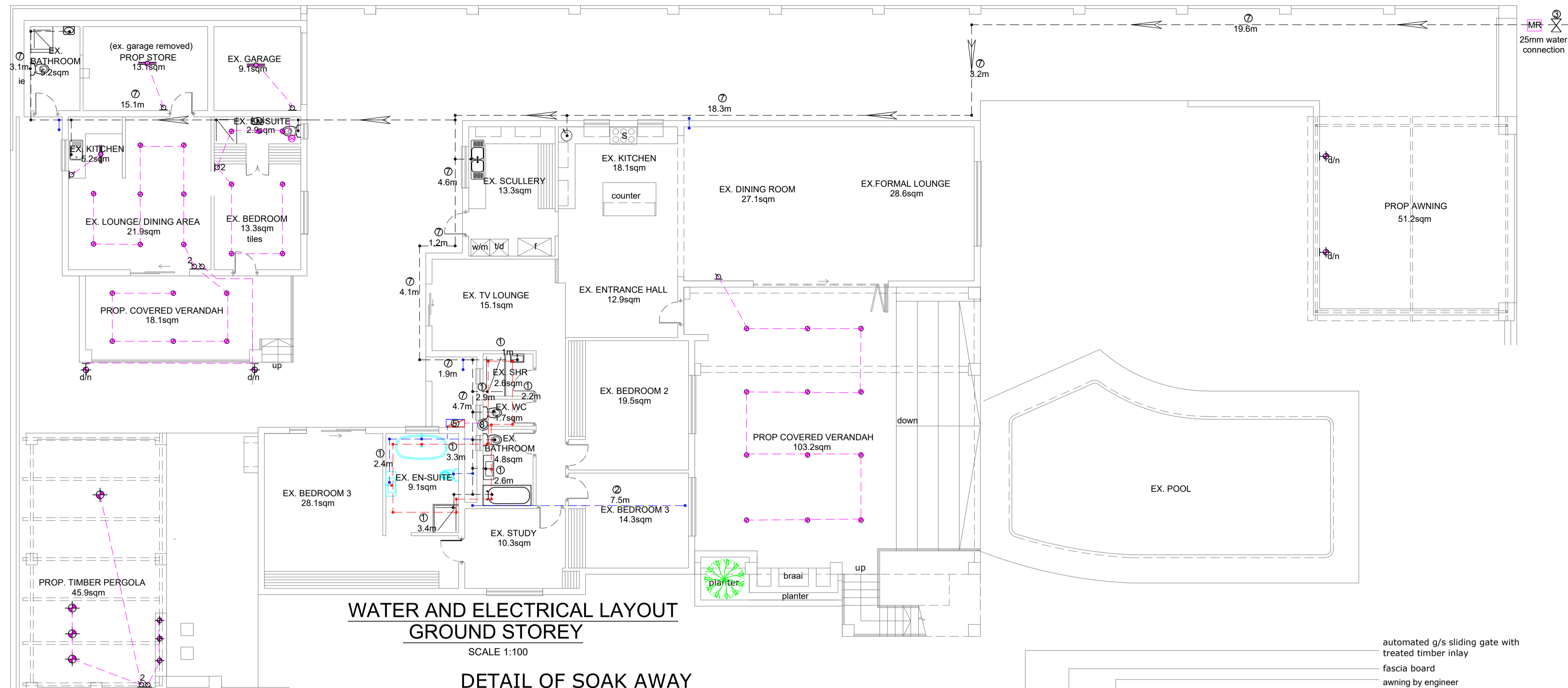
CHECKED :  
MARIAN BLACK  
Registration: SACAP T0076  
KZNIA 103 SAIBD B0404

Drawn: WESLEY R. LAVIS  
Registration: SACAP PAD 3383 5850  
SAIBD L0519/2021/KZN

Date: 17 February 2023  
Paper Size: A1

Sheet: 3 of 4  
Scale: as shown

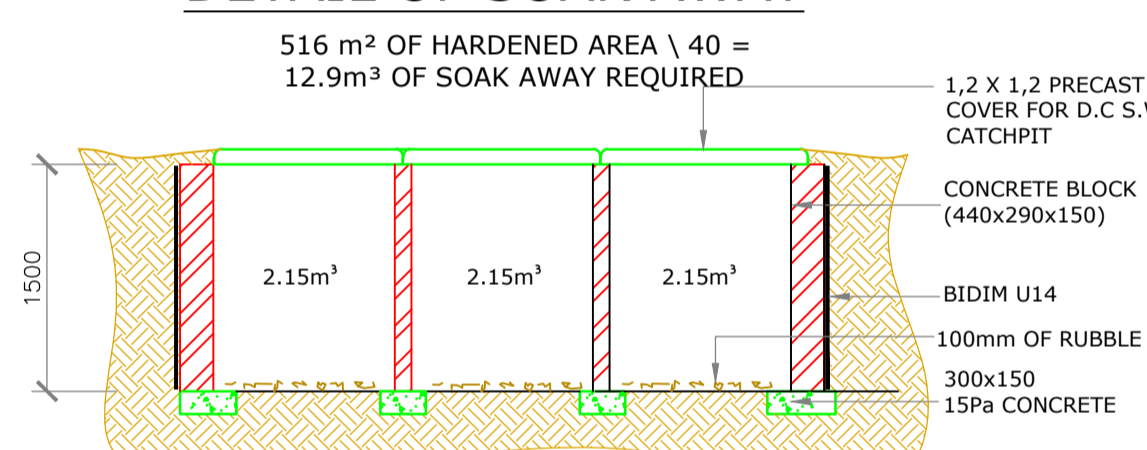
Drawing Number: 1508/21W  
Revision: g



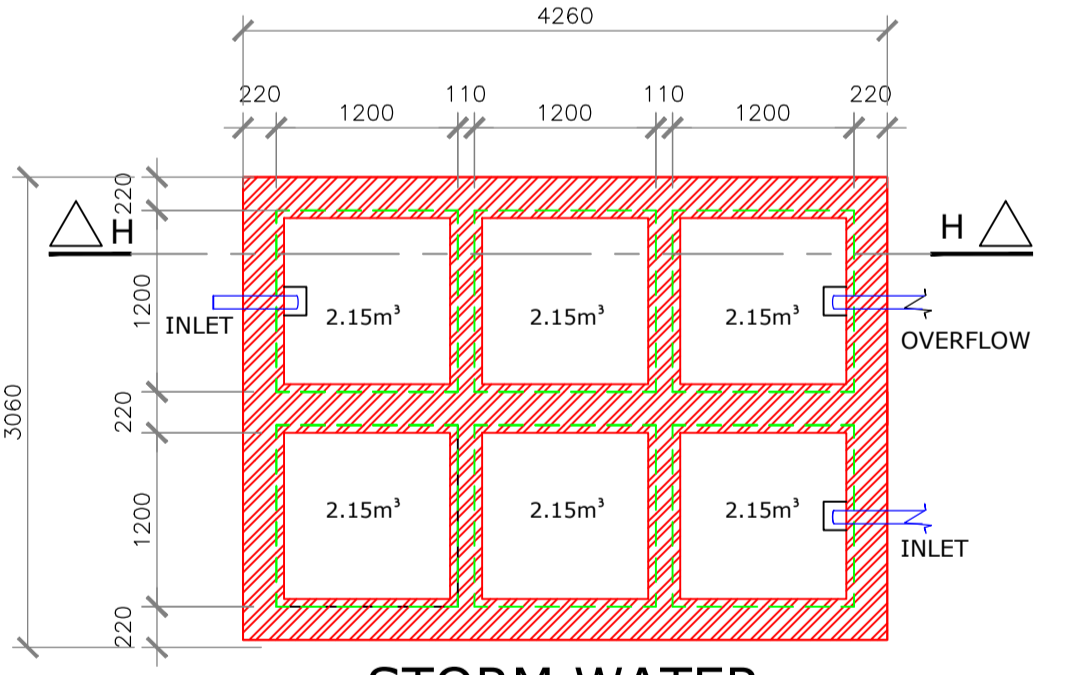
WINDOW SCHEDULE	
	<b>WINDOW 1</b> Type - top hung with fixed bottom panel Total - 1 Size - 0.5sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum frame
	<b>WINDOW 2</b> Type - sliding window Total - 2 Size - 0.54sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum frame
	<b>WINDOW 3</b> Type - sliding window Total - 2 Size - 0.99sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum frame
	<b>WINDOW 5</b> Type - sliding window Total - 1 Size - 1.36sqm Glazing - 4mm monolithic annelithic glazing Description - white powder coated aluminum frame

DOOR SCHEDULE	
	<b>DOOR 1</b> Type - hollow core timber door Total - 3 Size - 1.806sqm Description - Internal painted door
	<b>DOOR 2</b> Type - hard wood external door Total - 1 Size - 1.806sqm Description - stained and sealed
	<b>DOOR 3</b> Type - sliding door Total - 1 Size - 4.41sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum frame
	<b>DOOR 4</b> Type - sliding door double top hung windows Total - 1 Size - 6.3sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum frame
	<b>DOOR 5</b> Type - folding stacking door Total - 1 Size - 10.5sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum frame

**DETAIL OF SOAK AWAY**



**SECTION H-H  
SCALE 1:50**



LEGEND	
1	-15mm hot water pipe
2	-20mm cold water pipe
3	- ex isolating valve
4	- 200L hp storage water heater
5	-50KW heat pump
6	-50mm overflow pipe direct from drip tray to discharge externally
7	-ex 20mm cold water pipe
8	- ex 200L hp storage water heater

**ENERGY EFFICIENCY OF GLAZING ELEMENTS**

**CLIMATE ZONE 5  
OCCUPANCY H4**

NETT FLOOR AREA FIRST STOREY (OUTBUILDING) = 70.4m<sup>2</sup> x (15% = 10.56m<sup>2</sup> permissible)

PERMISSIBLE CONDUCTANCE - (1.4) X 66.2sqm = 92.68  
PERMISSIBLE SHGC - (0.11) X 66.2sqm = 7.282

WINDOW TYPE	HEIGHT	WIDTH	AREA (A)	U-VALUE (U)	U-COAST (AXU)	G	G effect	P	H	G-effect xP/H	ORIENTATION	E-FACTOR	SHGC	SHGC COST A x E x SHGC
Window 2 X 2	0.45m	1.2m	0.54m	4.23	2.2842	0.9m	0.5	0.6m	1.35m	0.22	SOUTH WEST	0.94	0.72	0.365472
Window 3	0.9m	1.1m	0.99m	4.23	4.1877	0.45m	1	0.6m	1.8m	0.33	SOUTH WEST	0.80	0.72	0.57024
DOOR 4	2.1m	3m	6.3m	4.23	26.649	0.1m	1	3.4m	2.2m	1.55	NORTH EAST	0.18	0.72	0.81648
Door 5	2.1m	5m	10.5m	4.23	44.415	0.1m	1	3.4m	2.2m	1.55	NORTH EAST	0.18	0.72	1.3608

AGGREGATE CONDUCTANCE= 77.5359      AGGREGATE SHGC= 3.112992

CONDUCTANCE AND SHGC IS BELOW THAN PERMISSIBLE AND COMPLIES WITH SANS 10400 - 204 AND SANS 10400 XA

**ENERGY EFFICIENCY OF GLAZING ELEMENTS**

**CLIMATE ZONE 5  
OCCUPANCY H4**

NETT FLOOR AREA GROUND STOREY (OUTBUILDING) = 51.2m<sup>2</sup> x (15% = 7.68m<sup>2</sup> permissible)

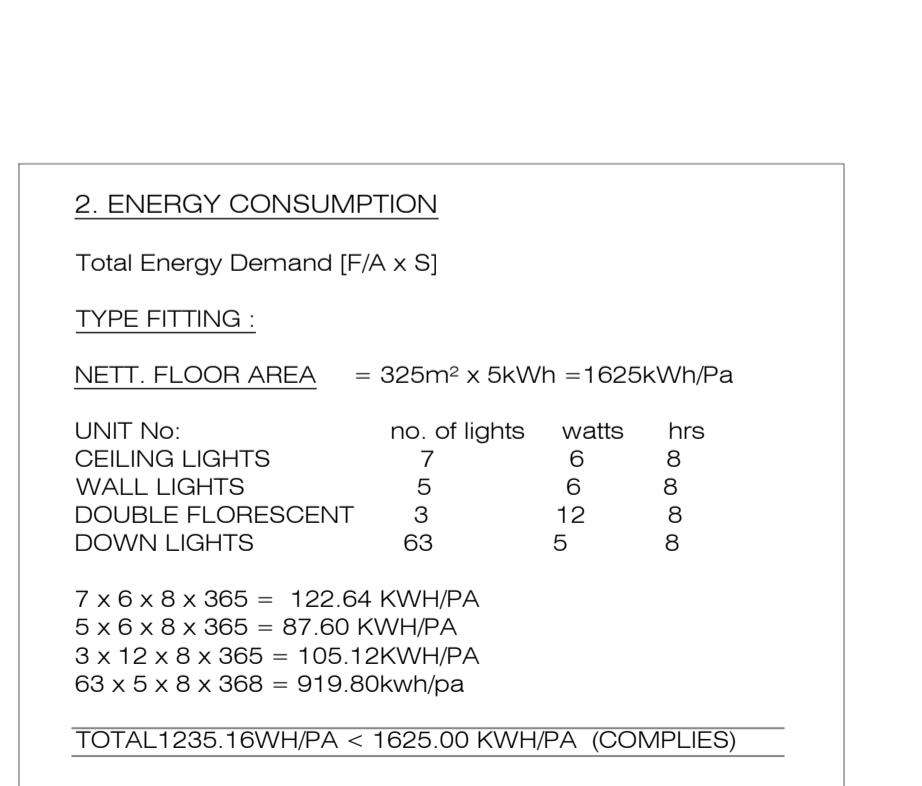
PERMISSIBLE CONDUCTANCE - (1.4) X 51.2sqm = 71.65  
PERMISSIBLE SHGC - (0.11) X 51.2sqm = 5.632

WINDOW TYPE	HEIGHT	WIDTH	AREA (A)	U-VALUE (U)	U-COAST (AXU)	G	G effect	P	H	G-effect xP/H	ORIENTATION	E-FACTOR	SHGC	SHGC COST A x E x SHGC
Window 3	0.9m	1.1m	0.99m	7.9	7.821	0.75m	0.5	0.6m	1.65m	0.18	SOUTH WEST	0.94	0.81	0.753786
Door 3	2.1m	2.1m	4.41m	4.23	18.6543	0.1m	1	3.6m	2.2m	1.63	SOUTH EAST	0.26	0.72	0.825552
Window 5	0.9m	1.511m	1.36m	7.9	10.744	0.75m	0.5	0.6m	1.65m	0.18	NORTH EAST	0.59	0.81	0.649944
Window 1	0.9m	0.55m	0.5m	4.23	2.115	0.75m	0.5	0.6m	1.65m	0.18	NORTH EAST	0.59	0.72	0.2124

AGGREGATE CONDUCTANCE= 39.3343      AGGREGATE SHGC= 2.441682

CONDUCTANCE AND SHGC IS BELOW THAN PERMISSIBLE AND COMPLIES WITH SANS 10400 - 204 AND SANS 10400 XA

**WATER AND ELECTRICAL LAYOUT  
FIRST STOREY  
(ANCILLARY UNIT)  
SCALE 1:100**



NAME	ADDRESS	TELEPHONE NUMBER	SIGNATURE
Colin Cross	15 O'Connor Place, Durban North	0829007175	
Brian Gordon	19 O'Connor Place, Durban North	0828000965	
Johannes Jacobus Van Der Berg	20 Maryland Ave, Durban North	0828776437	

ELECTRICAL LEGEND	
6	LIGHT SWITCH SINGLE
5	DOUBLE SWITCH 2LEVER
63	DOWN LIGHTS 3w
7	CEILING LIGHTS 6w
5	WALL LIGHTS 6w
3	DOUBLE FLORESCENT LIGHT 12w
2	220MM DIA. MECHANICAL EXTRACTION @20L PER SECOND WITH SEPARATE POWER SOURCE
4	DOUBLE 15 AMP PLUG POINT @ 340mm F.F.L
3	DOUBLE 15 AMP PLUG POINT @ 1100mm F.F.L
1	STOVE PLUG

**2. ENERGY CONSUMPTION**

Total Energy Demand (F/A x S)

**TYPE FITTING:**

NETT. FLOOR AREA = 325m<sup>2</sup> x 5kWh = 1625kWh/PA

UNIT No.	no. of lights	watts	hrs
CEILING LIGHTS	7	6	8
WALL LIGHTS	5	6	8
DOUBLE FLORESCENT	3	12	8
DOWN LIGHTS	63	5	8

7 x 6 x 8 x 365 = 122.64 KWH/PA  
5 x 6 x 8 x 365 = 87.60 KWH/PA  
3 x 12 x 8 x 365 = 105.12KWH/PA  
63 x 5 x 8 x 368 = 919.80kwh/PA

TOTAL 1235.16KWH/PA < 1625.00 KWH/PA (COMPLIES)

**OWNER / AGENT SIGNATURE:**

---

**CLIENT:**  
MR. PETRUS DANIEL JACOBS AND  
MRS. LINDI JACOBS

---

**ADDRESS:**  
17 O'Connor Place,  
POR 180 OF ERF 3193 DURBAN NORTH

---

**PROJECT:**  
PROPOSED ADDITIONS AND ALTERATIONS

Budget Plans CC Trading as  
*Architectural Aspirations*  
CK 95/35928/23

Address : 27 Lady Bruce Place  
Morningside  
Durban  
4001

Tel : 031 -208 9382  
Fax: 086 428 3415  
email: marianblack1960@GMAIL.COM  
www.architecturalaspirations.co.za

---

CHECKED:	Drawn:
MARIAN BLACK Registration: SACAP T0076 KZNA 103 SAIBD B0404	WESLEY R. LAVIS Registration: SACAP PAD 3383 5850 SAIBD L0519/2021/KZN
Date: 17 February 2023	Paper Size: A1
Sheet: 4 of 4	Scale: as shown
Drawing Number: 1508/21W	Revision: g

- NOTES:**
- HANDING & QUANTITY TO BE DETERMINED FROM LAYOUT DRAWINGS.
  - ALL OPENINGS TO BE MEASURED PRIOR TO ARCHITECT.
  - MANUFACTURING DISCREPANCIES TO BE REPORTED TO ARCHITECT.
  - DEVIATION FROM DRAWINGS AND/OR SPECIFICATION TO BE DISCUSSED WITH AND APPROVED BY THE ARCHITECT/CLIENT PRIOR TO MANUFACTURE.
  - DRAWING NOT TO BE MEASURED, ONLY READ