

GROUND STOREY
SCALE 1:100

WALLS
SANS 10400-XA REQUIRED R-VALUE 0.35
SANS 204 REQUIRED CR-VALUE 60 HOURS
- 230MM BRICK WALLS WITH A 50MM AIR CAVITY
R-VALUE = 1.9 COMPLIES AS PER SANS 10400-XA
CR-VALUE = 60 COMPLIES AS PER SANS 204

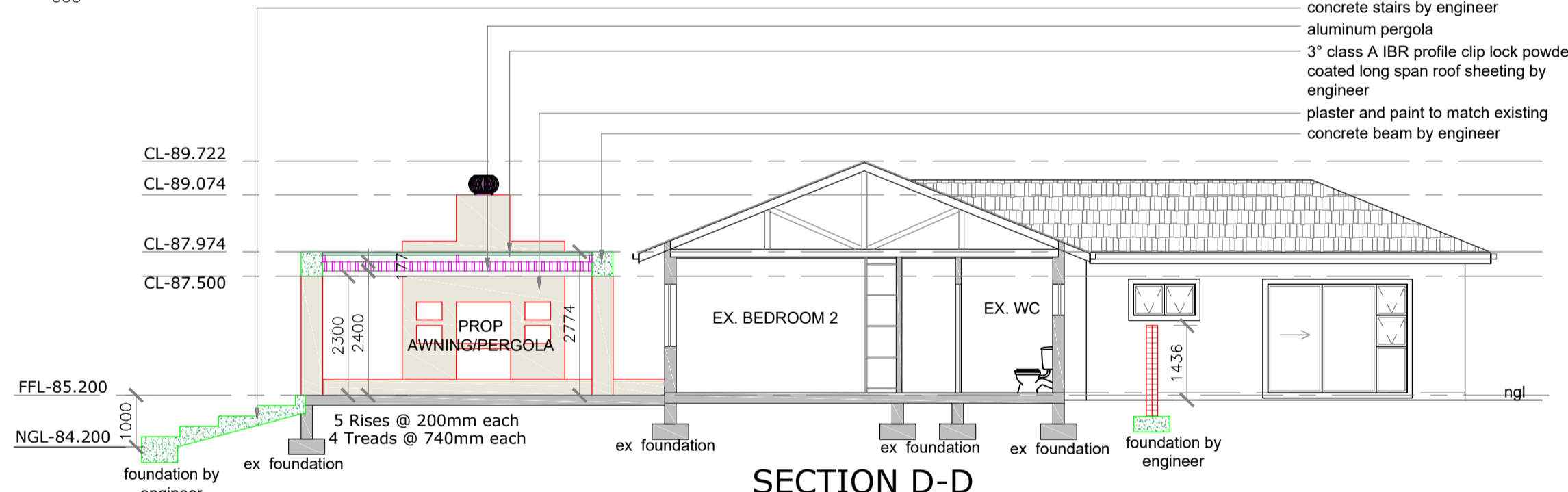
WATER
DWELLING HOUSE LOW RENTAL : 80-115 L/CAPITA/DAY
ASSUMED HOT WATER CONSUMPTION : 30L
NUMBER OF PERSONS : 4 PER DAY
ASSUMED DAILY HOT WATER CONSUMPTION : 120L
ASSUMED ANNUAL HOT WATER CONSUMPTION : 43,68KL
50% OF ANNUAL HOT WATER CONSUMPTION : 21,34KL
60L PER DAY PROVIDED BY 50KW HEAT PUMP.
->80MM DIAMETER HOT WATER PIPE WITH A MINIMUM R-VALUE OF 1.5 TO BE USED

ROOF [NOT VENTILATED]
R-Value required = 2,7
Material R-Value
Roof tile : 0,48
Ceiling (gypsum board) : 0,05
Insulation [100mm aerolite] : 2,17
Insulation with 30cm overlap] : 2,17
Total R-Value = 2,7 [complies]

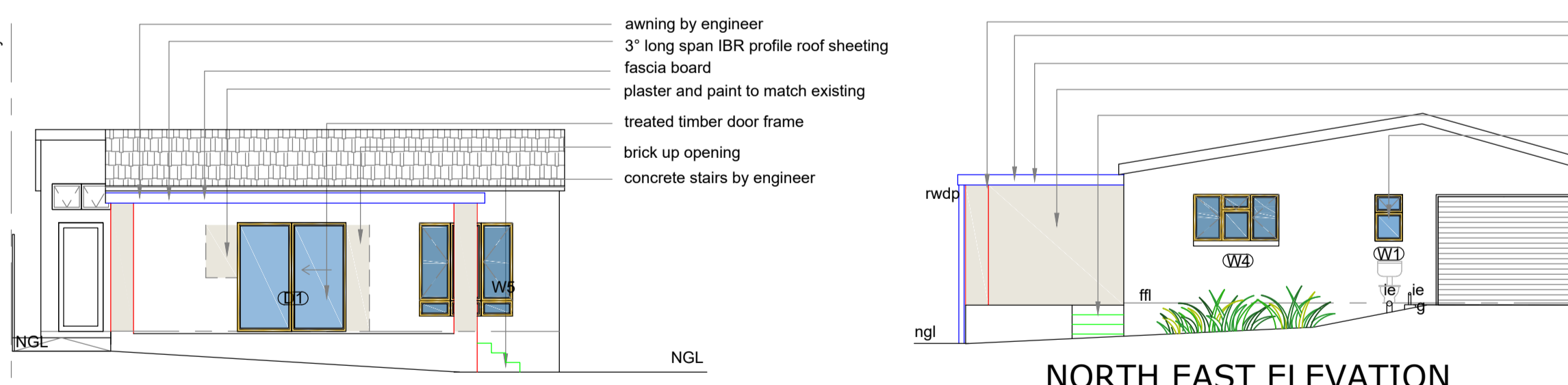
SITES ZONED: SPECIAL RESIDENTIAL 900
POR 180 OF ERF 3193 DURBAN NORTH SITE AREA: 1301sqm
TOTAL F.A.R PERMISSIBLE: N/A
TOTAL COVERAGE PERMISSIBLE: 50% =650.5sqm

FLOOR AREA:	AREA	COV.
EX. GROUND STOREY -	239.7m ²	239.7m ²
EX. OUTBUILDING -	56.5m ²	56.5m ²
EX. GARAGE -	11.1m ²	11.1m ²
EX. GARAGE TO STORE -	15.4m ²	15.4m ²
TOTAL EX AREA-	322.7m²	322.7m²
PROP. ENTERTAINMENT AREA -	45.9m ²	45.9m ²
PROP. AWNING /PERGOLA -	42.7m ²	42.7m ²
PROP. COVERED VERANDA OUTBUILDING -	18.7m ²	18.7m ²
TOTAL NEW AREA-	107.3m²	107.3m²

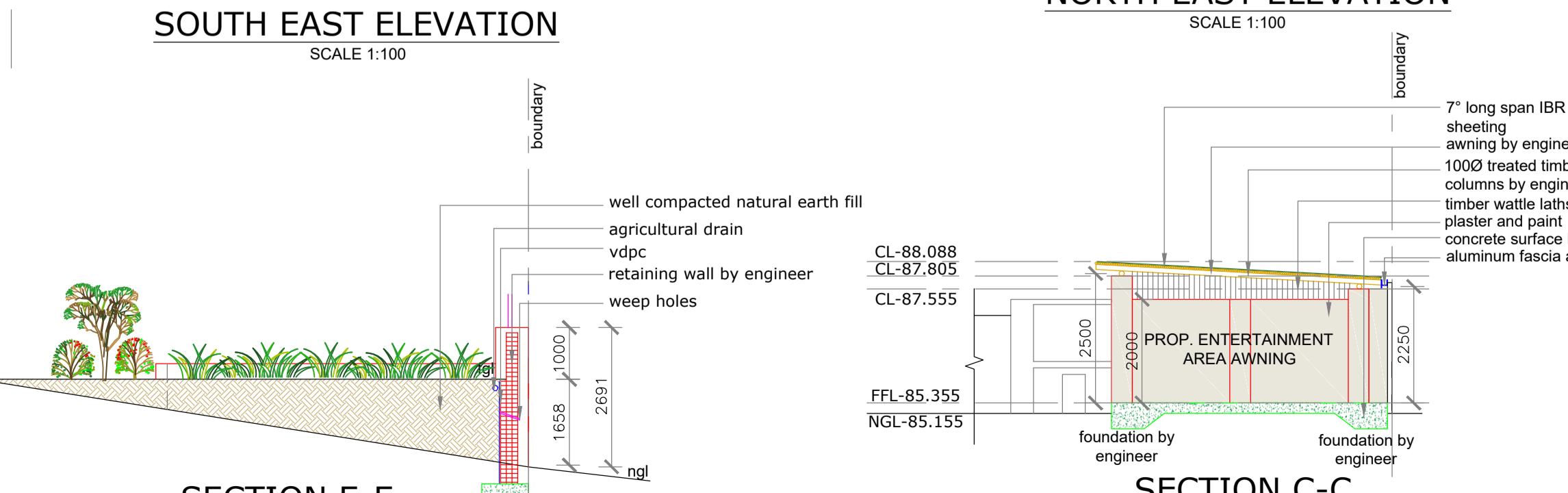
EX COVERAGE = 322.7sqm
PROP COVERAGE = 107.3sqm
TOTAL COVERAGE = 430sqm = 33.1%
COVERAGE IN HAND = 220.5sqm



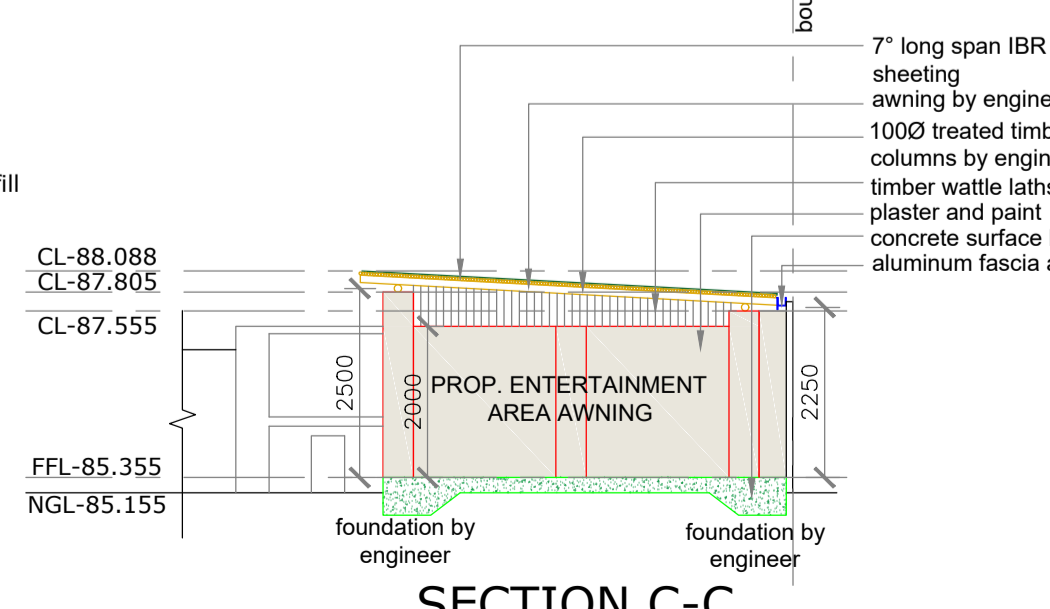
SECTION D-D
SCALE 1:100



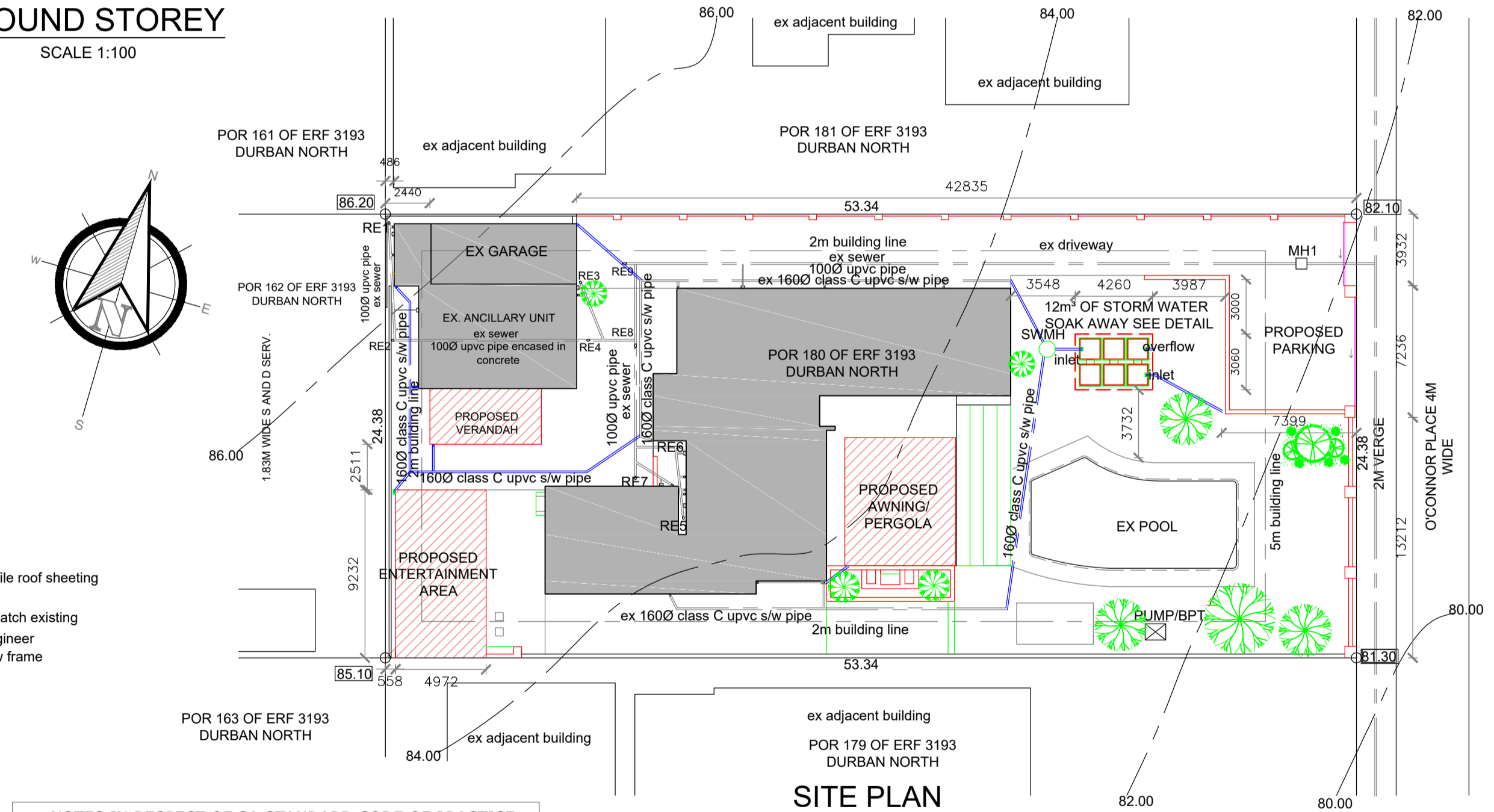
NORTH EAST ELEVATION
SCALE 1:100



SECTION E-E
SCALE 1:100



SECTION C-C
SCALE 1:100



SITE PLAN
SCALE 1:250

NOTES IN RESPECT OF SA STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS SANS 10400-2010

- CONSTRUCTION NOTES**
GENERAL NOTES
- Contractor to report any discrepancies, omissions or deviations to architect.
 - Do not scale this drawing.
 - Contractor to notify local authority when inspections are due and to obtain all the necessary clearances and certificates.
 - Contractor to locate & identify any services on site and protect these from damage during construction.
 - Contractor to ensure all certificates of compliance are handed to owner on completion of construction.
 - all construction materials and components to comply strictly with all national building regulations (NBR), and SANS 10400 Specifications and codes of practice.
- WATER NOTES:**
- Municipal ticket registered plumbing contractor is to perform plumbing installation and comply with municipal water supply by-laws.
- PART N: GLAZING**
- All glazing to comply with SANS 10400-N 2010 as per glazing schedule.
 - Glazing certificate required from SAGGA on completion.

- SUSPENDED CONCRETE SLABS WALLS AND FOUNDATIONS**
- Strictly to Engineers detail and design.
 - Joints to walls and slabs to comply with engineer.
 - Engineer to inspect building work during construction.
 - Stability to be certified by engineer on completion of project
- NEW COMMON BRICK WALLS AS SHOWN WITH GALVANISED BRICK FORCE AS SPECIFIED BY ENGINEER AND TO BE PROVIDED AT SLAB, SILL AND WALL PLATE LEVEL, AND LAID TO MANUFACTURERS RECOMMENDATIONS, WITH EXPANSION JOINTS TO ENGINEERS DETAILS.**
- All sand used in mortar to be screened free of impurities and cleaned. top surface of all new parapets, openings, exposed walls and sills to be waterproofed with approved waterproof membrane.
 - Precast r/c lintels to all new openings with brick force above as per engineer.
 - 1 Coat smooth sand/cement plaster to all new external walls. All materials used in plaster to comply with the relevant SANS 10400 standard specifications.
 - All support columns and beams to Engineers design.

- ROOF**
- 22° Roof pitch with concrete roof tiles with approved underlay. Roof fixed as per manufacturers specification on 38 x 38 battens at 700mm centers on PVC waterproof membrane/sisilation on 38 x 150mm trusses (bolted together) by specialist at max 760 cnts on 76 x 114 wall plates.
 - Galvanized truss ties built in to brickwork min 4 courses per truss end as per SANS 10400 part 1.
 - 230 x 10mm thk Fibre Cement Barge Boards and Fascias.
 - 100 x 100mm Powder coated aluminum gutters and downpipes.
 - 200mm STYCON durable polystyrene villa cornice to be fixed to walls with STYCON adhesive.
 - Professional roofing engineer to certify fixing and stability of roof.
 - All over hangs minimum 600mm.
- ELECTRICAL**
- All lighting and ventilation to comply with SANS 10400 -0
 - Electrical refer to electrical layout.
 - Electrical to be fitted by council approved registered electrician.

OWNER / AGENT SIGNATURE:

CLIENT:
MR. PETRUS DANIEL JACOBS AND
MRS. LINDI JACOBS

ADDRESS:
17 O'Connor Place,
POR 180 OF ERF 3193 DURBAN NORTH

PROJECT:
PROPOSED AS BUILT

Budget Plans cc Trading as
Architectural Aspirations
CK 95/35928/23

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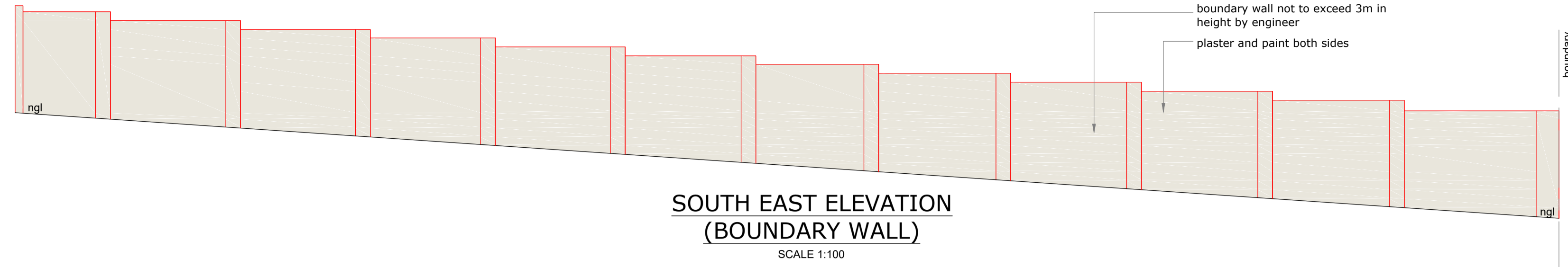
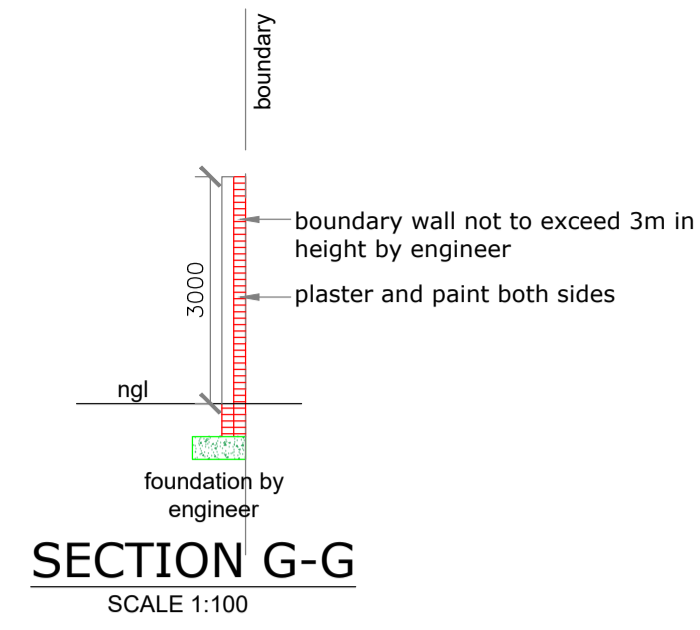
Drawn: WESLEY R.LAVIS
Registration: SACAP PAD 3383 5850
SAIBD L0519/2021/KZN

Date: 15 SEPTEMBER 2023
Sheet: 1 of 2
Drawing Number: 1508/21W

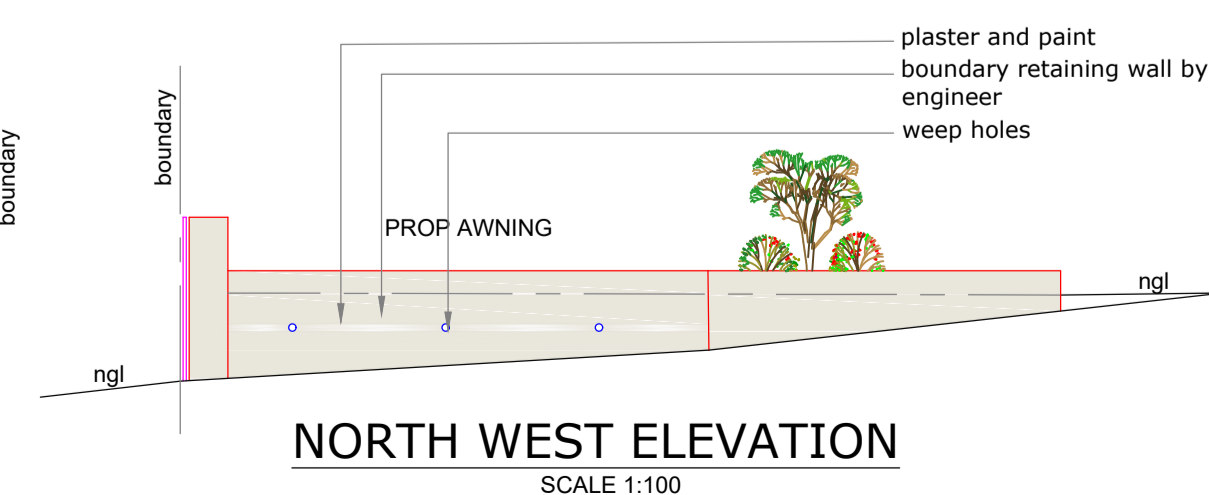
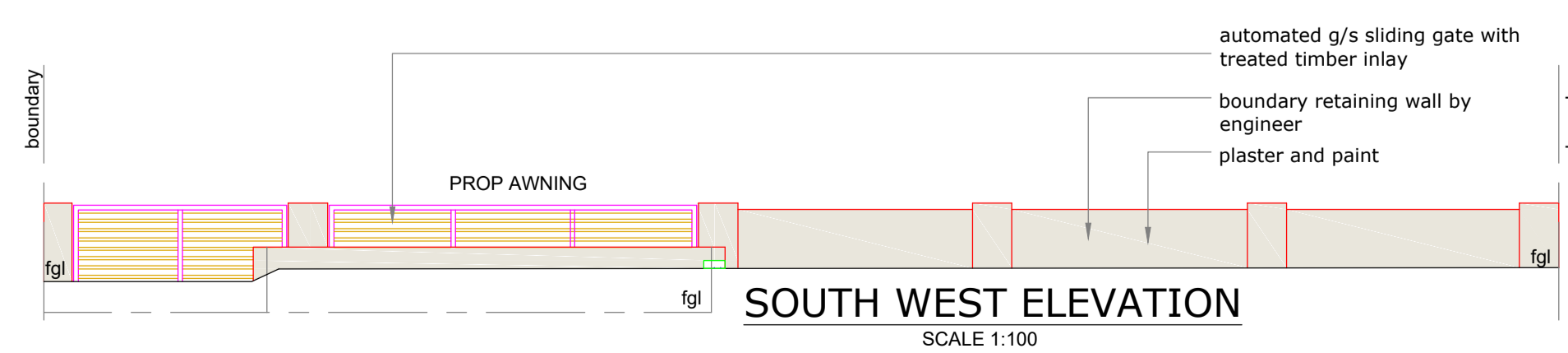
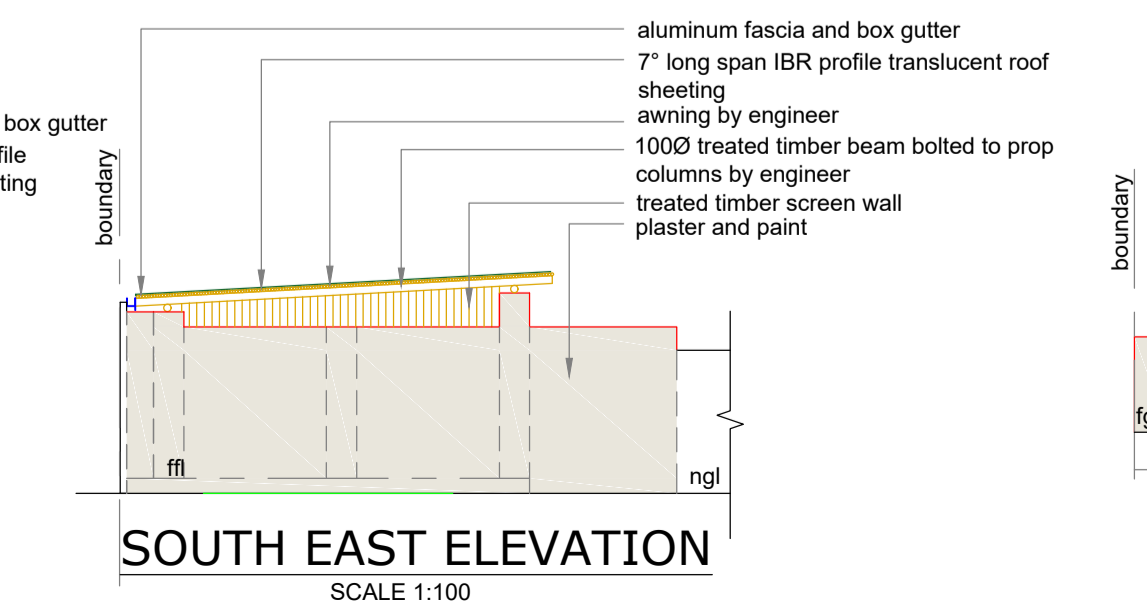
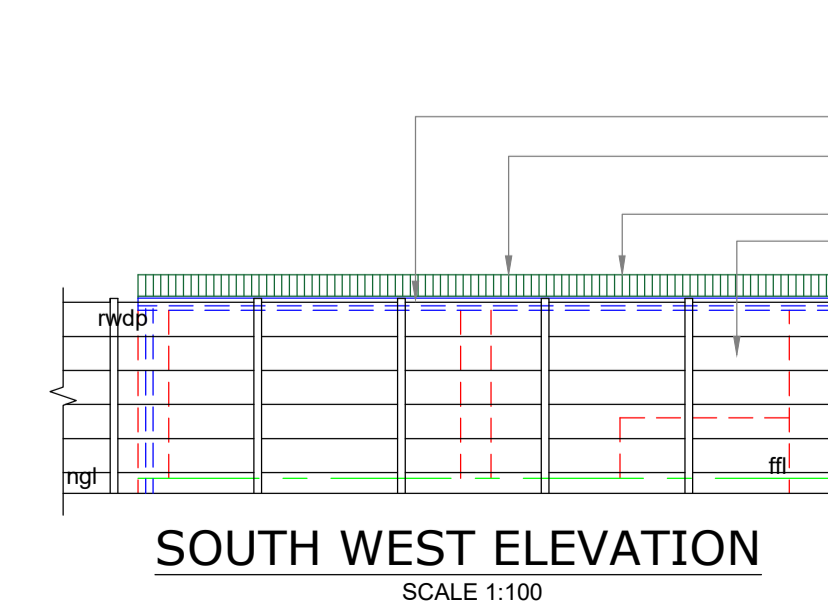
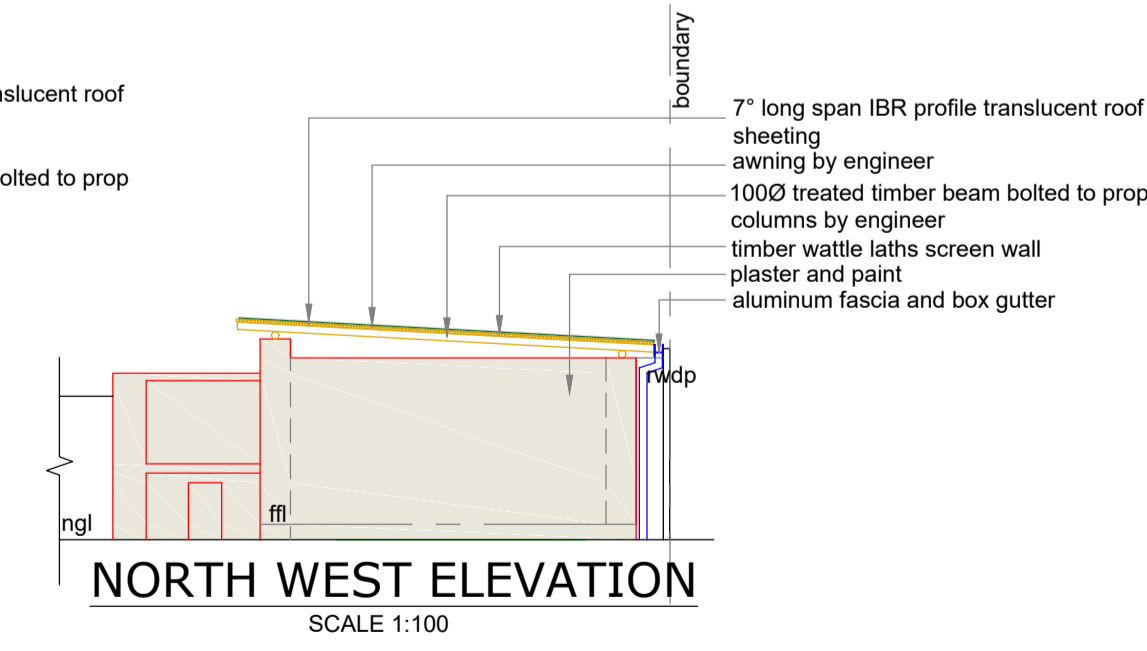
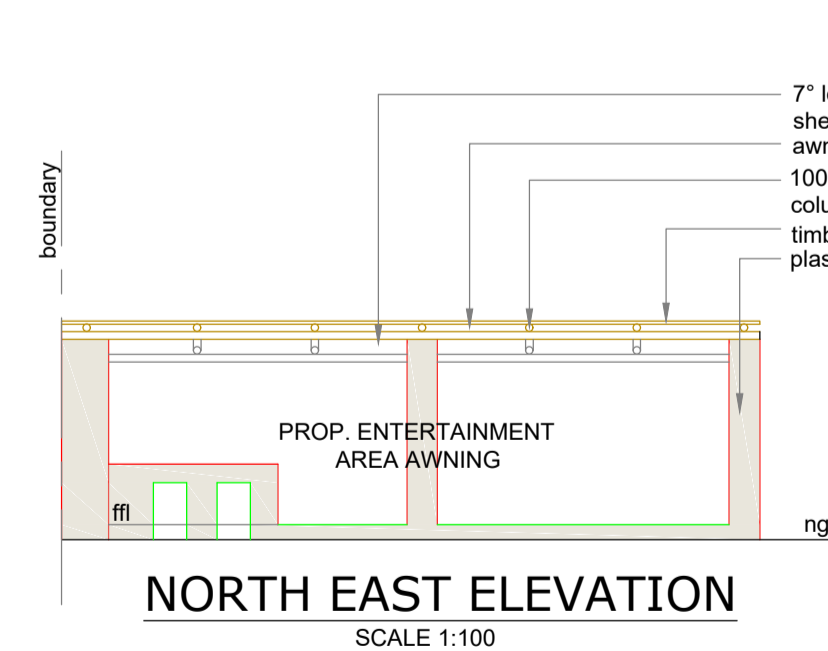
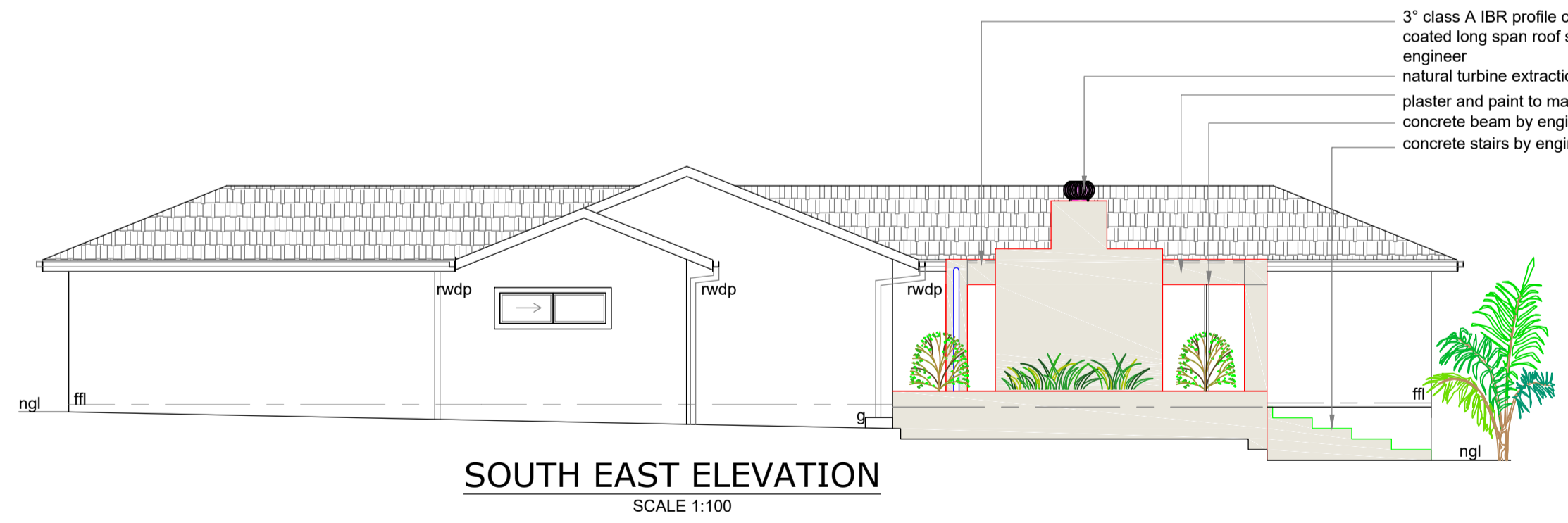
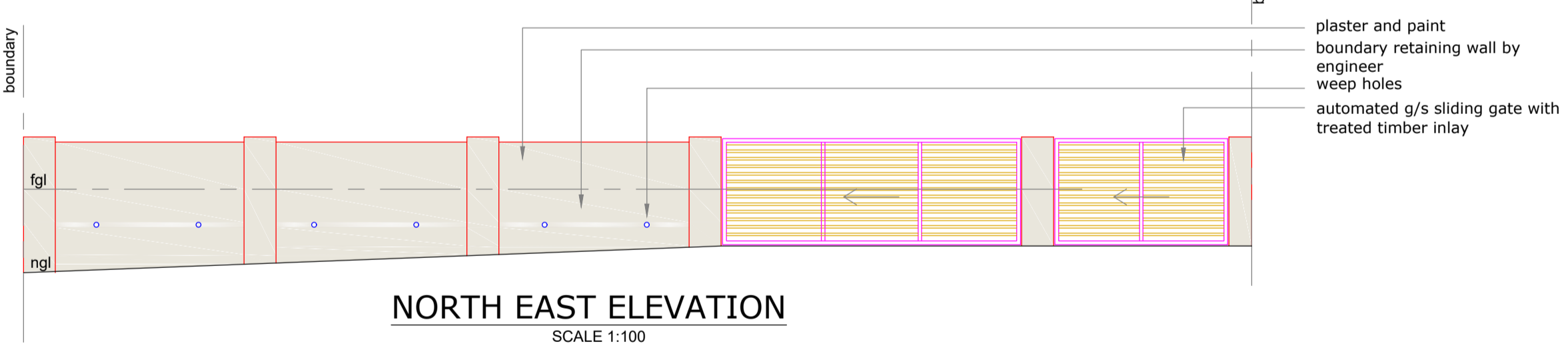
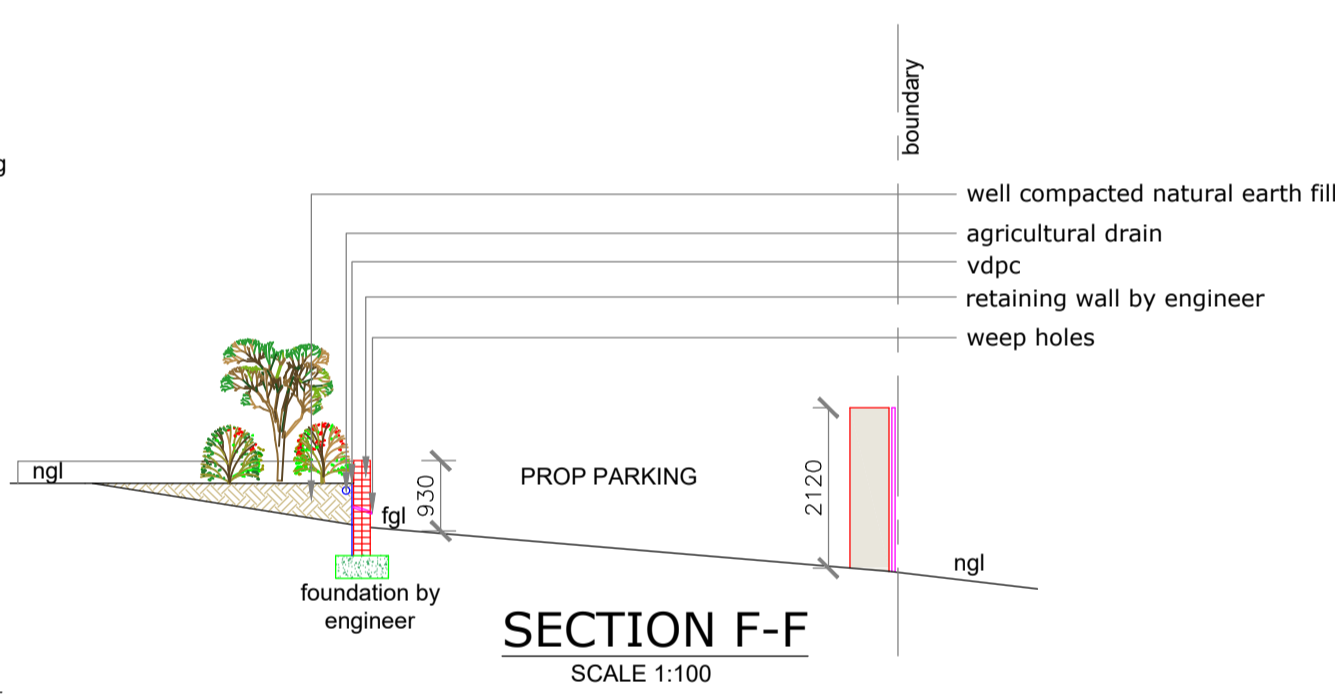
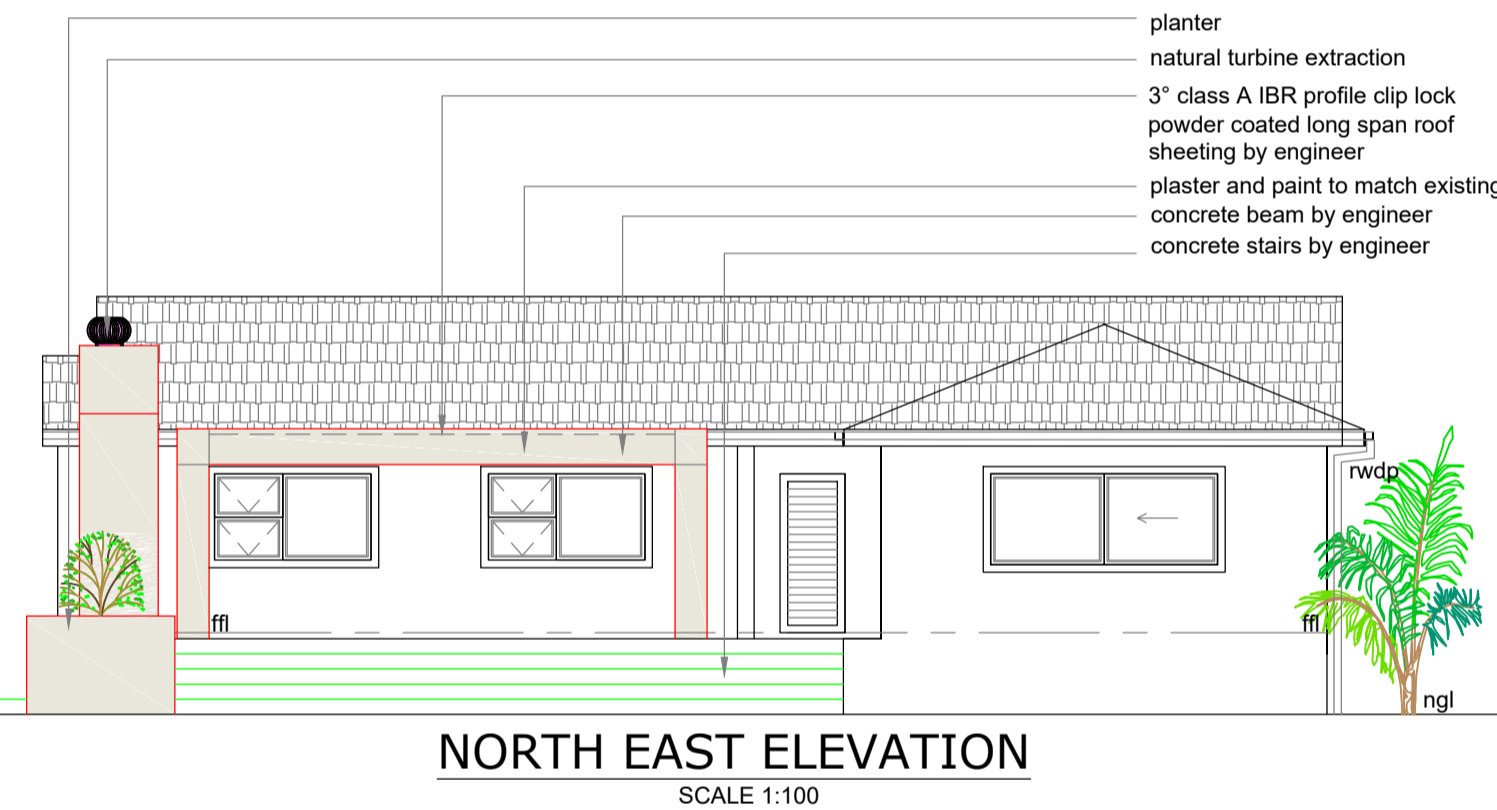
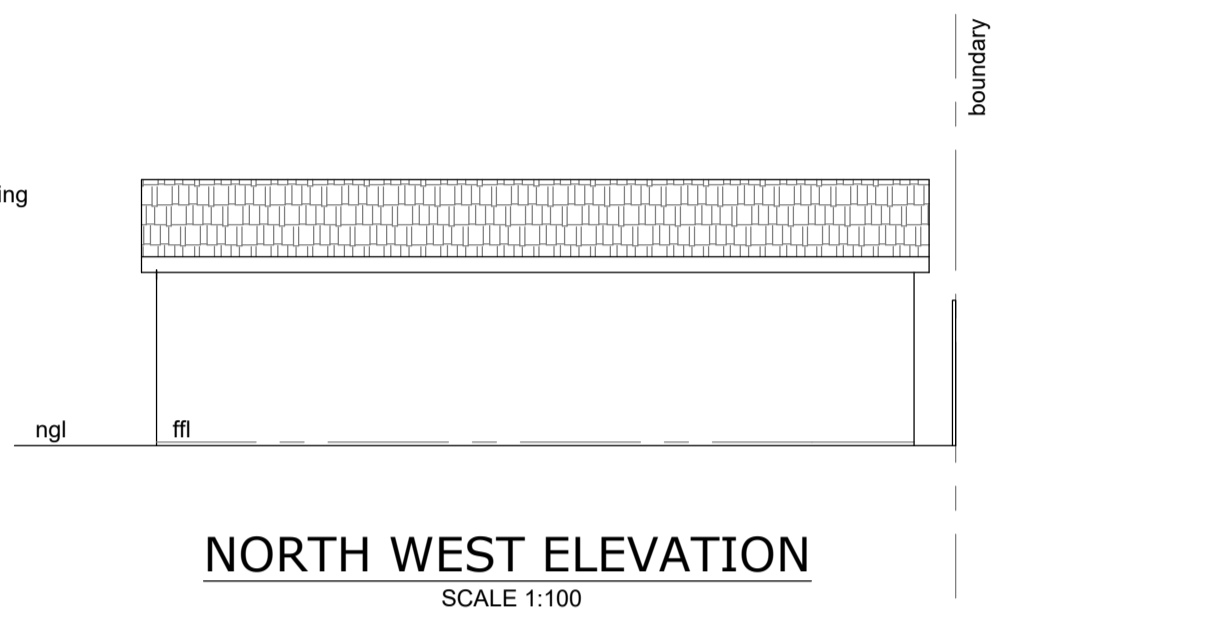
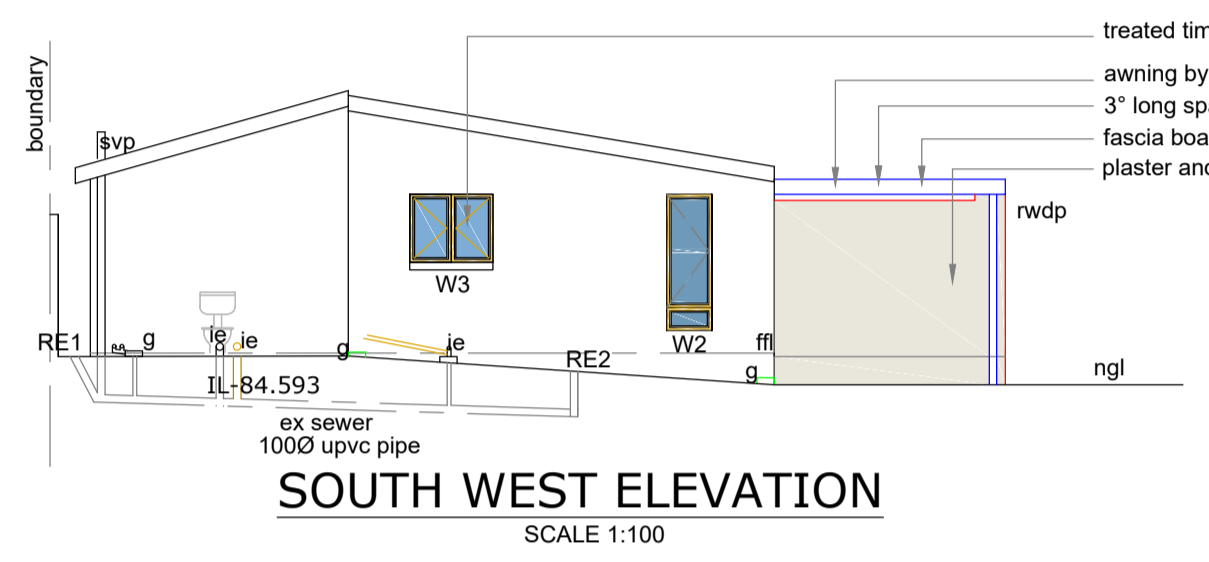
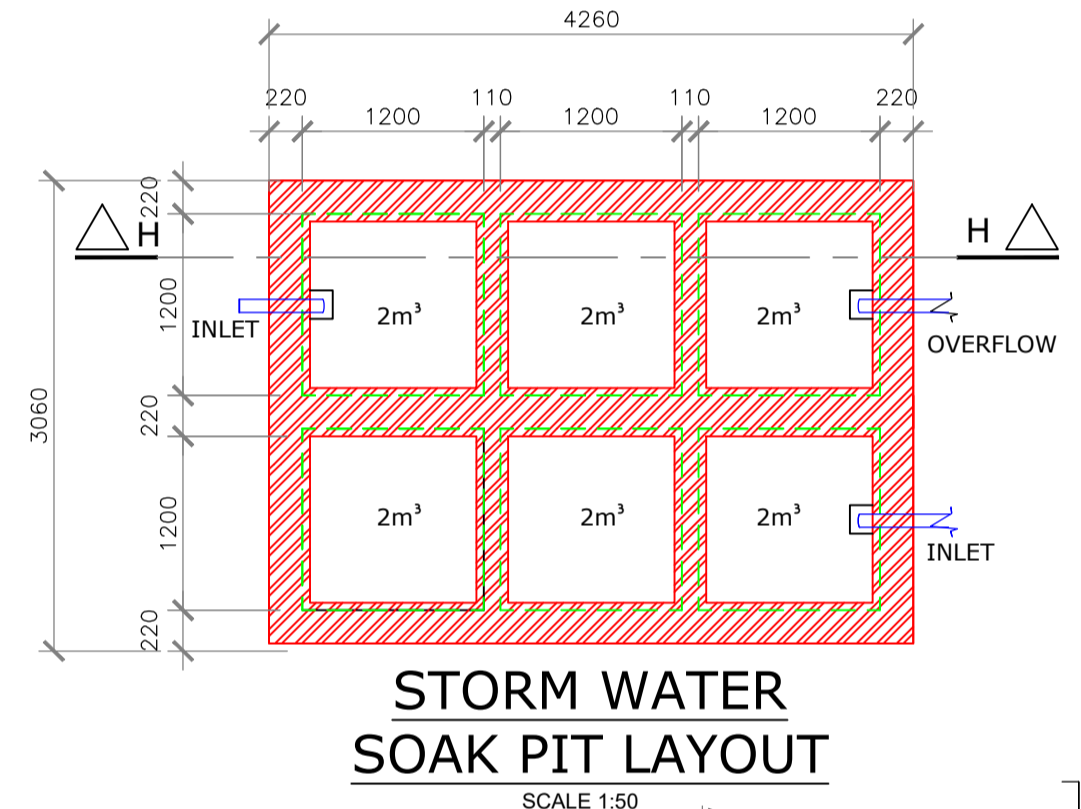
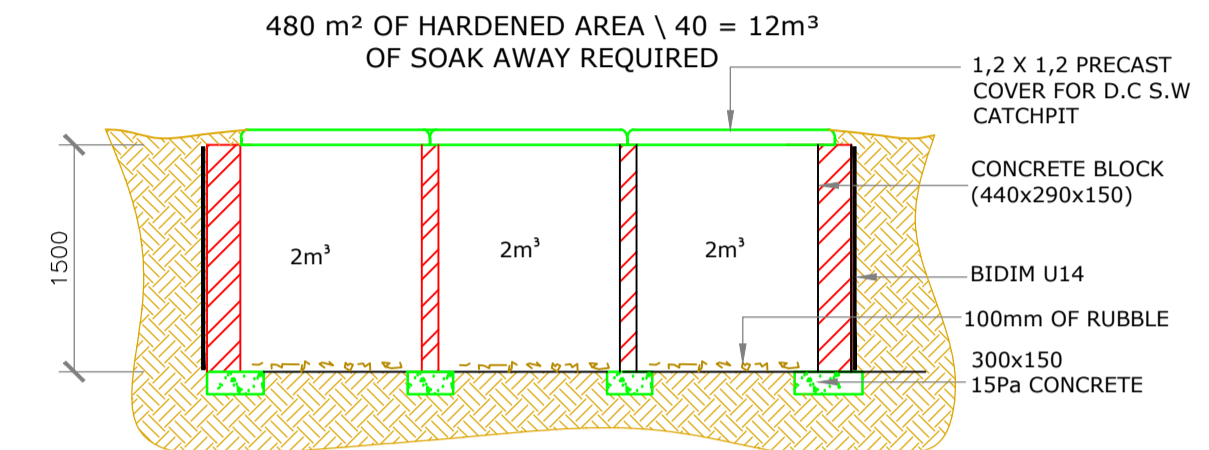
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Scale: as shown
Revision: 1

WINDOW SCHEDULE	
	WINDOW 1 Type - top hung with fixed bottom panel Total - 1 Size - 0.5sqm Glazing - 4mm toughened safety glass Description - hard wood stained and sealed timber frame
	WINDOW 2 Type - side hung with fixed bottom panel Total - 1 Size - 0.9sqm Glazing - 4mm toughened safety glass Description - hard wood stained and sealed timber frame
	WINDOW 3 Type - sliding window Total - 3 Size - 0.99sqm Glazing - 4mm monolithic annelid glazing Description - hard wood stained and sealed timber frame
	WINDOW 4 Type - double side hung with fixed middle panel Total - 1 Size - 1.485sqm Glazing - 4mm monolithic annelid glazing Description - hard wood stained and sealed timber frame
	WINDOW 5 Type - double side hung with fixed middle panel Total - 1 Size - 1.36sqm Glazing - 4mm toughened safety glass Description - hard wood stained and sealed timber frame

DOOR SCHEDULE	
	DOOR 1 Type - sliding door Total - 1 Size - 4.41sqm Glazing - 4mm toughened safety glass Description - hard wood stained and sealed timber frame



DETAIL OF SOAK AWAY



OWNER / AGENT SIGNATURE:	
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PROJECT: PROPOSED AS BUILT	
<i>Architectural Aspirations</i> <small>Budget Plans CC Trading as</small> <small>CK 95/35928/23</small>	
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CHECKED : MARIAN BLACK Registration: SACAP T0076 KZNIA 103 SAIBD B0404	Drawn: WESLEY R.LAVIS Registration: SACAP PAD 3383 5850 SAIBD L0519/2021/KZN
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