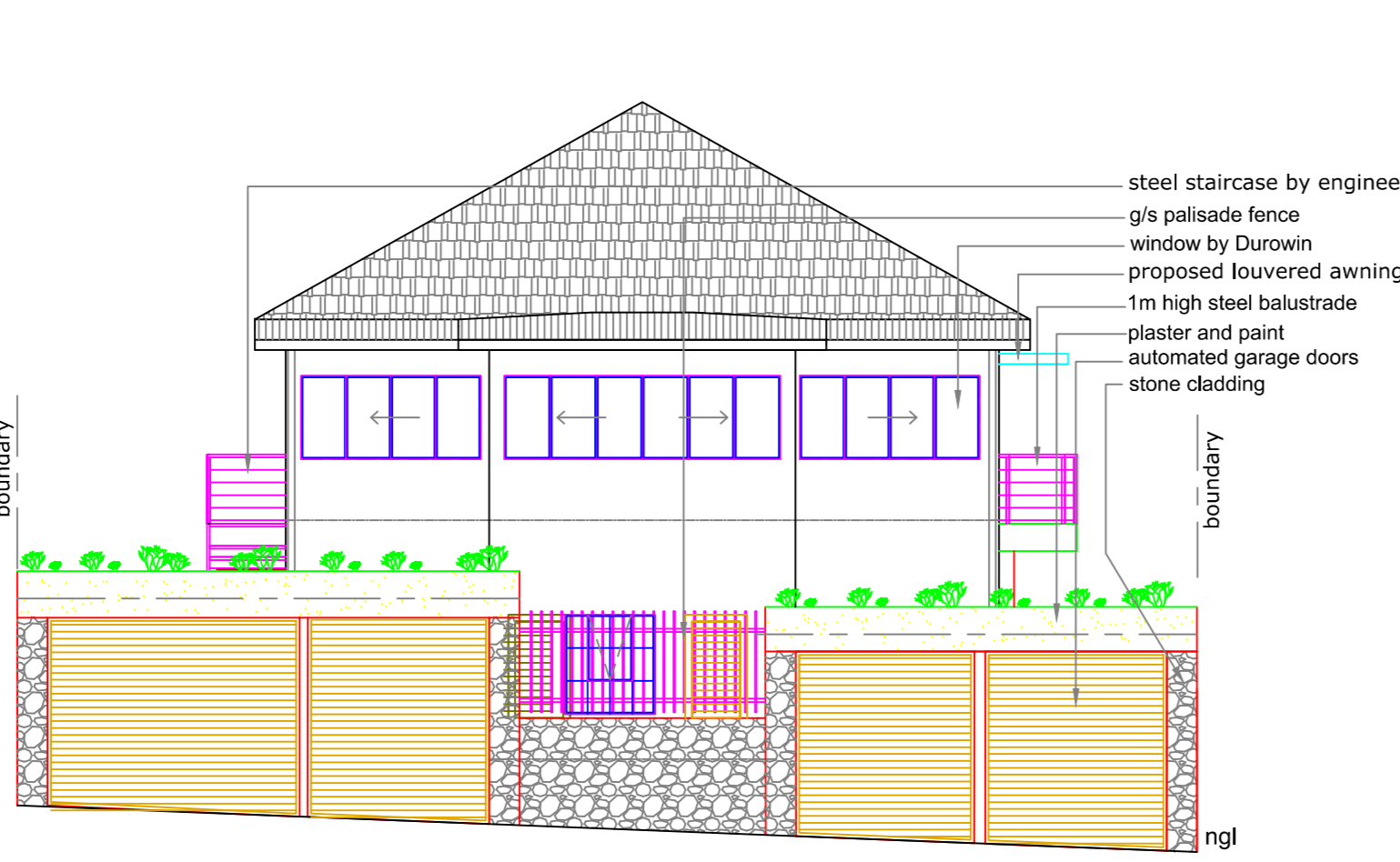


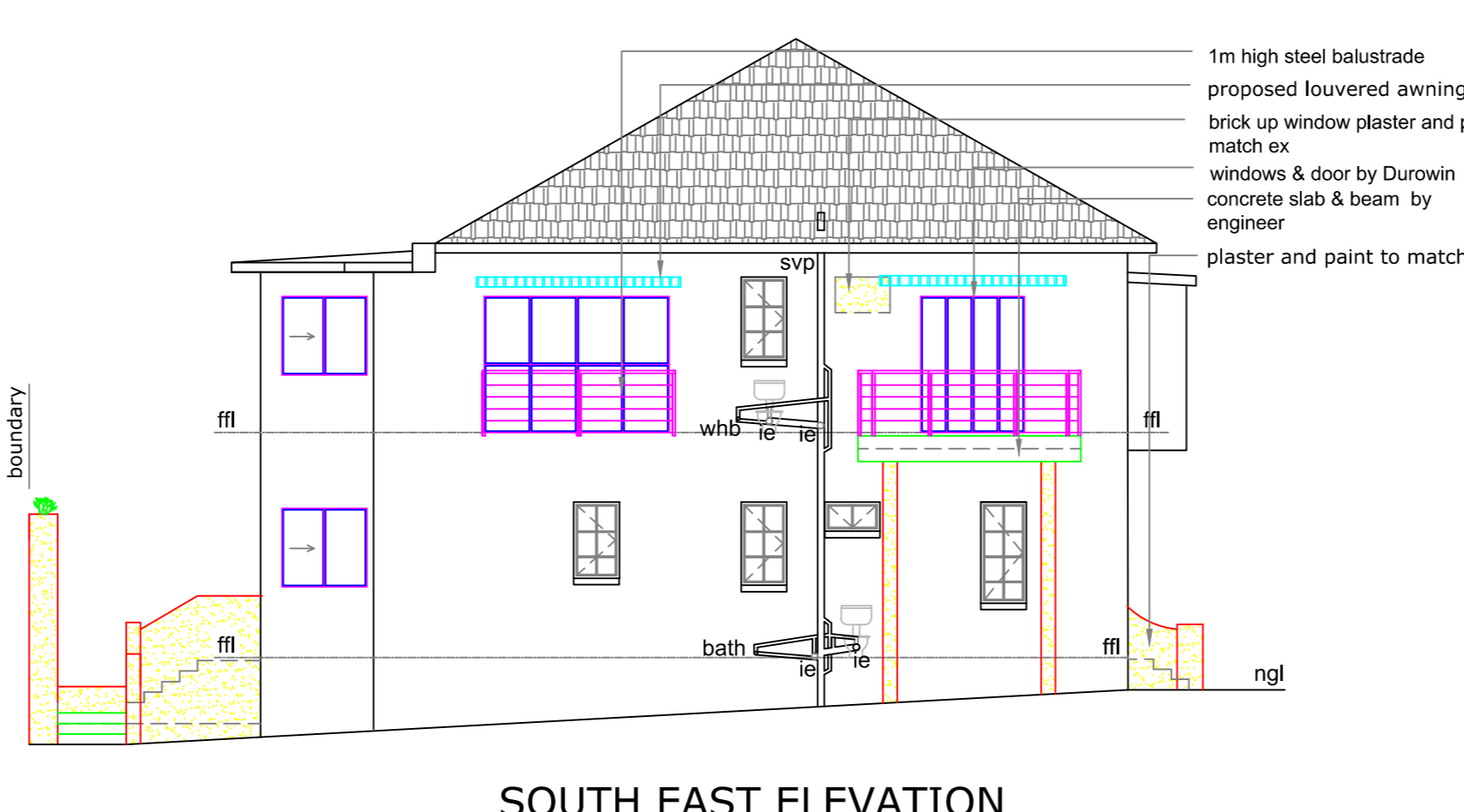
WINDOW 1	
4 No. folding stacking windows Durwin 1.579 sqm	W1 - SINGLE CLEAR 4mm glazing monolithic annealed glass
WINDOW 2	
2 No. SS INDUSTRIAL TYPE S543 Durwin 1.86 sqm	W2 - SINGLE CLEAR 4mm glazing monolithic annealed glass
WINDOW 3	
2 No. folding stacking windows Durwin 3.158 sqm	W3 - SINGLE CLEAR 5mm glazing monolithic annealed glass
WINDOW 4	
1 No. folding stacking windows Durwin 4.85 sqm	W4 - SINGLE CLEAR 5mm glazing monolithic annealed glass
WINDOW 5	
1 No. SS INDUSTRIAL TYPE Durwin 6.27 sqm	W5 - toughened safety glass 6mm glazing monolithic annealed glass
DOOR 2	
1 No. folding stacking doors Durwin 5.987 sqm	D2 - double toughened safety 6mm glazing monolithic annealed glass
DOOR 1	
1 No. folding stacking doors Durwin 3.36 sqm	D1 - double toughened safety 6mm glazing monolithic annealed glass
DOOR 2	
1 No. Fairdeal wooden windows 4.152 sqm	D2 - double toughened safety 6mm glazing monolithic annealed glass

ENERGY EFFICIENCY OF GLAZING ELEMENTS AFFECTED FLOOR AREA = 109.2m² x 15% = 16.38m² permissible
TOTAL GLAZING AREA = 40.97m² GLAZING AREA LESS THAN 15% OF AFFECTED FLOOR AREA
THE GLAZING DOES NOT PROPOSED SATISFIES THE REQUIREMENTS OF SANS 204 AND SANS 10400
PART XA REFER TO SUPPLEMENTARY GUIDE

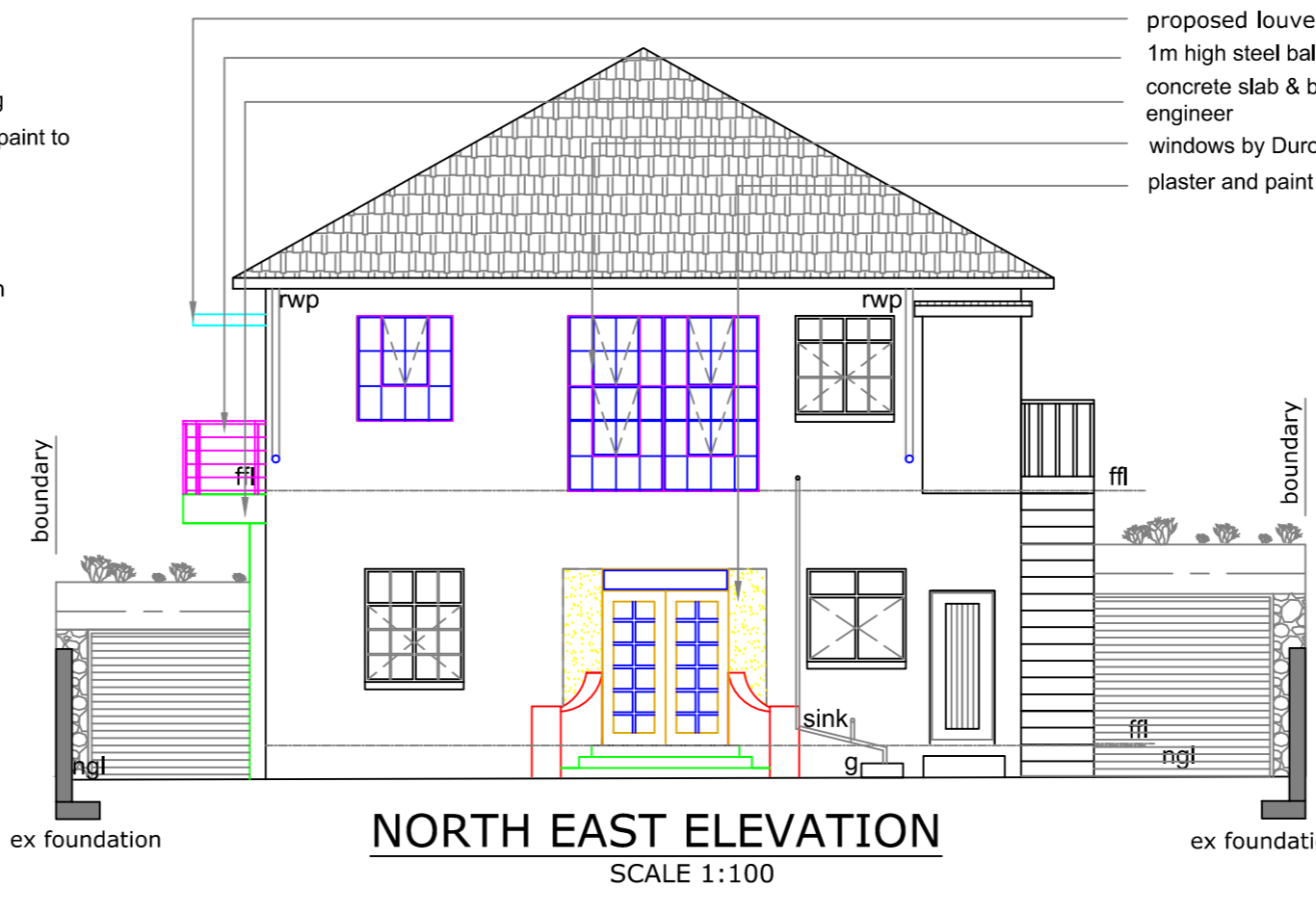
WINDOW SCHEDULE
Scale 1:100



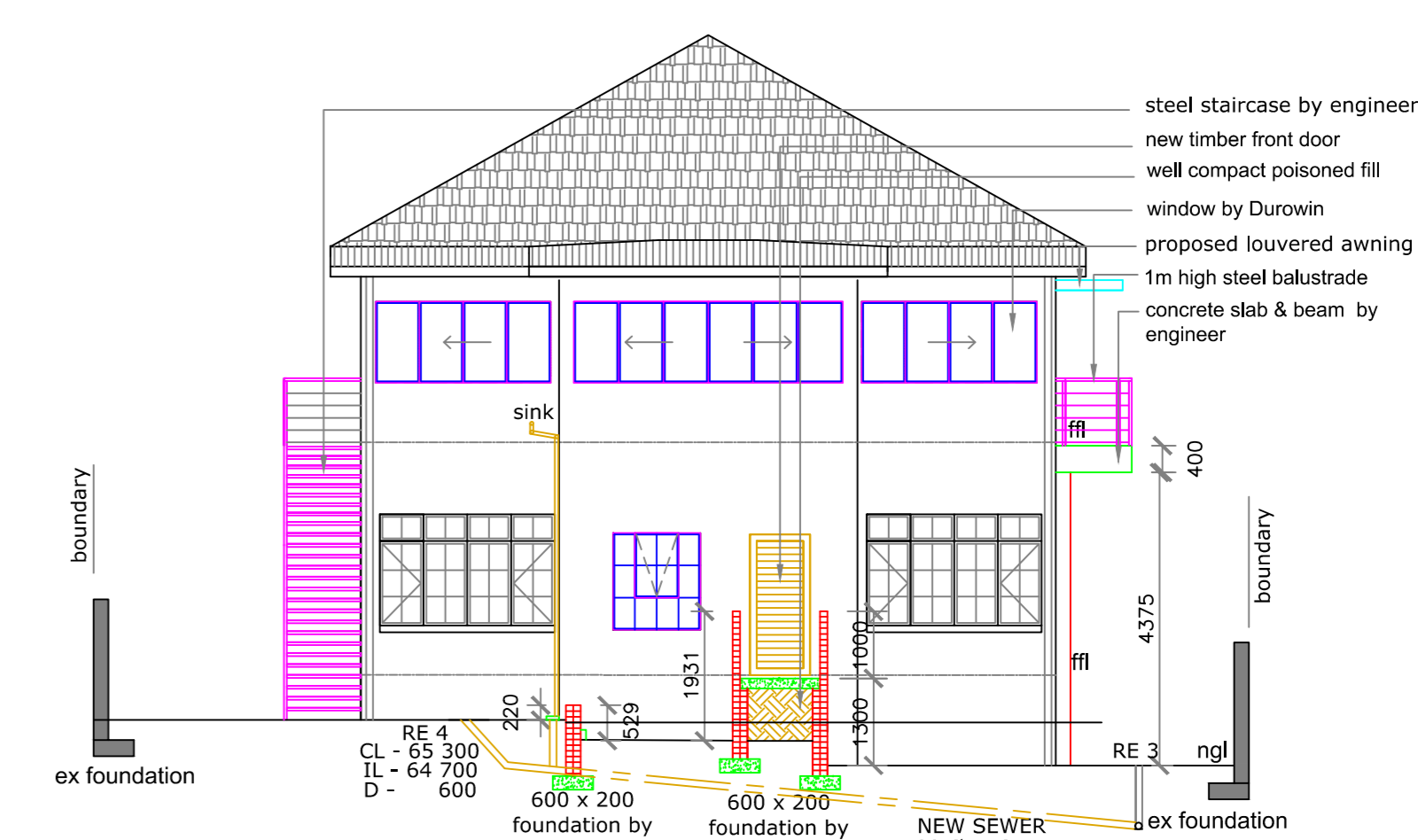
SOUTH WEST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100

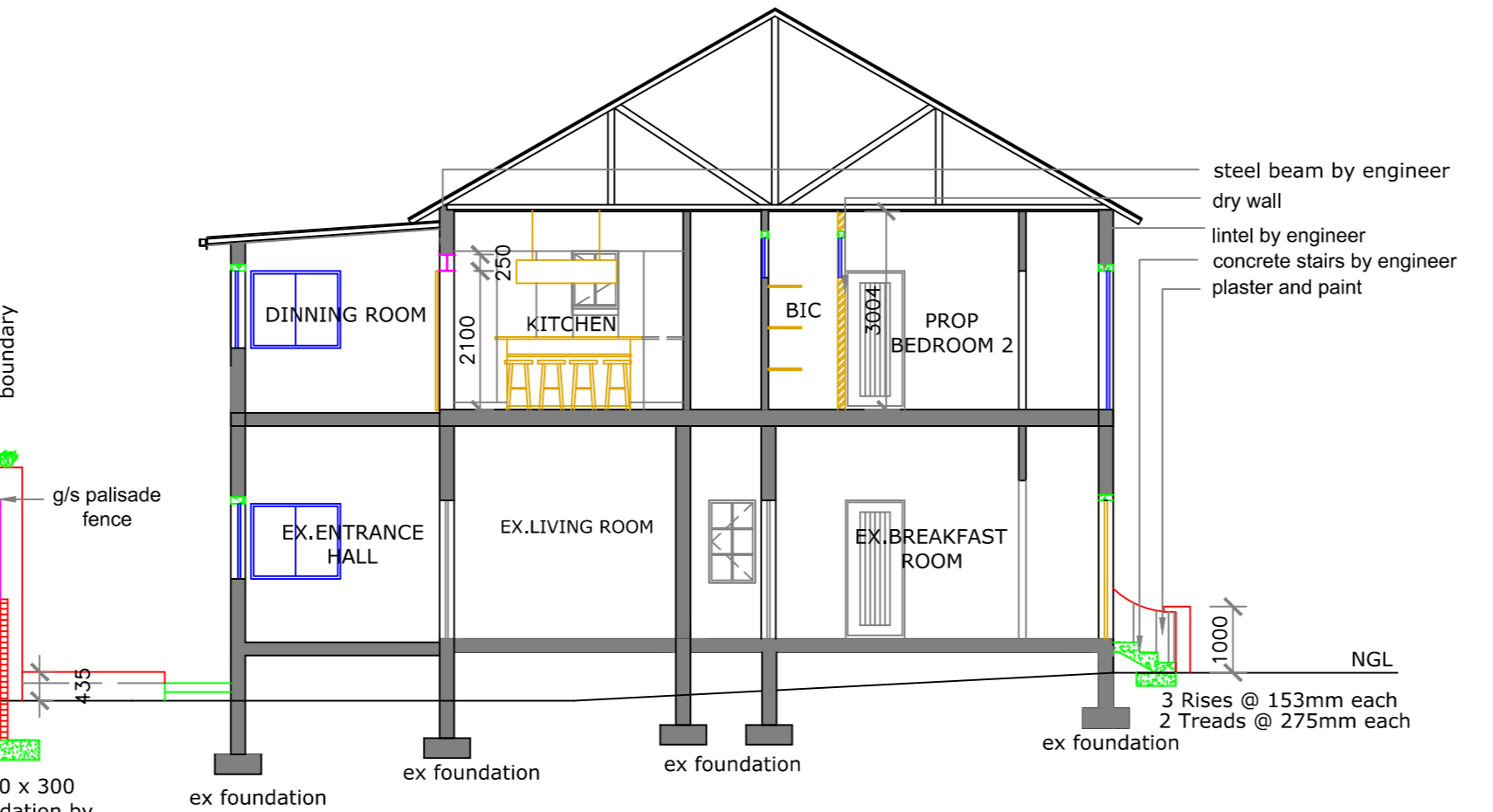


NORTH EAST ELEVATION
SCALE 1:100

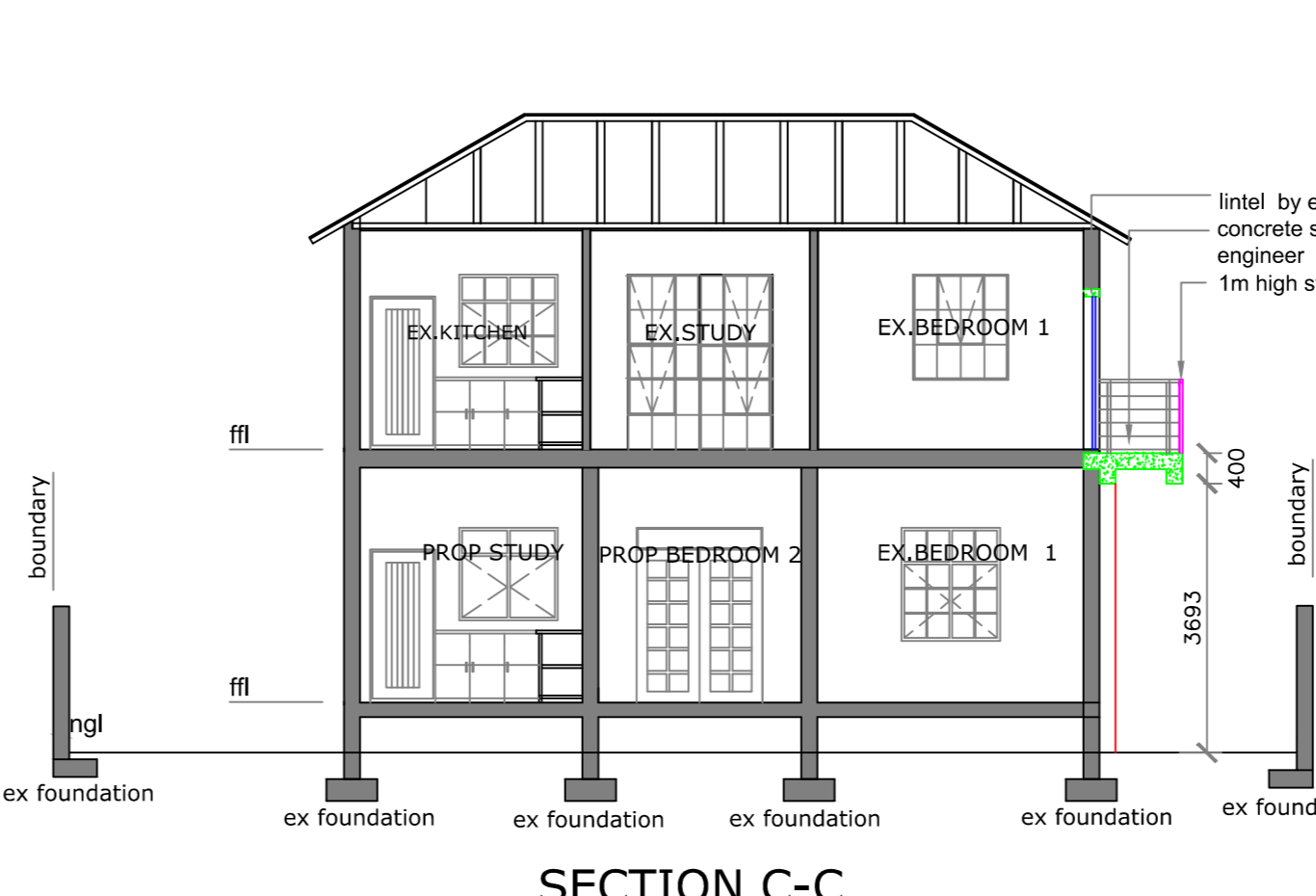


SECTION A-A
SCALE 1:100

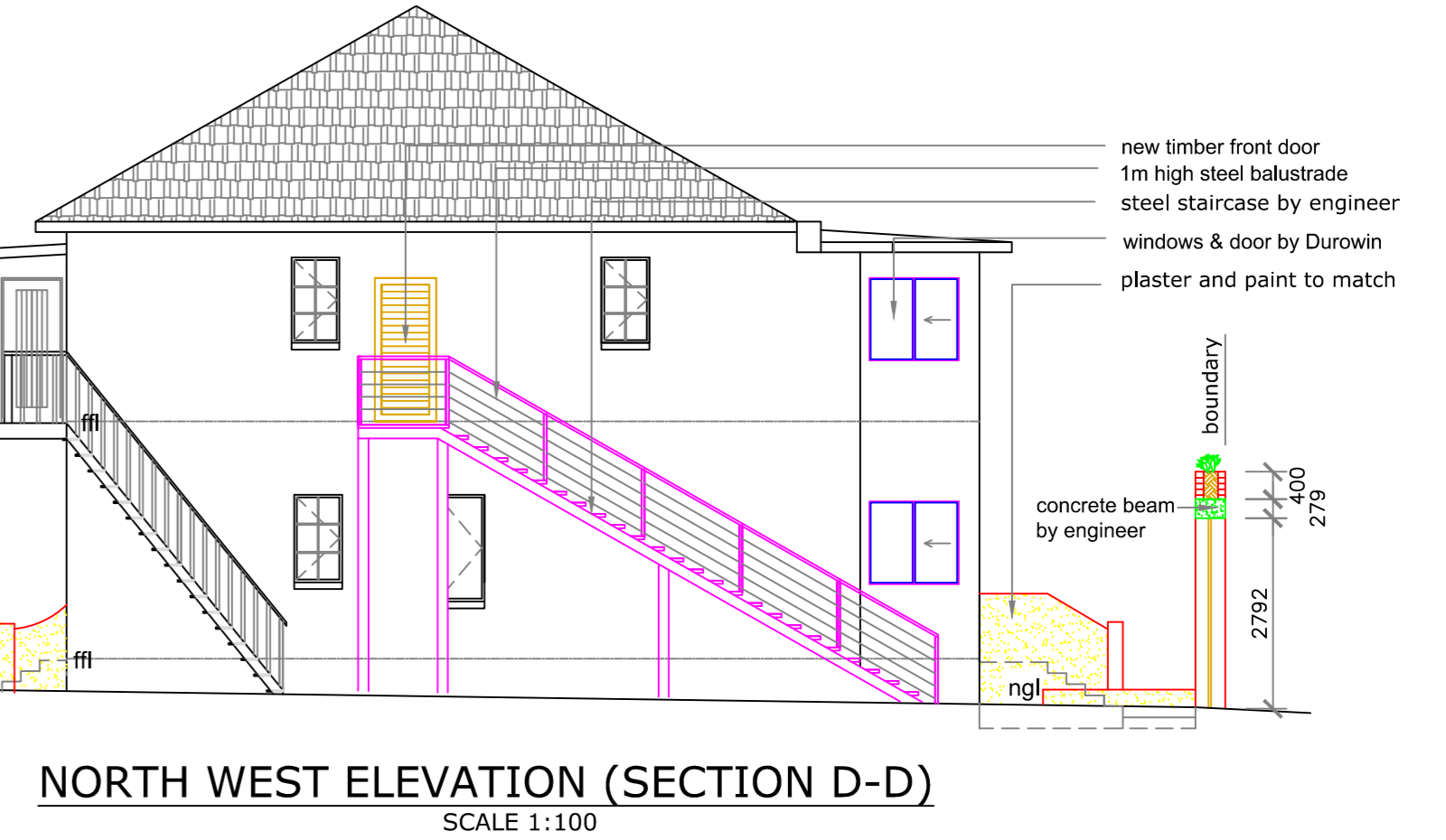
SCHEDULE OF AREAS	
ZONING: GENERAL RESIDENTIAL 1	
TOTAL SITE AREA (14 OF LOT 2264) = 463sq.m	
EX GROUND FLOOR	= 128 sq.m
EX FIRST FLOOR	= 130 sq.m
EX GARAGE	= 34 sq.m
EX ANGULARY UNIT	= 156sq.m
TOTAL EX AREA	= 307sq.m
PROP. VERANDAH	= 3 sq.m
TOTAL NEW AREA	= 3 sq.m
F.A.R. 1	
EX FLOOR AREA RATIO	= 273sq.m
NEW FLOOR AREA RATIO :	
TOTAL FLOOR AREA RATIO :	273 sq.m / 0.59
COVERAGE 40%	
EX COVERAGE :	179 sq.m
NEW COVERAGE :	3 sq.m
TOTAL COVERAGE :	182 sq.m 39.3%



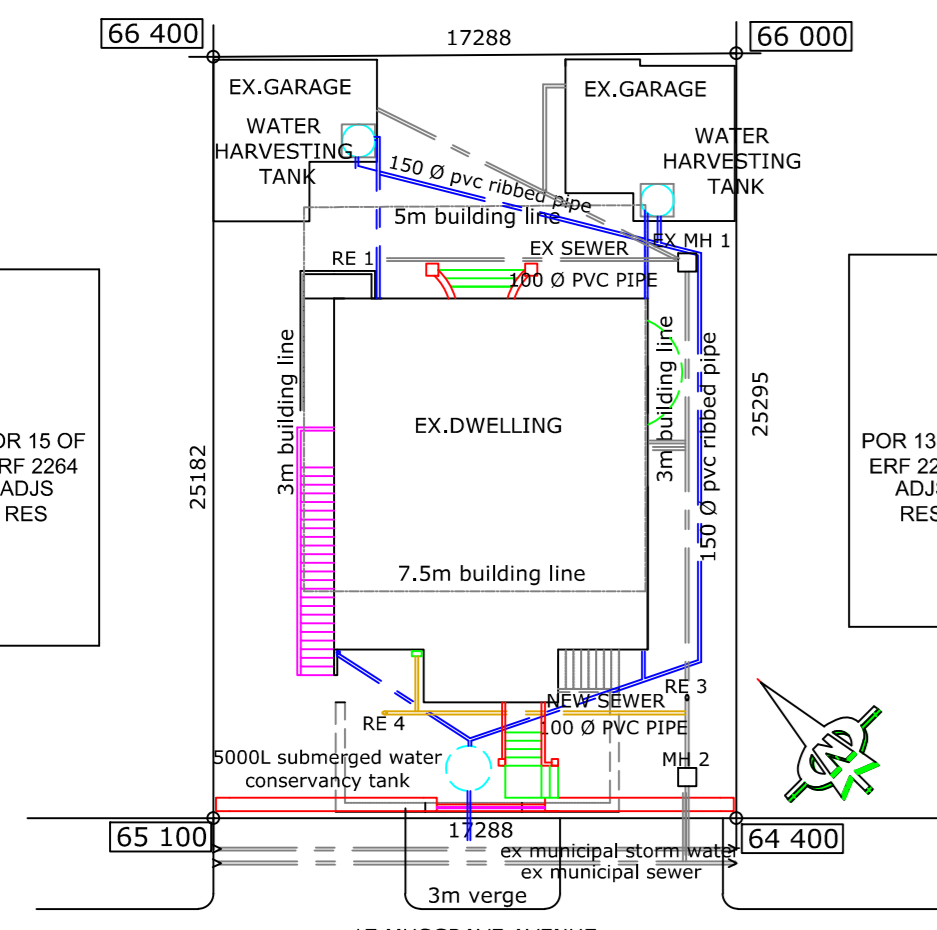
SECTION B-B
SCALE 1:100



SECTION C-C
SCALE 1:100

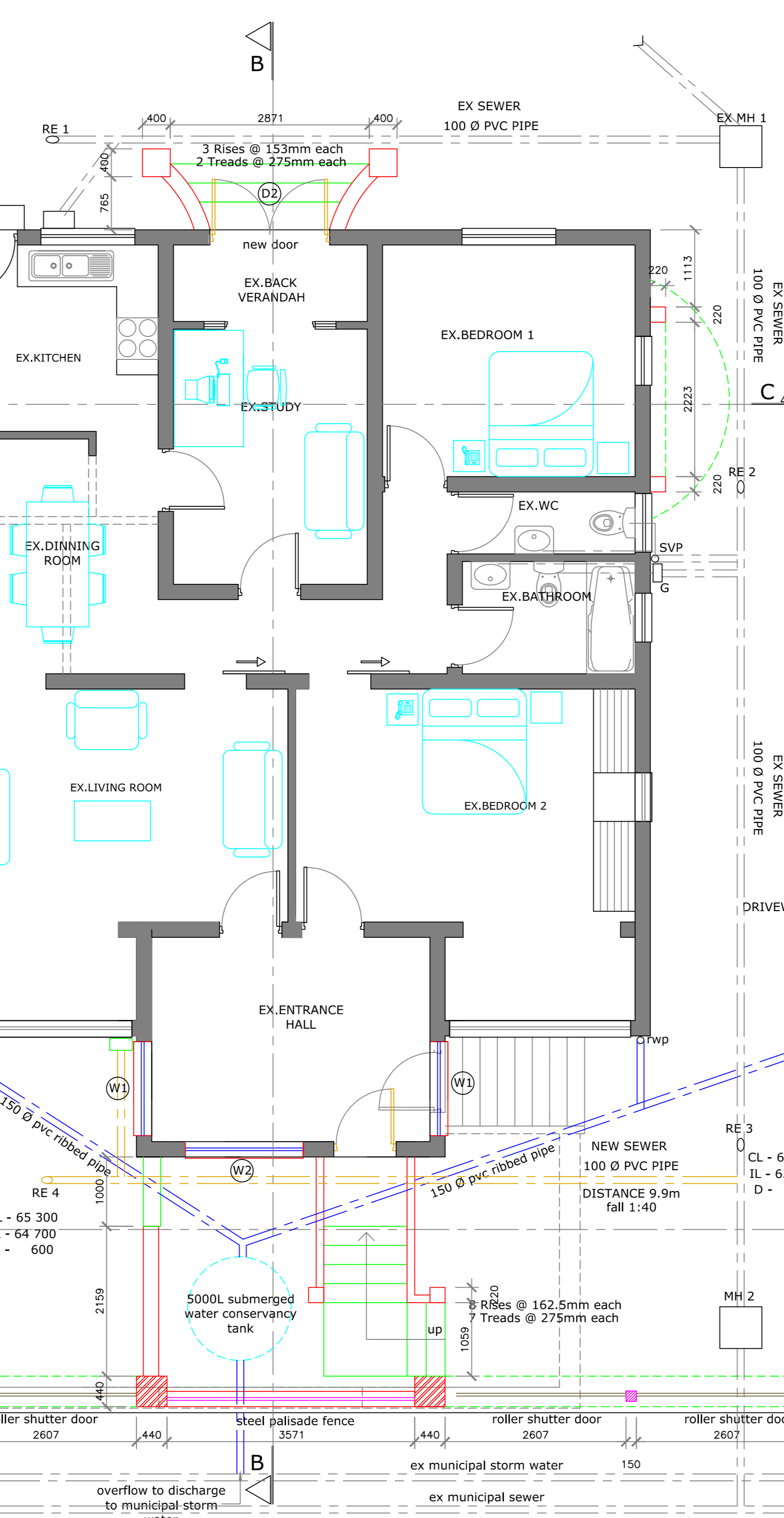


NORTH WEST ELEVATION (SECTION D-D)
SCALE 1:100

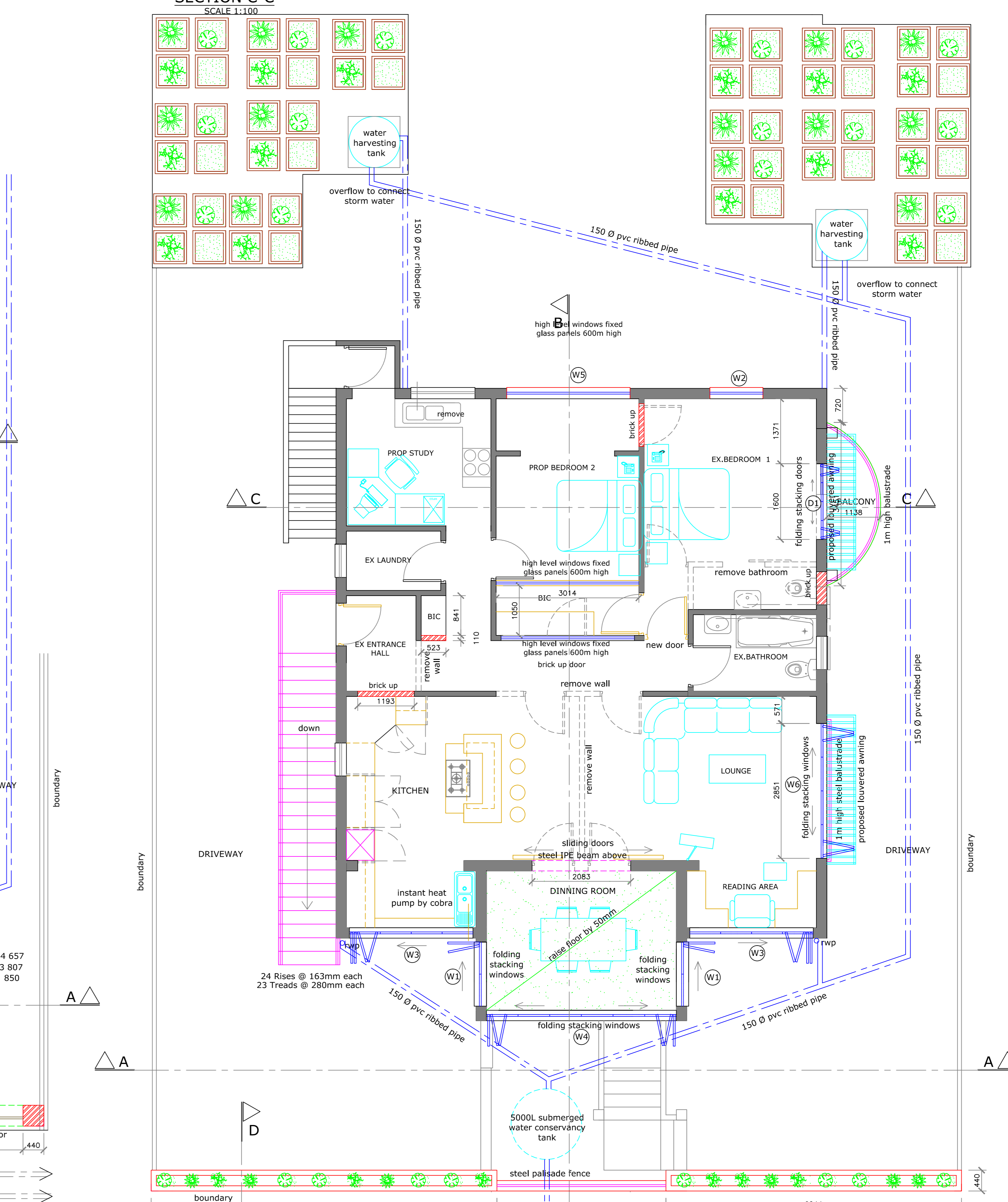


SITE PLAN
SCALE 1:250

LEGEND	
	- NEW BRICKWORK
	- NEW STORM WATER
	- REMOVE WALL
	- BUILT IN CUPBOARDS
	- CONCRETE ROOF TILES
	- NEW SEWER
	- NEW SEWER
	- NEW BEAM
	- 22mm HOT WATER PIPING AND FITTINGS PRE-INSULATED BY SPEEDFIT AFRICA



GROUND FLOOR PLAN
SCALE 1:50



FIRST FLOOR PLAN
SCALE 1:50

NOTES IN RESPECT OF SA STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS SANS 10400-2011

- GENERAL**
 - All construction, materials and components to comply strictly with all national building regulations (NBR), and SANS 10400 specifications and codes of practice.
 - Sanitary Fixtures to be approved by the Machinery Occupational Act (Act 6 OF 1983).
 - All Underground ducts, pipes and vents to be adequately sealed against methane seepage.
 - All slabs and structural steel to Engineers details premises to be rendered rodent proof in accordance with N.B.R.
- PART D: PUBLIC SAFETY**
 - All Public Safety to comply with part P of SANS 10400-D 2011
- PART M: STAIRWAYS**
 - Dimensions of stairways to comply with MM2.
 - All balustrades to be minimum 1000mm wide and to comply with MM3.
 - All treads to be minimum 250mm wide & risers to be maximum 150mm high.
- PART N: GLAZING**
 - All glazing to comply with SANS 10400-N 2010 as follows:
 - doors: 6.5mm laminated safety glass or 6mm for less than 19qm.
 - windows: 3mm for areas less than 7.5sqm
 - 4mm for areas less than 1.5sqm
 - 6mm for area more than 1.5sqm
- PART O: LIGHTING AND VENTILATION**
 - All lighting and ventilation to comply with SANS 10400 -O 2011 and Annex A.
 - Part O1 Lighting and Ventilation Requirement and part O2 Special Provision of Natural Lighting as well as Part O7 Fire Requirements.

- ELECTRICAL**
 - All lighting and ventilation to comply with SANS 10400 -O 2011 and Annex A.
 - Part O1 Lighting and Ventilation Requirement and part O2 Special Provision of Natural Lighting as well as Part O7 Fire Requirements.
 - SANS 0400 emergency lighting.
 - The Municipal By-laws and special requirements of the local supply authority.
 - Telkom regulations of the department of posts and telecommunications.
 - The Occupational Health and safety Act No 85 of 1993
 - Regulations of the local gas board.
- PART T: FIRE PROTECTION**
 - All fire protection to comply with SANS 10400-T:2011
 - All openings to have protection compliance with T-4.10
 - All ceilings to comply with T-4.13
 - All floor coverings to comply with T-4.14
 - All internal finishes to comply with T-4.15
 - All services in structural or separating elements to comply with T-4.41
 - All building materials to comply with T-4.56
- PART XA: ENERGY EFFICIENCY**
 - 50% of all hot water supply should be from another source other than electrical and to be shown on plan.
 - Fenestration of all windows and doors to be less than 15% if not then a rational assessment will be done.
- PART P: DRAINAGE**
 - All drainage to comply with part SANS 10400 part P.
 - All new hot water piping >18mm to have a min R value of 1.5 and be insulated or to use pre-insulated piping.

- CONSTRUCTION NOTES**
- GENERAL NOTES**
 - Contractor to report any discrepancies, omissions or deviations to architect.
 - Do not scale this drawing.
 - Contractor to notify local authority when inspections are due and to obtain all the necessary clearances and certificates.
 - Contractor to locate & identify any services on site and protect these from damage during construction.
 - Contractor to ensure all certificates of compliance are handed to owner on completion of construction.
- NEW WALLS, BEAMS & COLUMNS**
 - New common brick walls as shown with galvanised brick face as specified by engineer and to be provided at slab, sill and wall plate level, and laid to manufacturers recommendations, with expansion joints to engineers details.
 - All external brickwork to have outside face of internal brick skin bagged and bitumised.
 - All sand used in mortar to be screened free of impurities and cleaned, top surface of all new parapets, openings, exposed walls and sills to be waterproofed with approved waterproof membrane.
 - Precast ric linings to all new openings with brick face above as per engineer.
 - Coat smooth sand/cement plaster to all new and existing external & internal walls. All materials used in plaster to comply with the relevant SANS 10400 standard specifications.
 - All support columns and beams to Engineers design.

- NEW FOUNDATIONS, FLOORS**
 - Foundation size to be specified by engineer.
 - Floor finish as per floor plan on 30mm screed on 85 mm concrete surface bed, reinforced with brc mesh on 375 micro usb green damp proof membrane on 50mm blinding layer of clean river sand on poisoned, natural earth. By engineer
- WINDOWS**
 - New aluminium window frames standard made as per Durwin catalogue and SANS specifications, protected against mechanical damage during construction, all monomegny brushed chrome. Spcs to all sills and window reveals.
 - new sills: external to be brick on edge to match existing.
- DRAINAGE**
 - No drainage bends or junctions below floor slabs all bends and junctions to be fitted with I.e.drains under buildings to be HDPE and encased in concrete.
 - Kitchens to have grease traps and to have cw tap water.
 - Soil pipes to be 1000 upvc with minimum fall of 1:60.
 - All hot water pipes to be 22mm with a minimum R-value of 1.5. Piping and fittings by Speedfit Africa all pre-insulated.
- DOORS**
 - Standard meranti doors inside, timber exterior doors to be SABS class 1ext (exposure class) hd performance class.
 - All exterior doors and frames to be stained and sealed with plascon sunproof applied strictly in accordance with manufactures specifications.

CLIENT:
GEOFFREY & PATRICIA SYLVESTER

ADDRESS:
17 MUSGRAVE RD
PORTION 14 OF ERF 2264
DURBAN

PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS

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Tel: 031 208 9382
Fax: 031 209 8460
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Drawn: M Black
Registration: SACAP T0076
KPAIA 103
SAIBD B0404
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Revision: C