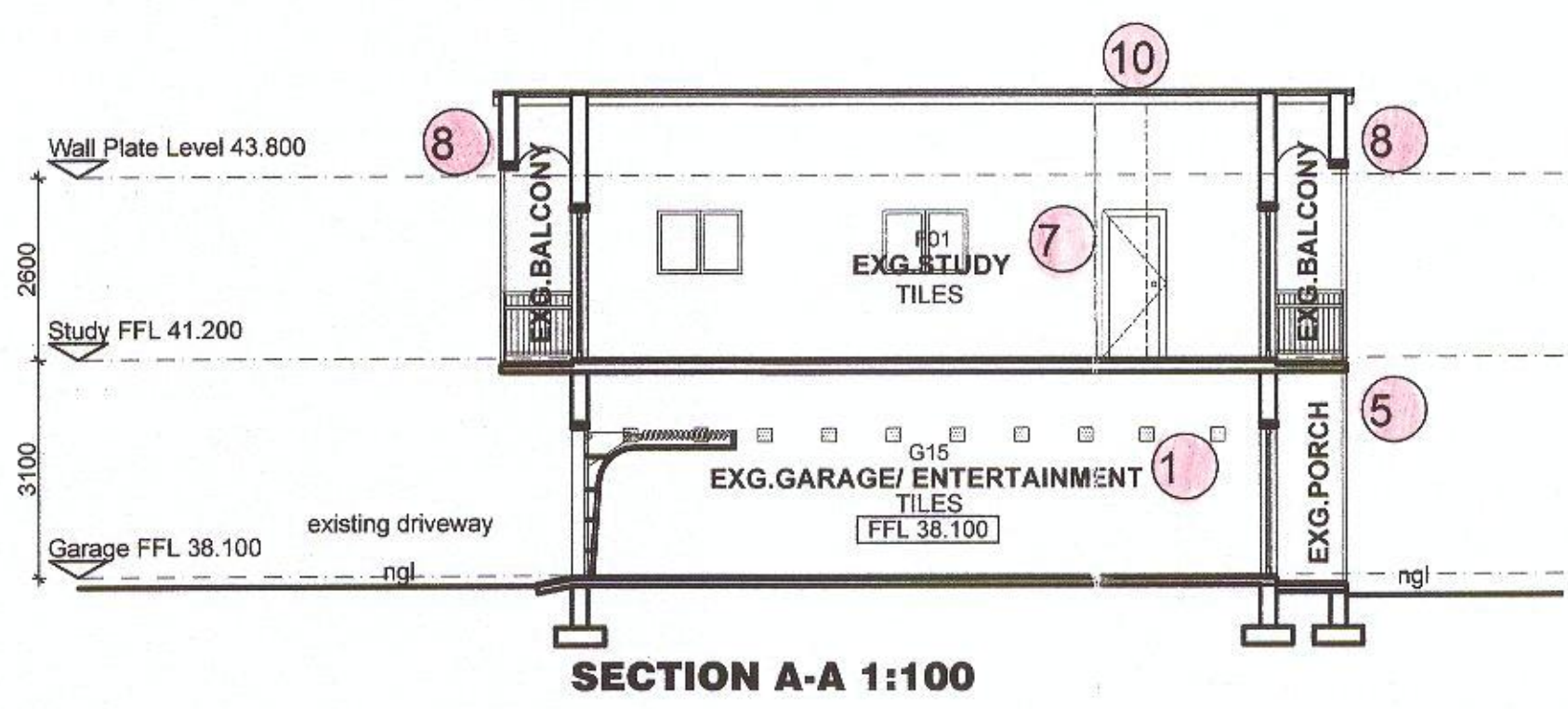
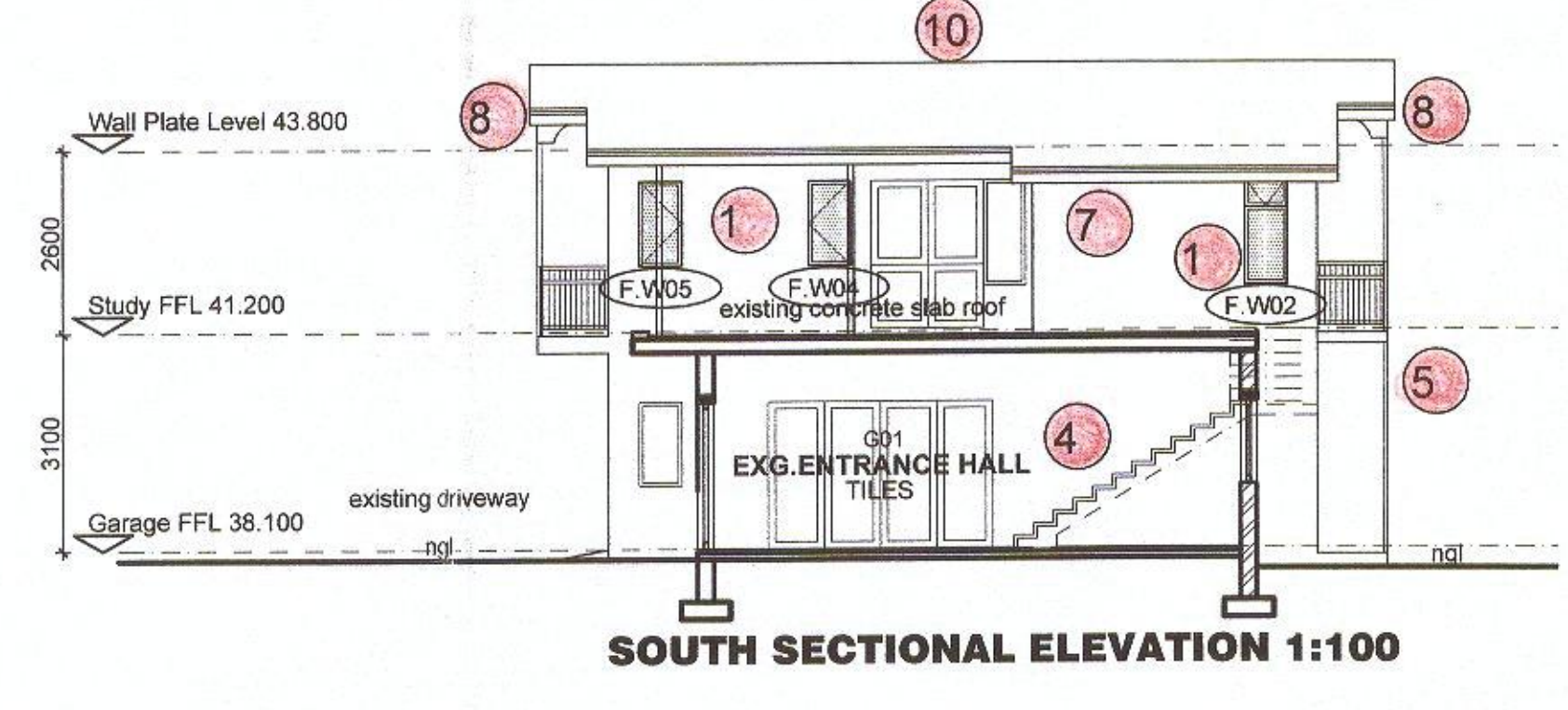


GENERAL NOTES:
 COPYRIGHT OF ALL DRAWINGS AND DESIGN SHALL REMAIN THE PROPERTY OF FERGUSON ARCHITECTS.
 Contractor must verify all levels and dimensions on site before commencing work.
 All discrepancies and/or errors to be reported to Architect immediately. DO NOT SCALE THE DRAWING. IF INFORMATION IS REQ. CALL THE ARCHITECT. This drawing to be read in conjunction with all relevant Consultants drawings. All builders work to comply with the National Building Regulations (SANS 10400)

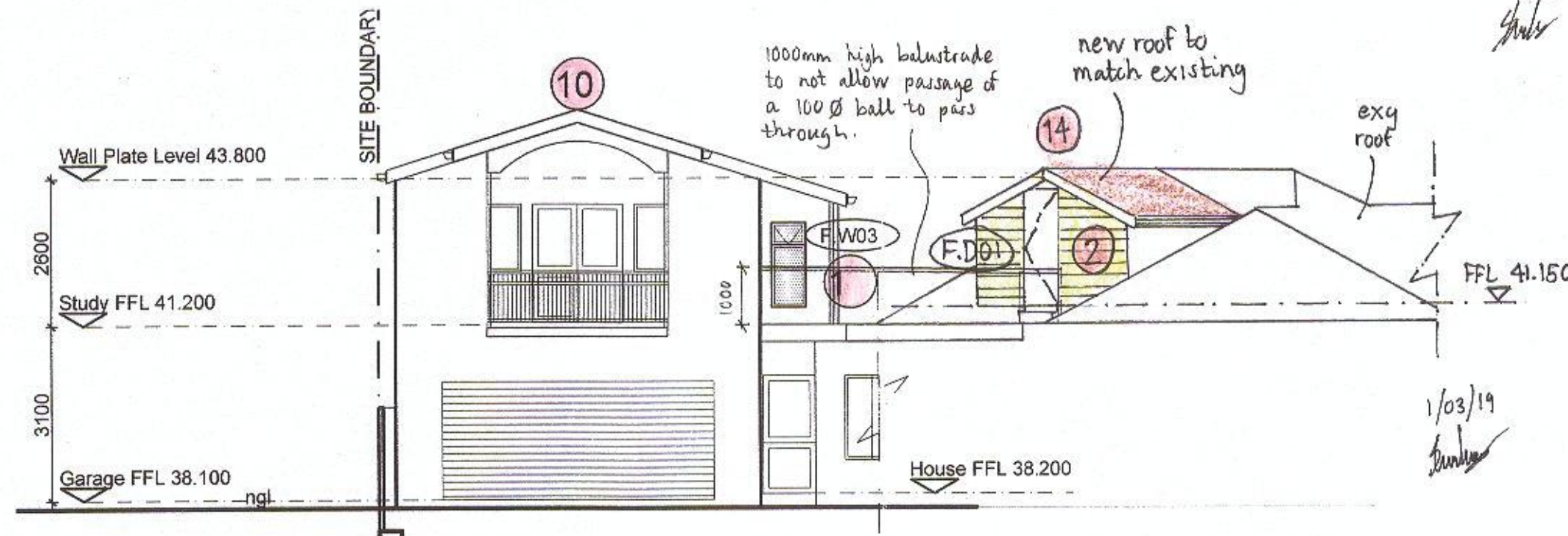
- FOOTINGS:**
 - Mass concrete footings as follows, unless otherwise specified by Structural Engineer:
 200 and 230 brick walls - 250 x 700mm mass concrete
 110 brick walls - 200 x 600mm mass concrete.
 To comply with SANS 10400, Part H.
- FLOORS:**
 - 250 micron DPM on 50mm clean sand compacted to 98% Mod AASHTO on compacted hardcore. Ground under concrete slab to be poisoned 5% PCP in solution.
 - All floors to have 50mm finish tolerance to include screed & or tile on reinforced concrete slab to Structural Engineers' detail.
 - All kitchens, bathrooms and toilets to have impervious floor finishes.
 - Floors to comply with SANS 10400, Part J.
- WALLS:**
 - External Walls - 280mm cavity brickwork or 230mm brickwork with 5 x wall tie sq.m. At floor level - stepped DPC with weepholes to every 4th parapet in cavity walls. 375 micron DPC to be minimum 150 above FGL and be well lapped into DPM. DPC all around all openings.
 - Plaster & Paint. Colour as specified by architect.
 - Internal Walls - brick walls, plaster, crestone and painted, unless otherwise specified.
 - Walls to comply with SANS 10400, Part K.
- ROOFS:**
 - Pitched Roofs: Corrugated sheeting Klokop or similar with insulation on purlins at centres as required by sheeting manufacturer or to engineer's detail on prefabricated ganngail timber trusses or rafters to specialist design and detail. Trusses on 114x38 wall plate with galvanized hoop irons built into brickwork.
 - Pitched Roofs: Tiles on 38x38 SAP battens on approved underlay on prefabricated ganngail timber trusses to specialist design and detail. Trusses on 114x38 wall plate with galvanized hoop irons built into brickwork.
 Roof to comply with SANS 10400, Part L.
- RAINWATER GOODS:**
 - Aluminum powder coated seamless gutters and downpipes, profile and colour to architects specification.
 - All downpipes to discharge into site stormwater system.
- CEILING:**
 - Skimmed concrete soffit where indicated.
 - 10mm gypsum plasterboard flush suspended ceilings on bracing with 6mm crestone skim.
 - All cornice to match existing.
- NATURAL LIGHTING:**
 - Lighting and ventilation to comply with SANS 10400, Part O. All habitable rooms to have natural light = min 10% of floor area.
- VENTILATION:**
 - All habitable rooms to comply with natural ventilation = min 5% of floor area. Rooms indicated to be fitted with extract fan to specialist recommendation.
- TIMBER WINDOWS & DOORS:**
 - New timber purpose made doors & windows see schedule.
- GLAZING:**
 - Glazed areas exceeding 1sq.m to be toughened safety glass. All doors & sidelights to be toughened safety glass.
 - Glazing below 1000mm above floor to be toughened safety glass. Glazing to comply with SANS 10400, Part N and SABS 0137.
 - Showers - all glazing to be frameless toughened safety glass, specified and installed by specialist.
- DOORS:**
 - New internal doors to match existing. Set aside existing for reuse where possible.
- LINTELS:**
 - All lintels to be to structural engineer's specification.
- SKYLIGHTS:**
 - Flashing and counter flashing as per manufacturer's specification. Skylights installed are in accordance with the manufacturer's specification.
- FLOOR FINISHES:**
 - Selected internal floor tiles on suitable tile adhesive laid by specialist. Polysulphide expansion joints to be provided as per manufacturer's specifications.
 - Selected external floor tiles on suitable tile adhesive laid by specialist. Polysulphide expansion joints to be provided as per manufacturer's specifications.
 - Cermitex waterproofing as carrier membrane beneath tiles to shower and bath surround.
 - Allow 50mm recess to all showers. To allow for level access tiled screed to fall.
- WALL FINISHES:**
 - PAINT 1 - to bathrooms - Plascon Velvegio
 - PAINT 2 - to bedrooms - Plascon Cashmere
 - Internal Walls - 110mm brick walls, plaster, crestone and painted.
 - Tile (mosaic) full height to showers and bath surround.
 - Cermitex waterproofing on carrier membrane beneath tiles to showers and bath surround.



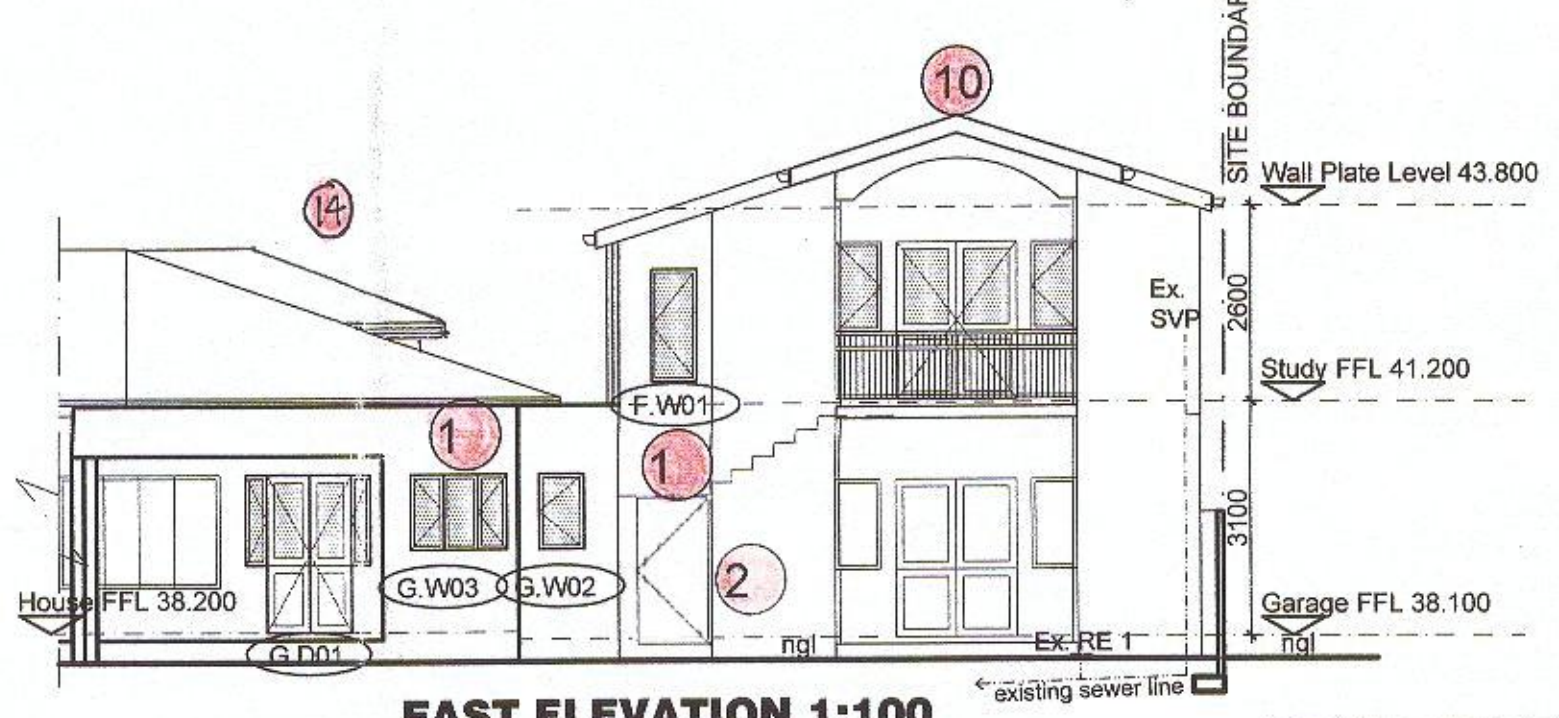
SECTION A-A 1:100



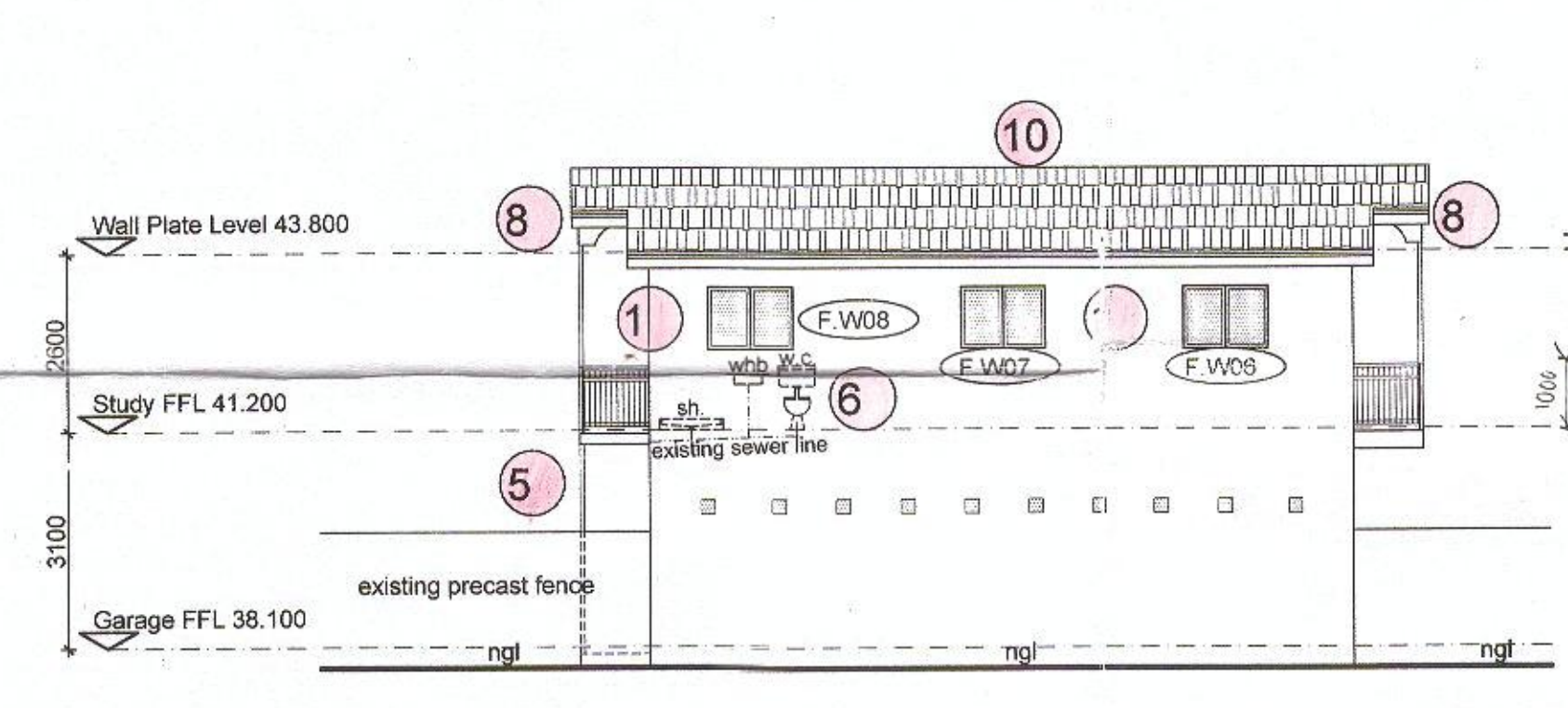
SOUTH SECTIONAL ELEVATION 1:100



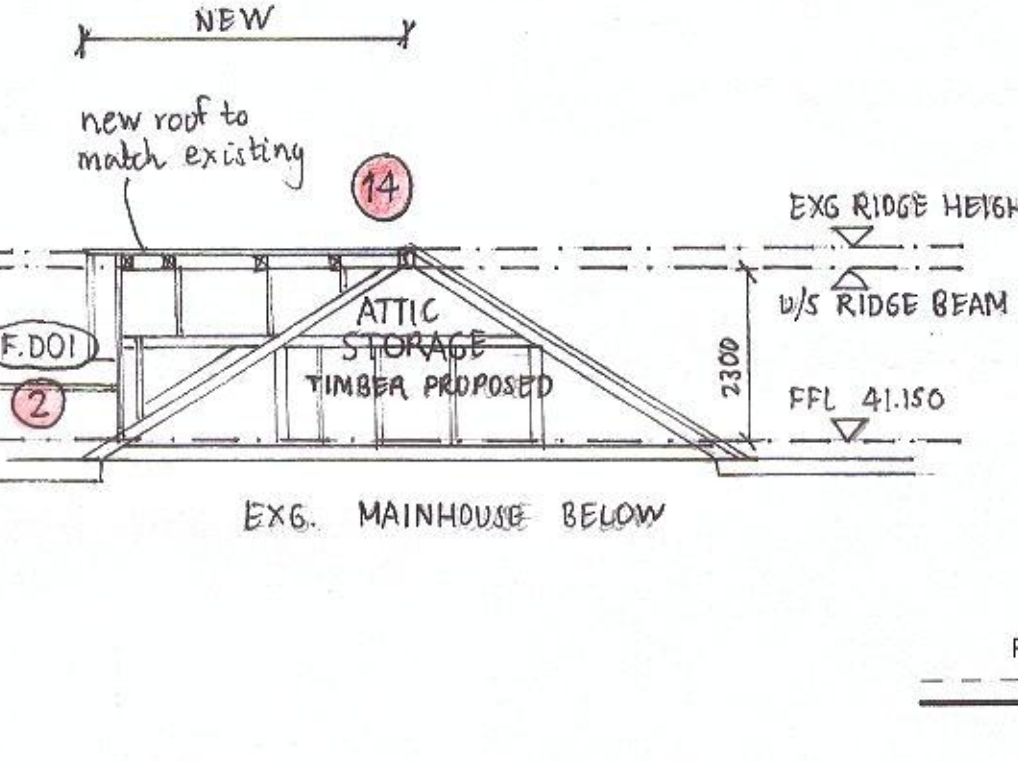
WEST ELEVATION 1:100



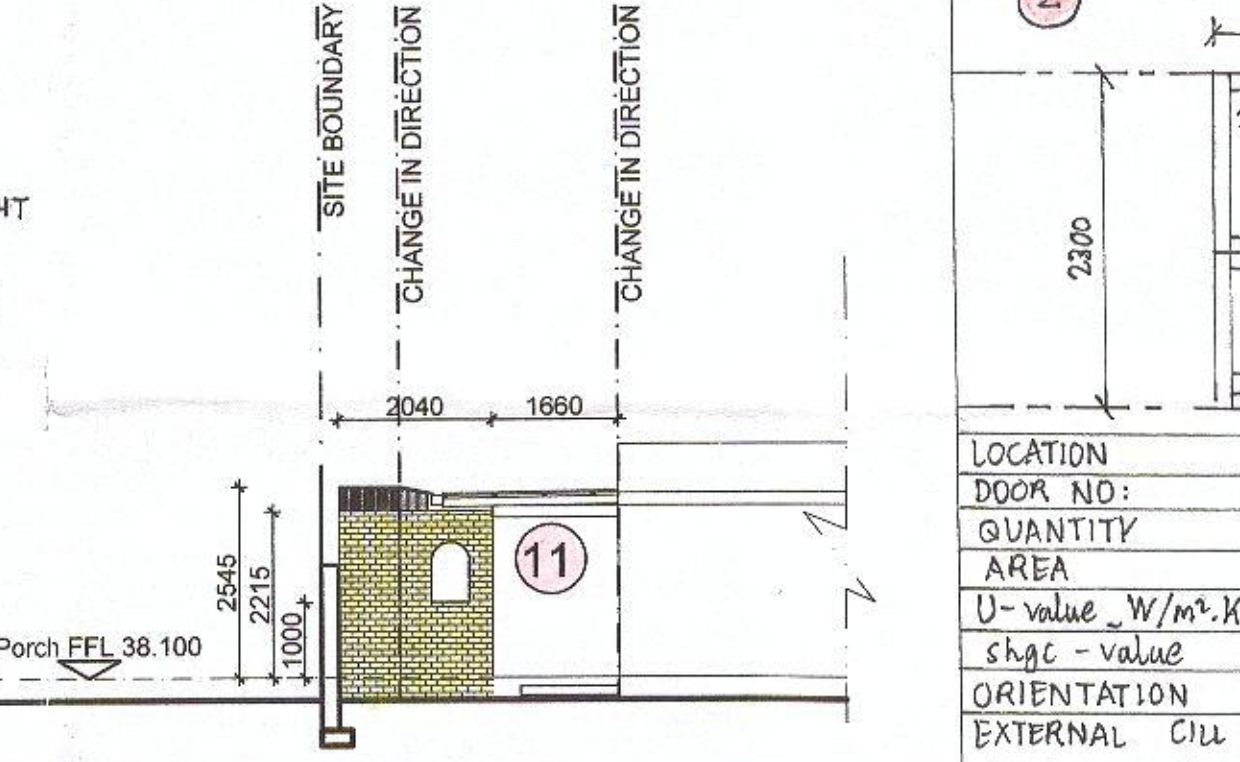
EAST ELEVATION 1:100



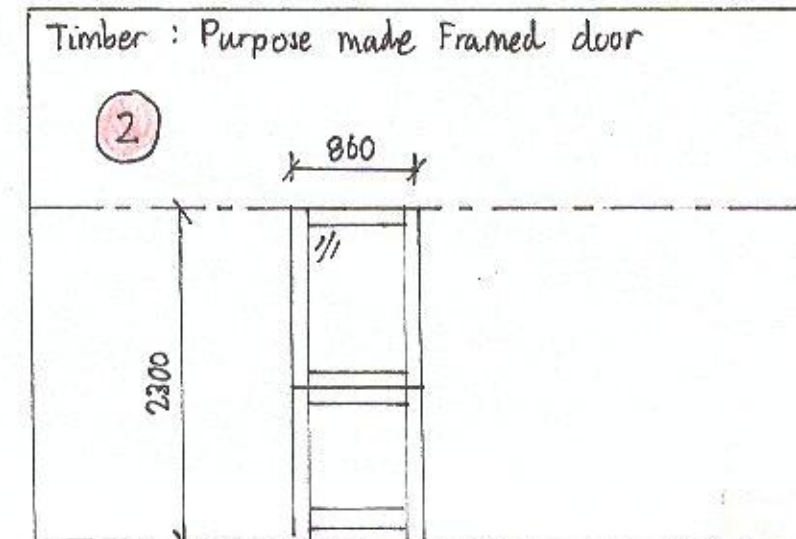
NORTH ELEVATION 1:100



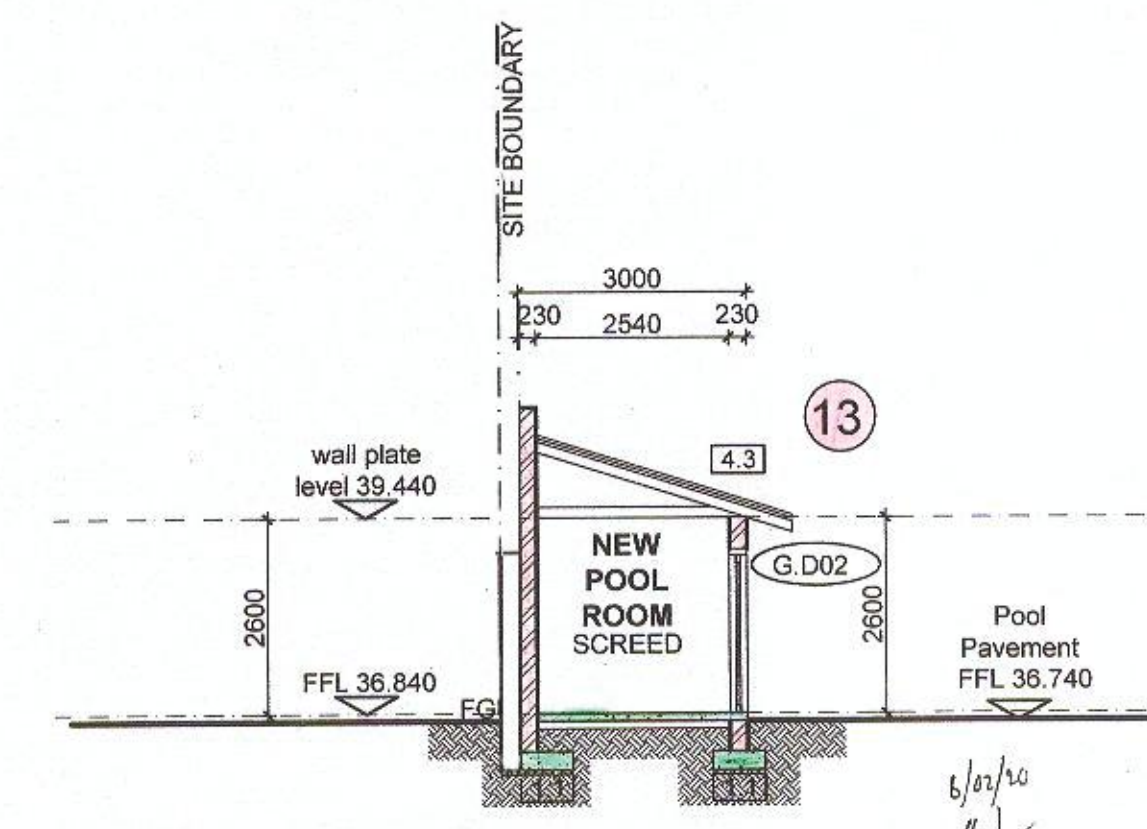
SECTION C-C 1:100



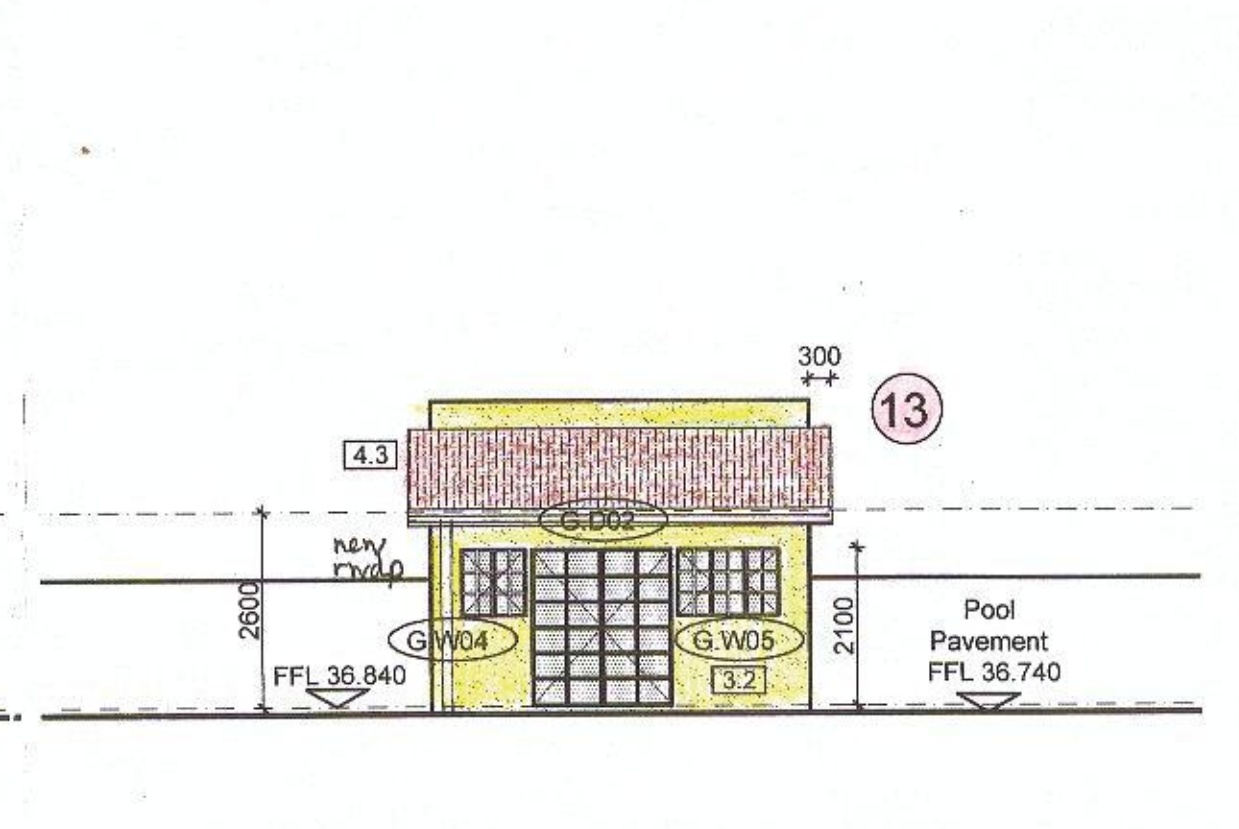
NORTH ELEVATION OF BRAAI AREA 1:100



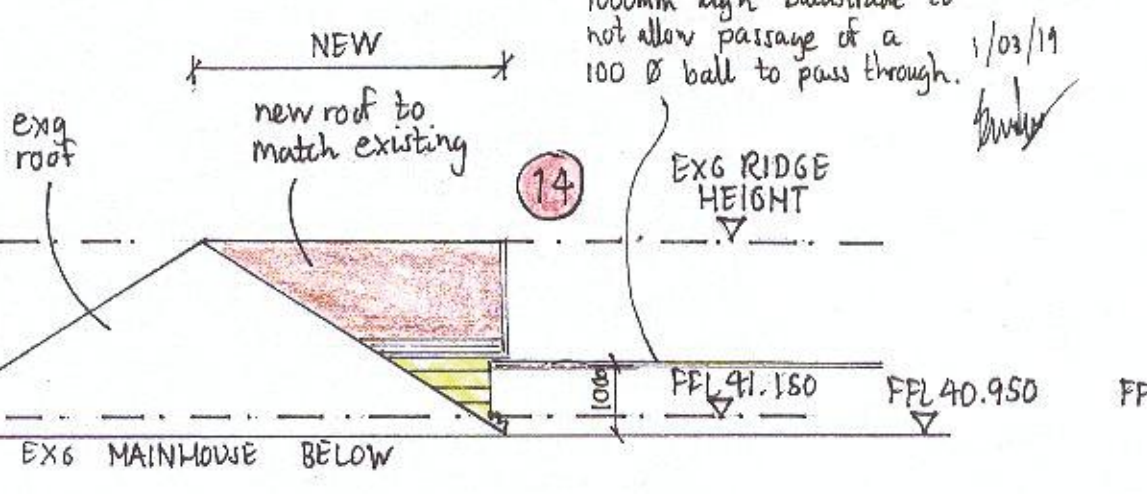
LOCATION	NEW ATTIC STORAGE
DOOR NO:	F.D01
QUANTITY	1
AREA	1.98
U-value W/m².K	5.6
shgc-value	0.77
ORIENTATION	NORTH WEST
EXTERNAL CILL	TO FLOOR
INTERNAL CILL	TO FLOOR
FRAME: FINISH	TIMBER - VARNISHED
LEAF: FINISH	SOLID TIMBER HARDWOOD
IRONMONGERY	PURPOSE MADE
GLAZING	NOM 6MM SINGLE CLEAR TOUGHENED SAFETY GLASS - THICKNESS TO SUPPLIERS SPEC.
DETAILS	PURPOSE MADE
NOTES	ALL SIZES TO BE VERIFIED ON SITE.



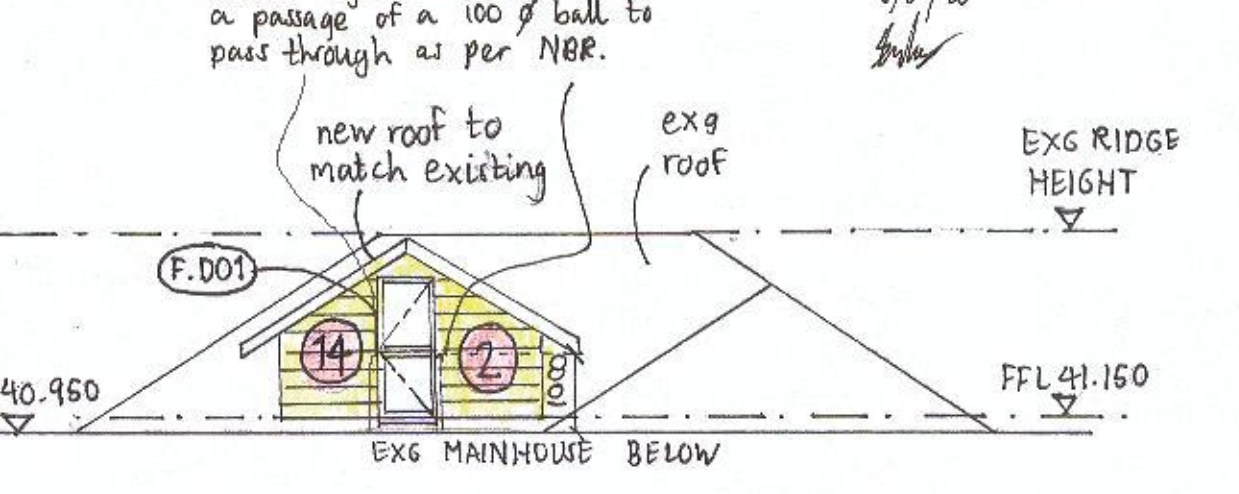
SECTION B-B 1:100



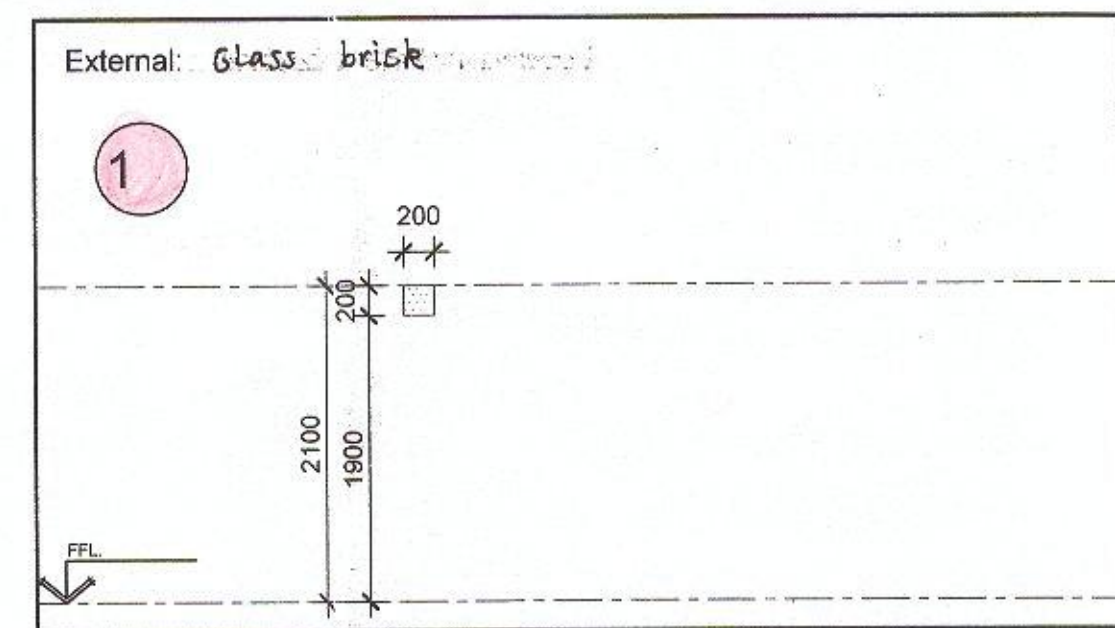
WEST ELEVATION OF POOL HOUSE 1:100



EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



LOCATION	G15 EXG GARAGE / ENTERTAINMENT
WINDOW / DOOR NO:	G.W01
QUANTITY	10
AREA	0.400
U-value, W/m².K	N/A
shgc-value	N/A
ORIENTATION	N/A
EXTERNAL CILL	PLASTER AND PAINT
INTERNAL CILL	PLASTER AND PAINT
FRAME: FINISH	NONE
LEAF: FINISH	FIXED GLASS PANE
IRONMONGERY	TO BE CONFIRMED
GLAZING	NOM 3MM SINGLE CLEAR MONOLITHIC ANNEALED GLASS - THICKNESS TO SUPPLIERS SPEC.
DETAILS	PURPOSE MADE
NOTES	ALL SIZES TO BE VERIFIED ON SITE

- LIST OF DEVIATIONS**
- NEW WINDOWS & GLASS BLOCKS ADDED
 - NEW DOOR ADDED
 - NEW SCULLERY ADDED TO KITCHEN
 - STAIR REPOSITIONED
 - NEW COVERED PORCH
 - DRAINAGE UPDATED, REPOSITIONED ON NORTH ELEVATION
 - F02 EXG BATH MADE BIGGER
 - EXG BALCONIES MADE RECTANGULAR WITH ROOF OVER
 - NEW POLYCARBONATE PLASTIC SKYLIGHTS ADDED
 - SCHEDULE OF AREAS AMENDED
 - NEW BRAAI AREA
 - EXG. NURSERY TO BE DEMOLISHED
 - NEW POOL ROOM
 - NEW ATTIC STORAGE ADDED

STORMWATER: Stormwater management to comply with SANS 10400, Part R. and to be to engineer's detail where necessary. Soakpits to be constructed to geotechnical engineer's detail. Ratio to be min. 40 square meters of hard surface, per 1 cubic metre of pit. Soakpits to be positioned minimum 3m from either buildings or boundaries. All paved areas to fall to sumps or to be graded to fall on site stormwater system.

SEWER NOTES:
 1. Soil pipes - 110mm dia
 2. Waste pipes - 50mm dia
 3. Vent pipes - 50mm dia
 4. All slowbends to have minimum radius of 600mm
 5. All Drains under driveway and building to be laid sand encased in 150mm concrete.
 6. Deep seal traps to all first floor fittings.
 7. All gullies to have minimum depth of 450mm.
 8. No drainage pipes are to be visible externally.
 All drainage to comply with SANS 10400-1990, Part P
 Sewer connections to be exposed before commencing work.
 All sewer lines to start 450mm below FGL. Min fall 1:50.
 2 way vent valves to be fitted at the head of all runs.
 Rooding eyes to be supplied at all starts and to be fitted every 25m.
 Inspection eyes to be fitted at all bends, changes in direction and junctions.
 Maximum run for PVC sewer pipes to be 25m.
 Anchor blocks to be provided where gradient exceeds 1:40.
 All sewer and stormwater pipes to pass through walls to be in accordance with SANS 10400, Part P.
 Heavy duty pipe to be encased in concrete where any structure including driveways passes over it. To be adequately protected in accordance with the loads imposed on it.
 All underground drains to be laid in trenches on granular bedding and backfilled.
 Pipework cutting and jointing on site to be in accordance with manufacturer's specifications.
 All traps to be 75mm deep.
 All drains to be cleared of rubble, cleaned and inspected before commissioning.
 All cast iron surface boxes, inspection chamber covers and frames to be sabs 558.
 Plumber shall be responsible for the proper fixing and protection of all piping and sanitary fittings while the building is under construction.
 Adequate access to be provided for inspection, testing and maintenance.
 As built drawings to be produced by the plumber and to be issued to the architect.

ALL GLAZING TO COMPLY WITH PART N SANS 10400 & AAAMSA REGULATIONS

FINAL GLASS THICKNESS TO SUPPLIERS SPECIFICATION & GLAZING CERTIFICATE TO BE PROVIDED.

THESE DRAWINGS ARE FOR SUBMISSION ONLY

REVISIONS		
REV	DATE	DESCRIPTION
A	11/06/2019	GENERAL AMENDMENTS

REG NO.	SIGNATURE
ARCHITECT PrArch20599	<i>[Signature]</i>
OWNER: C.R WIGGILL	<i>[Signature]</i>
OWNER: J.S WEIRICH	<i>[Signature]</i>

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 admin@fergusonarchitects.co.za, Tel: 031 564 7984 or 071 436 8605,
 8, Norval Road, Durban North, Durban 4051
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PROJECT TITLE: **HOUSE WIGGILL**
 DRAWING NO: **DEVIATIONS TO PLAN NO_433/04/03 PORTION 10 OF ERF 958 36 OLD MILL WAY DURBAN NORTH, KZN C. WIGGILL**

SCALE: **1/100@A1** DATE: **JULY 2018**
 DRAWING STATUS: **LOCAL AUTHORITY DRAWING**

PROJ. NO.	DRAWING NO.	REV
1704	LAD 102	A

NAME	ADDRESS	I.D. NO.	TELL/ CELL NO.	SIGNATURE
RS CAHILL	25 OLD MILL WAY	550491570054	082453207	<i>[Signature]</i>
L. SOFILAS	38 OLD MILL WAY	8109230050081	0836806649	<i>[Signature]</i>