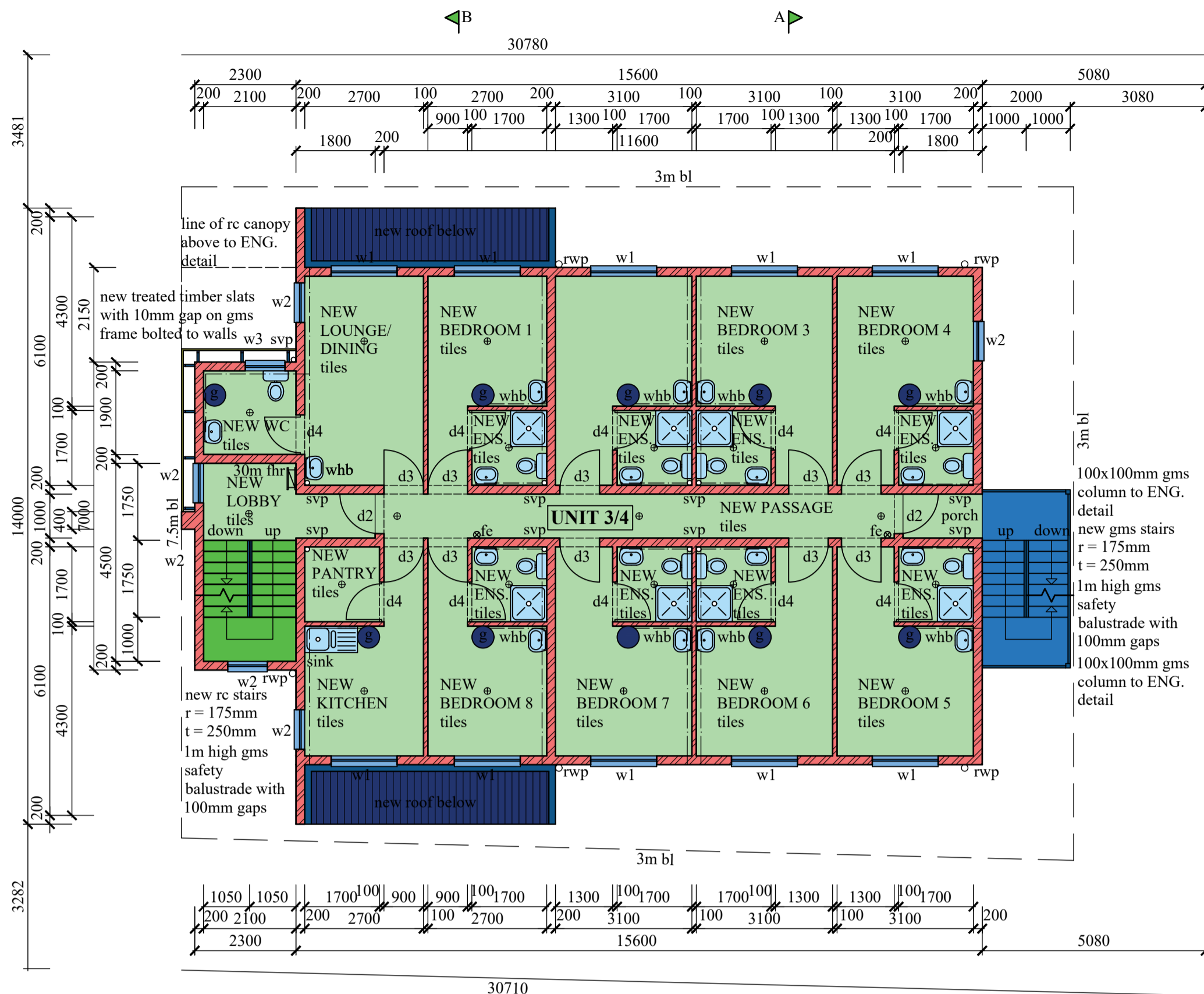
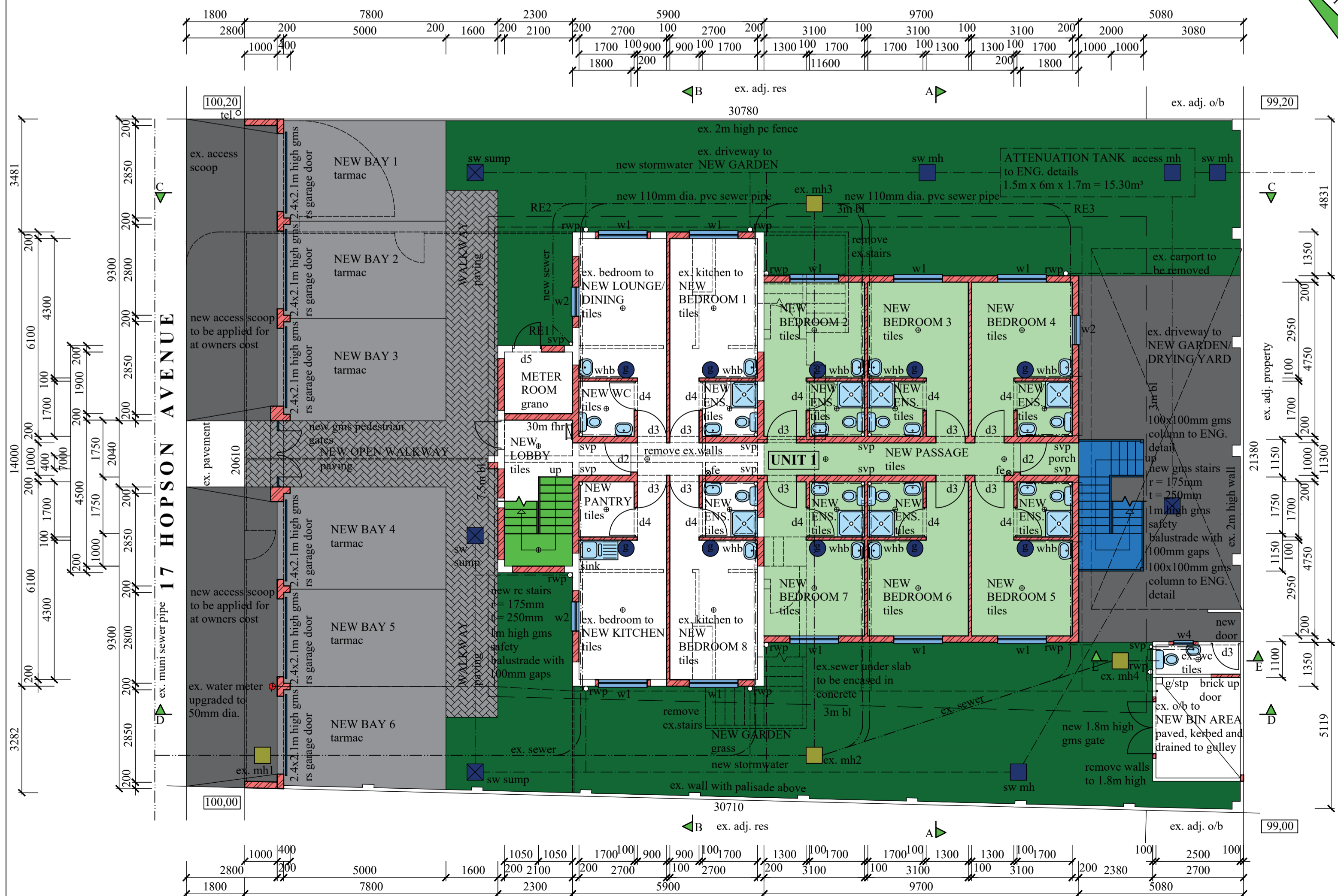


FIRST STOREY PLAN (1:100)



NEW TYPICAL SECOND / THIRD STOREY PLAN (1:100)



GROUND STOREY PLAN / SITE PLAN (1:100)

**GENERAL NOTES**

All dimensions and levels to be determined on site prior to commencement of construction  
 All work to comply with SANS 10400 regulations  
 All construction by registered/responsible persons  
 Any deviations to original approved plan will deem not to comply further without notifying the architect/author of plans and the owner is responsible  
 Drawing to be read and not scaled  
 Drawing to be read in conjunction with Engineers drawing  
 All structural work (foundations, fill, surface bed, walls, cills, lintels, rc slabs, columns, beams, roofs, stairs, balustrades) to Engineers design and certification  
 All new glazing to be in bronze aluminium and in accordance with SANS 10400 Part N  
 Plasterbands to be 150mm width unless otherwise indicated  
 Each tenant is responsible for removal of their own trash into the bins provided in the bin area

**FIRE NOTES**

Occupancy - H3  
 Safety distances - T4.2  
 Fire stability of structural elements - T4.7  
 Fire separating elements - T4.8  
 Ceilings - T4.13  
 Floor covering - T4.14  
 Internal finishes - T4.15  
 Escape routes - T4.16  
 Exit doors - T4.17  
 External stairways and passages - T4.27  
 Lobbies, foyers, vestibules - T4.28  
 Marking and signposting - T4.29  
 Provision of emergency lighting - T4.30  
 Fire detection and alarm systems - T4.31  
 Water reticulation for fire fighting - T4.33  
 Hose reels - T4.34  
 Extinguishers - T4.37  
 Smoke control - T4.42

**PLUMBING NOTES:**

All damaged fittings to be replaced  
 All gully surrounds to be 150mm  
 Sewer to be exposed before commencement of construction  
 Manhole covers to be 75mm above ground level  
 LE's to all bends and junctions  
 Soil pipes to be 110mm dia. PVC  
 Waste pipes to be 50mm dia. PVC  
 Sewer under slab to be ribbed PVC  
 All plumbing by registered/responsible persons  
 All pipes, fittings, sanware, geysers (75L induction) to be SABS approved  
 Water Pressure: 300L/min @ 3 bar pressure-SANS10400-W

**XA NOTES:**

All internal copper to be stroke 2  
 All external copper to be stroke 0  
 All copper on geyser from pressure control valve to be 25mm dia.  
 Valve bracket to be min. 350mm above geyser  
 100mm Sisolation to be laid over battening of roof with a min. 100mm overlap  
 (woolen-cloth: chromadek/metal roofing)

**WINDOW and DOOR SCHEDULE**

item	no.	size (mm)	thickness	glass	frame
w1	40	1500x1200	5mm tsg	clear	aluminium
w2	18	900x1200	6.3mm tsg	clear	aluminium
w3	3	900x1200	6.3mm tsg	frosted	aluminium
w4	1	600x600	6.3mm tsg	frosted	aluminium
d1	1	900x2100	6.3mm tsg	clear	"
d2	8	900x2100	40mm hw	-	timber
f/ite		900x400	6.3mm tsg	clear	"
d3	41	900x2100	40mm hw	-	"
d4	40	900x2100	40mm hollow core	-	"
d5	1	900x2100	40mm gms	louverd	gms

all shower cubicles to have 6.3mm tsg  
 all aluminium/timber windows to have thermal break framing

**SCHEDULE OF AREAS**

Category	Area (sqm)
SITE AREA	632,00
coverage allowed (50%)	316,00
existing	101,67
Proposed	109,47
TOTAL	211,14
f.a.r allowed (1.2)	758,40
existing	189,67
Proposed	568,13
TOTAL	757,80
ground storey	211,14
first storey	197,50
second storey	181,57
third storey	181,57
TOTAL	771,78
No. of Units	4
No. of Parking Bays	6

**LEGEND**

- sewer - - - - -
- stormwater - - - - -
- cold water - - - - -
- hot water - - - - -
- water meter - ⊗
- hose reel - ⊕
- geyser - ⊕
- lighting - ⊕
- extinguisher - ⊗

- all separating walls to underside of rc slabs or roof
- connect all new plumbing to ex. sewer
- all plasterbands to be 150mm width unless otherwise indicated
- indicated
- mechanical ventilation to Engineers design and detail

ADDITIONAL AREA - 582,22 sqm

OWNERS SIGNATURE: *[Signature]* 082 340 3961  
 CONTACT NO.

RATE NO. 1110 2041/000

**PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING UNITS FOR NEW RESIDENTIAL ACCOMMODATION AT 17 HOPSON AVENUE ON REM OF ERF 6782 DURBAN FOR REM OF JOHN BATA (PTY) LTD**

**GRAHAM BRAUM**

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SCALE	1 : 100
CHECKED	G. P. BRAUM
DRAWN	M. R. AZMUTH
DATE	OCTOBER 2020
DRAWING NO. :	6612 / 20 / 1 of 3