

GENERAL NOTES:

Dimensions to comply with Part C of SANS 10400.
Public Safety to comply with Part D of SANS 10400.
Site Operations to comply with Part F of SANS 10400.
Excavations to comply with Part G of SANS 10400.

FOUNDATIONS: Engineer's design & details and to comply with Part H of SANS 10400.
FLOORS: Engineer's design & details and to comply with Part J of SANS 10400.
Soil poisoning in accordance with recommendations of SANS 0124.
WALLS to be reinforced with brickwork (every 2 courses) and wall ties (every 3 courses) in solid cement mortar and joints both at window sill & wallplate levels.
Plastered and painted on both sides.
Walls and lintels to comply with Part K of SANS 10400.
ROOF: to comply with Manufacturer's Specifications & Part L of SANS 10400; to be certified by Engineer.
Concrete Roof Tiles on Prefabricated Gangrailed Trusses (as specified by Roof Specialist) manufactured by Specialist & installed under the supervision of an engineer.
Trusses not to exceed 650mm center to center.
Battens not to exceed 320mm center to center.
Roof Pitch to be 17, 5 degree.
Rhino Board Ceiling by Specialist.

DRAINAGE:
All sanitary fittings to be trapped in accordance with Local Authority by-laws.
Inspection eyes to be provided at all bend, junctions & change in direction.
All gully surrounds & manhole covers to be a min. 75mm above ground.
Anchor Blocks to be provided where gradient exceeds 1:5.
Contractor to check invert of connection point prior to any final excavation for drainage.
Any damaged fittings to be replaced.
Any manhole covers within Parking areas and/or Driveways to be of heavy duty cast iron.
All drainage passing under building to be constructed with heavy duty uPVC drain pipes and to be encased in min. 100mm thick concrete. To Eng. details & specifications.

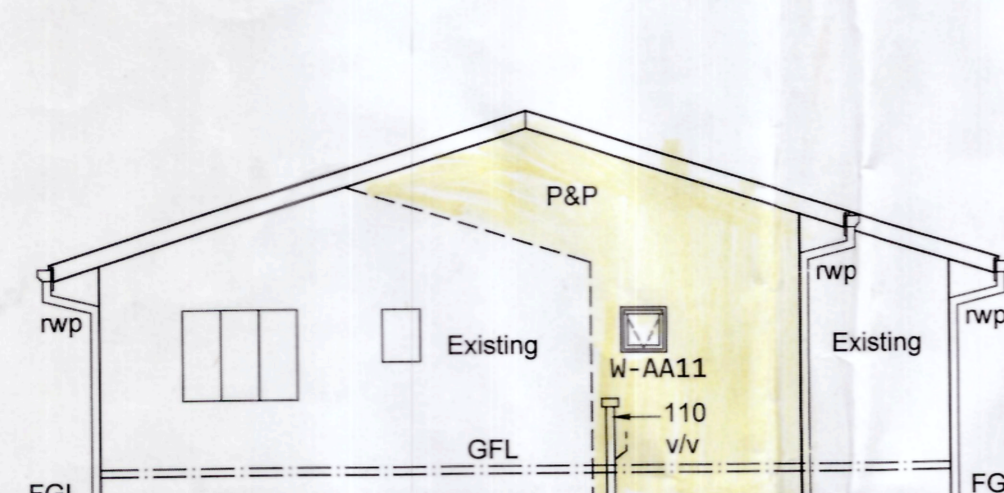
STORMWATER CONTROL:
As per Stormwater Management Plan.
Rainwater Goods :
125mm x 85mm Ogee Profile seamless domestic gutters with 110mm dia. Round Downpipes.
Materials to Owner's choice and to be to SABS Standards.

STRUCTURAL WORK:
ALL STRUCTURAL WORK TO ENGINEER'S DESIGN & DETAIL OR IF AS BUILT TO BE CERTIFIED BY ENGINEER.
Lintels over doors, windows & any form of bridging details to Eng. Design & Detail.
All waterproofing by Specialist.

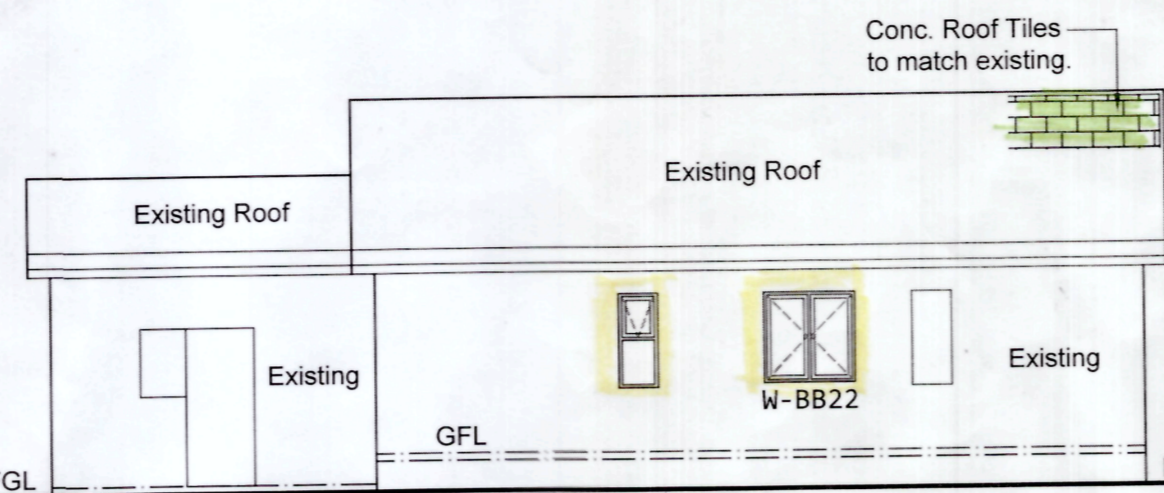
IMPORTANT:
All levels, dimensions & existing services to be checked & be confirmed by Contractor / Engineer, prior to any work commencing. ANY DISCREPANCIES PERTAINING TO PLANS & SPECIFICATIONS TO BE REFERRED TO AUTHOR OF PLANS.
All heights & site measurements to be confirmed by Engineer on site prior to their final drawings.
All services must be exposed.
All property boundaries to be correctly exposed & flagged prior to commencement of any work. Extreme care to be taken when excavating in the vicinity of cables, Contractor to check cable positions with Municipality or other departments related.
Owner / Contractor to be responsible for the protection of all municipal services.
NO STRUCTURES (above or below ground) or foundations to encroach over boundaries.
CONTRACTOR to comply with C3 & C4 of SANS10400.
B. Loose Paving over all Municipal Services / Servitudes.
ALL MATERIALS USED TO BE SANS10400 APPROVED & SABS STANDARDS.

DRIVEWAY DETAILS:
New Driveways to adhere to the requirements of the Ethekwini Transport Authority - Refer to Building Plan Assessment Checklist which is available on www.durban.gov.za.

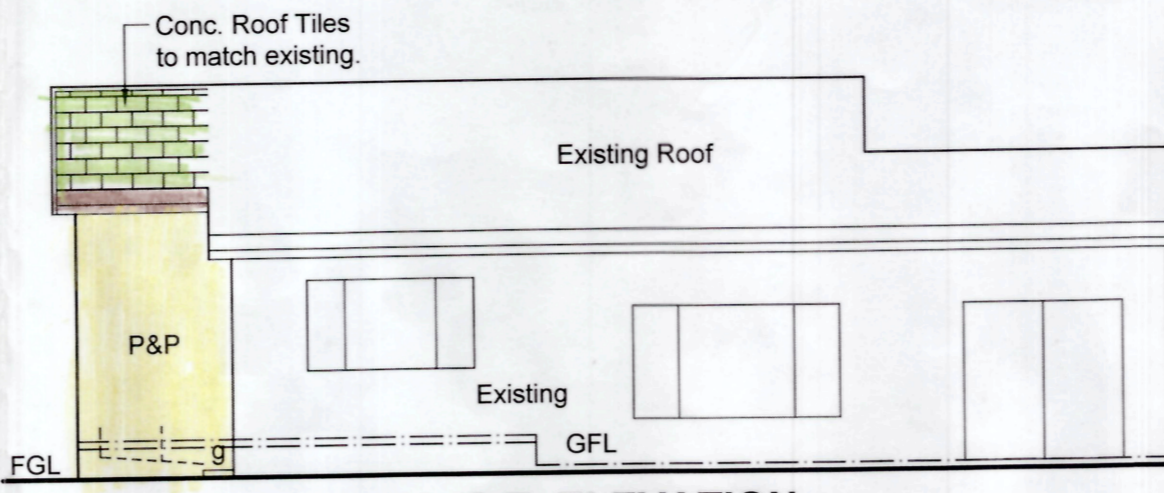
LOCAL AUTHORITY:
All Local Authority Notices are to be the responsibility of the Contractor. Where local authority or government regulations require more stringent specifications than shown herein, they are to be followed with prior consent from the owner. It is the Contractor's duty to inspect the official approved copies of this drawing to ensure that all amendments have been taken into account.
All materials & general workmanship to be in accordance with the requirements of SANS 10400, NLC & NHBRC. All NBR & SANS standards & specifications are to be adhered to as a minimum standard.
All drainage work to municipal regulations, i.e. at all bends & junctions.
Light fittings, switches & plug points to be installed by competent person & to comply with municipal standards.
All PVC rainwater goods to be used. All rainwater pipes to gully.
All windows & sliding doors to be site measured anodized aluminum frames & glazing to comply with Part N of SANS 10400.
All External Timber doors to be Solid Hardwood. All Fire Doors to be Self-Closing 40mm Hardwood Doors. Glazing for all shower doors to be Frosted Safety Glazing & to comply with Part N of SANS 10400. Door schedule to be referred to for quantity of any particular size of door, but Floor Plans & relevant Elevations are to be referred to for the number of doors which are to be right hand / left hand swing and in the case of sliding doors the direction of movement.
Min. 2 Air Bricks per Room.
All fittings, finishes, materials to owner's choice & satisfaction.
All banks to be cut to max. 25 deg., otherwise to Eng. detail.
ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS & LOCAL AUTHORITY BYLAWS.



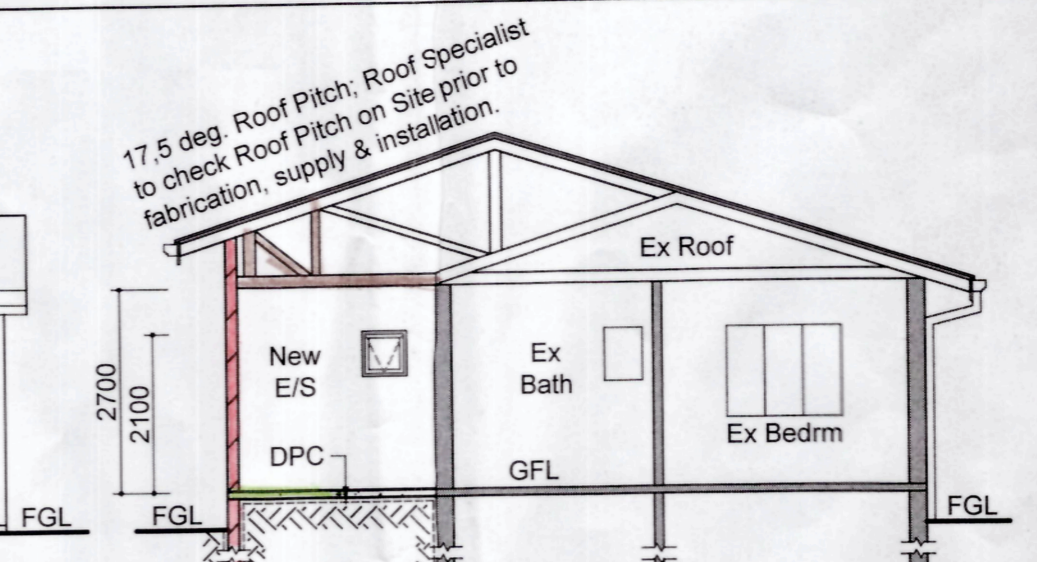
S.W. ELEVATION
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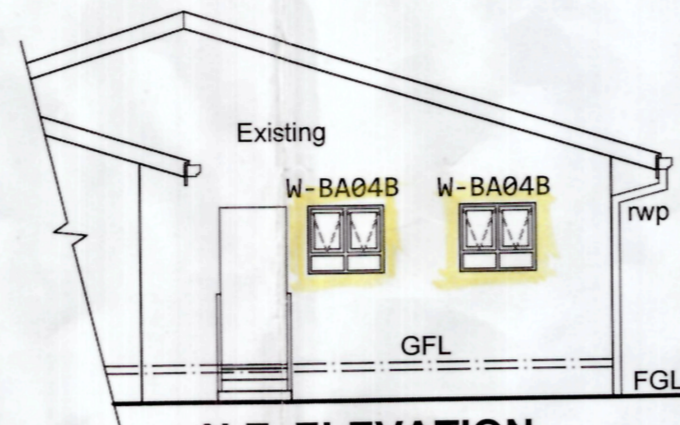
N.W. ELEVATION
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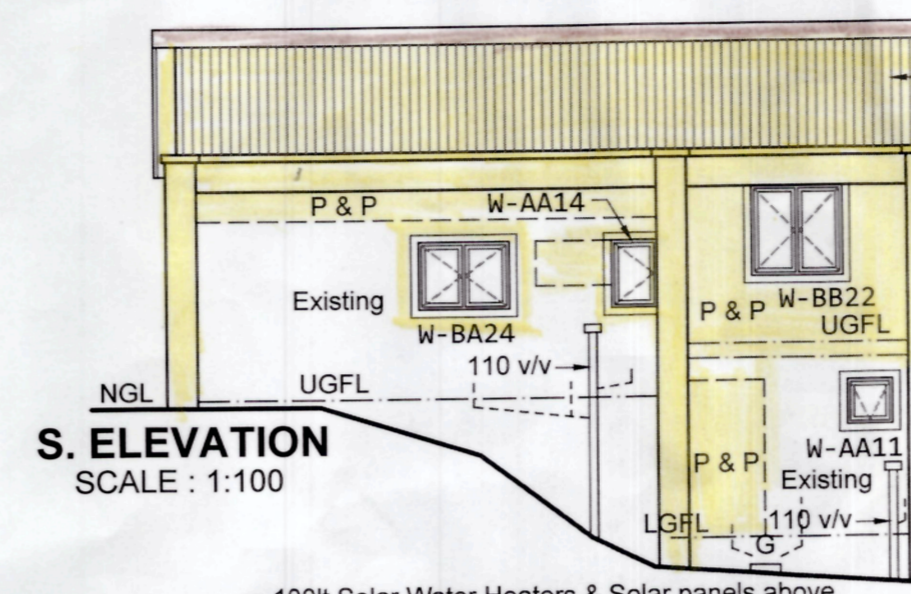
S.E. ELEVATION
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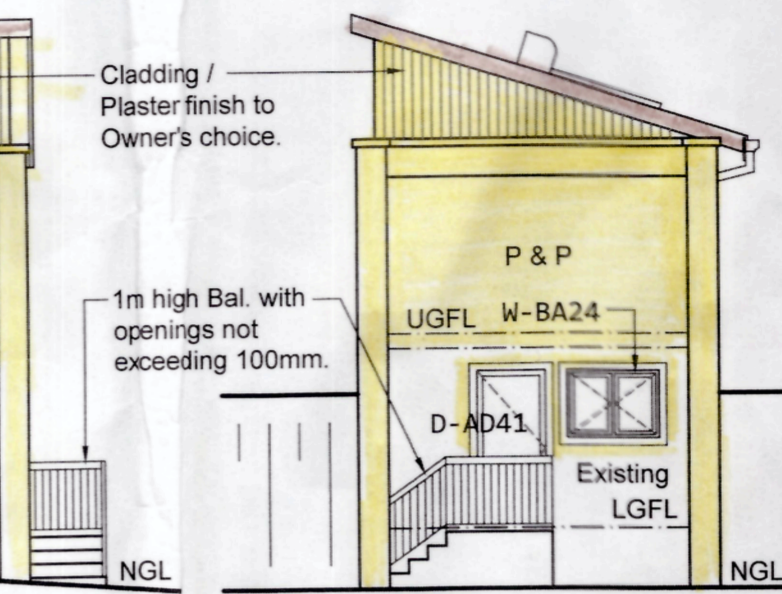
SECTION A - A
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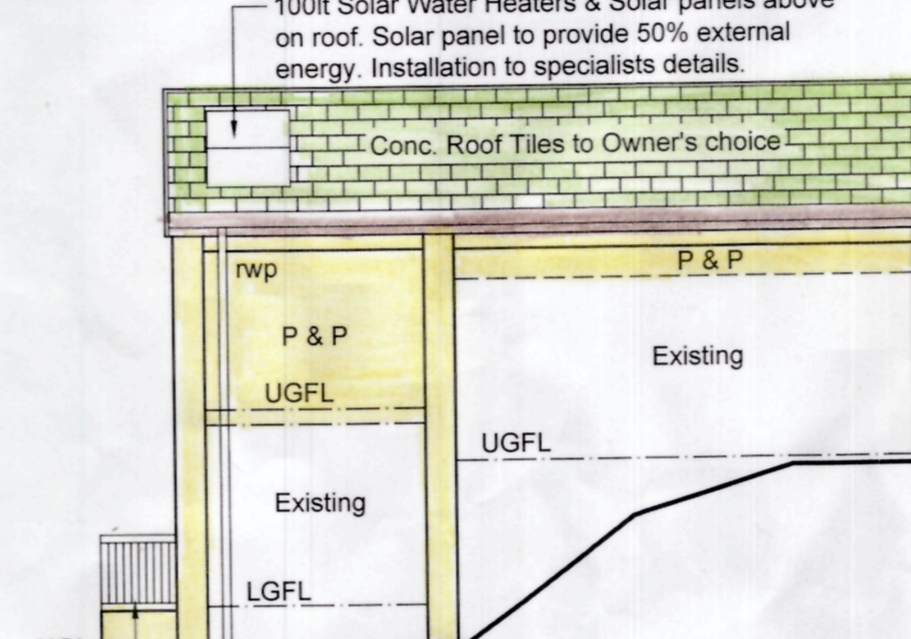
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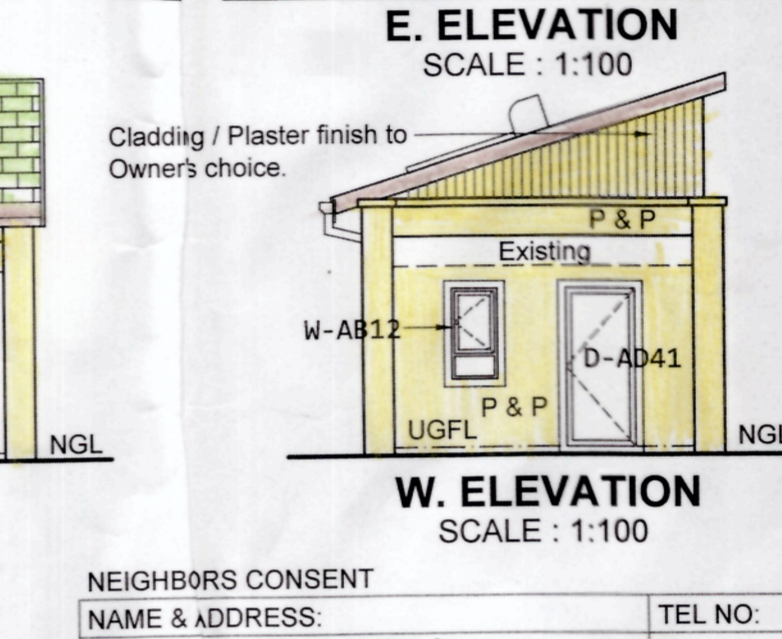
S. ELEVATION
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E. ELEVATION
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N. ELEVATION
SCALE : 1:100



W. ELEVATION
SCALE : 1:100

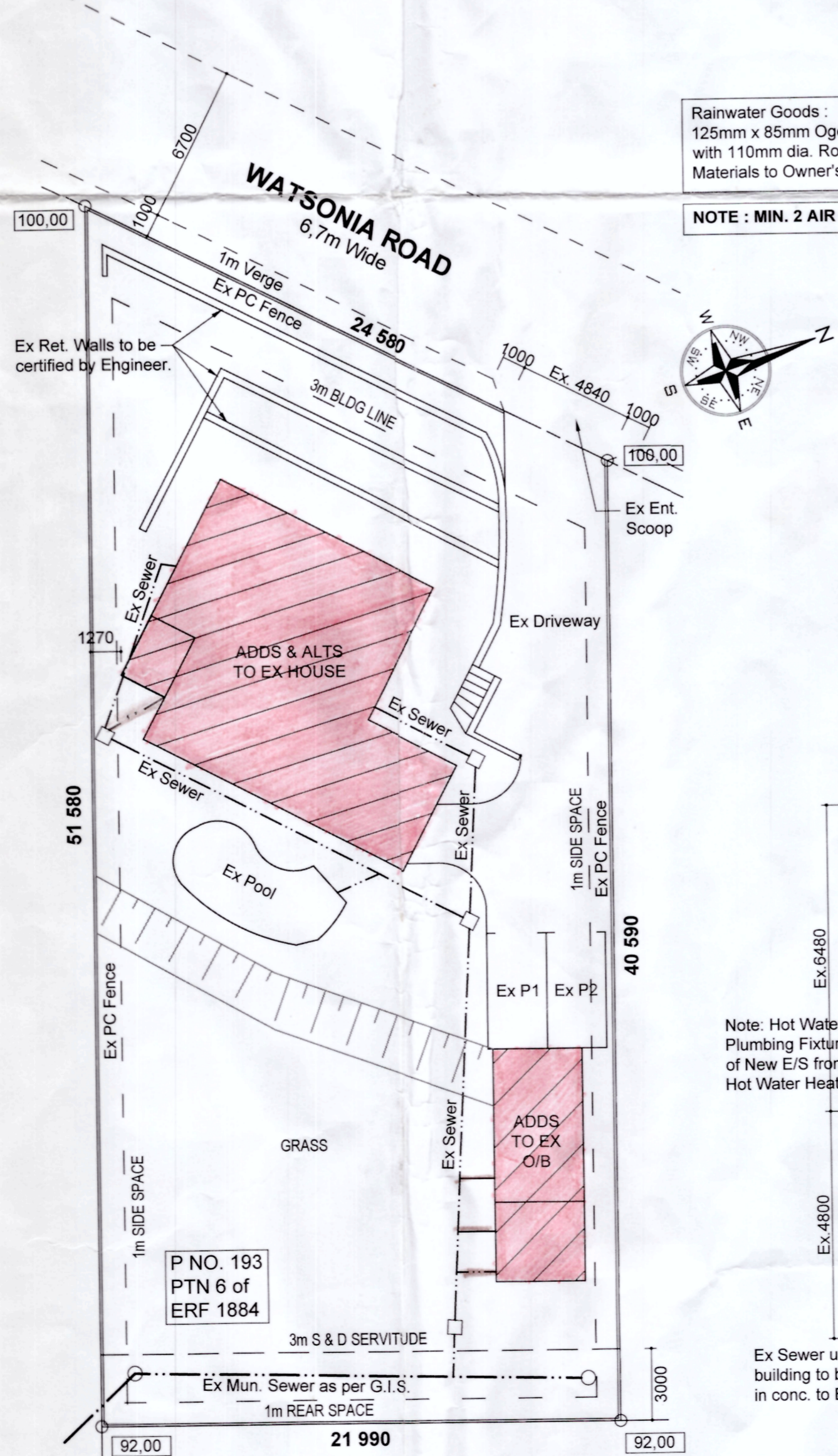
Description:	D-AD41 (Timber)	SD-1 (Shower Pane)	SD-2 (Shower Door)	SD-3 (Shower Door)	W-BB22	W-AB02
Dimensions:	900mm x 2100mm	900mm x 2100mm	900mm x 2100mm x 2	900mm x 2100mm	1200mm x 1200mm	600mm x 1200mm
Area:	1,89sqm Qty: 2	1,89sqm Qty: 1	1,89sqm x 2 Qty: 1	1,89sqm Qty: 1	1,44sqm Qty: 2	0,6sqm Qty: 1
Glazing (Type & Thickness):	Toughened S/Glass - 8mm Thick - Frosted	Toughened S/Glass - 8mm Thick - Frosted	Toughened S/Glass - 8mm Thick - Frosted	Toughened S/Glass - 8mm Thick - Frosted	Monolithic Annealed Glass - 4mm Thick	Monolithic Annealed Glass - 4mm Thick

Description:	W-AA11	W-BA24	W-BA04B	W-AA14	W-AB12	W-BA24
Dimensions:	600mm x 600mm	1200mm x 900mm	1000mm x 500mm	600mm x 900mm	600mm x 1200mm	1200mm x 900mm
Area:	0,36sqm Qty: 3	1,08sqm Qty: 1	0,9sqm Qty: 2	0,54sqm Qty: 1	0,72sqm Qty: 1	1,08sqm Qty: 1
Glazing (Type & Thickness):	Toughened S/Glass (Frosted) - 4mm Thick	Monolithic Annealed Glass - 4mm Thick	Monolithic Annealed Glass - 4mm Thick	Toughened S/Glass (Frosted) - 4mm Thick	Monolithic Annealed Glass - 4mm Thick	Monolithic Annealed Glass - 4mm Thick

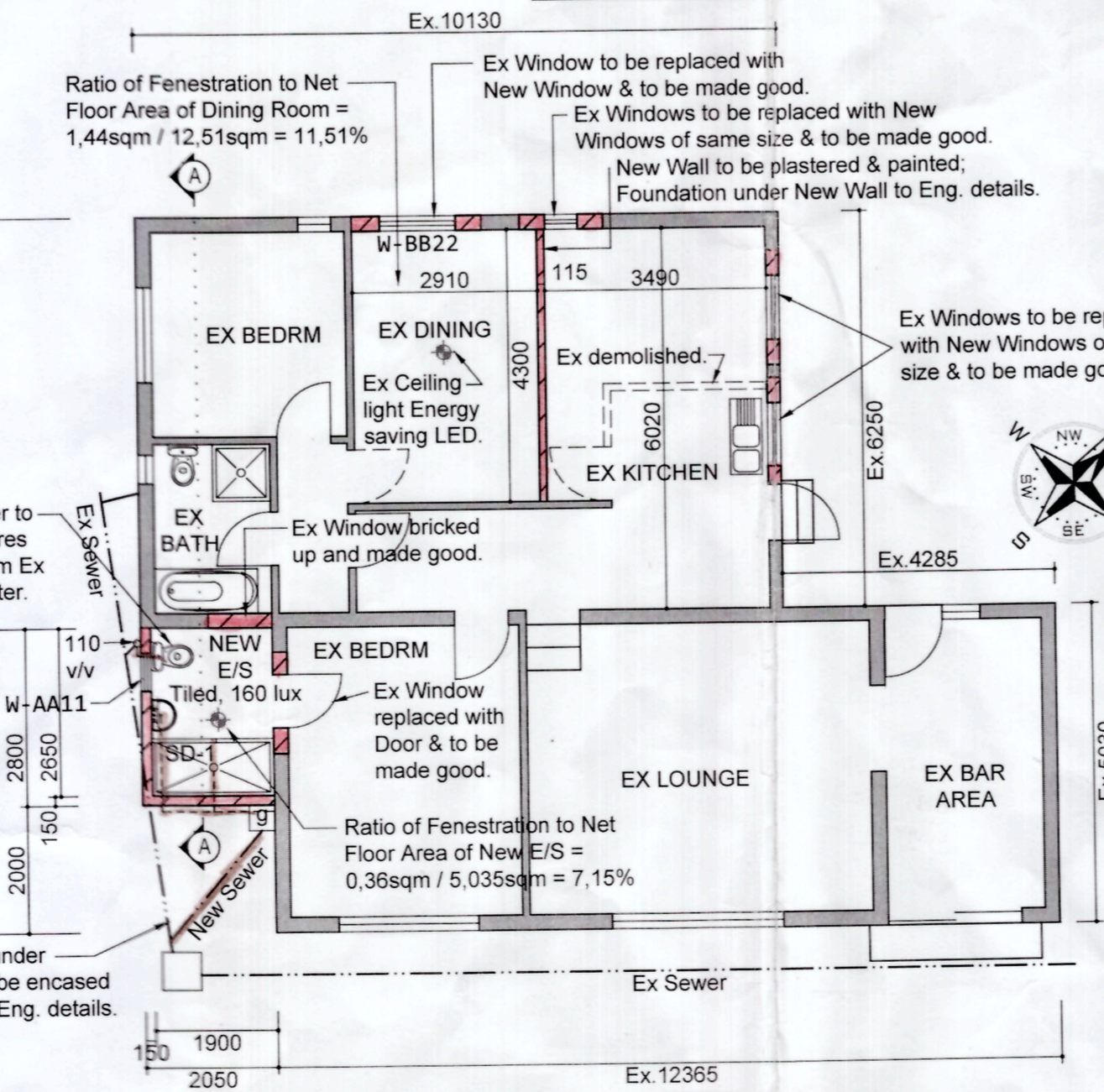
DOOR & WINDOW NOTES:
a. These specifications are to be considered as minimum standards and are not to be used for the purposes of quotations, supply and installation without prior consultation by the Contractor with the Owner(s) & Registered Competent Persons / Specialists.
b. On-site Measurements are to be taken by Suppliers of all Doors, Shower Doors & Windows prior to manufacturing.
c. Door Swings, Direction of Movement (in the case of Sliding Doors) and/or Positions of Openable Window Panels depicted are illustrative in Schedule. Refer to Floor Plans and Relevant Elevations for Actual Door Swings, Direction of Movement and/or Positions of Openable Window Panels.
d. Any external doors that swing outwards to have security hinges.
e. Glazing within 1,8m of shower / tub to be safety glass.
f. Swing / Pivot Doors to Showers to open out of Shower.
g. Glazing to comply with SANS 10400 : Part N.

AREA SCHEDULE

Zoning:	SR 400
Permitted Cov:	50% 506,833sqm
Permitted FAR:	1 1013,665sqm
Site Area	1013,665sqm
Ex House	125,980sqm
Ex Garage (Converted to Anc Unit)	25,728sqm
Ex Staff Change Room	13,041sqm
Total Ex Area	164,750sqm
New Area to Ex House	5,740sqm
New Area of Anc. Unit	15,993sqm
New Area	21,733sqm
Total Area	186,483sqm
Ex Coverage	16,25% 164,750sqm
New Coverage	0,86% 8,692sqm
Total Coverage	17,11% 173,442sqm
Available Cov.	32,89% 333,391sqm



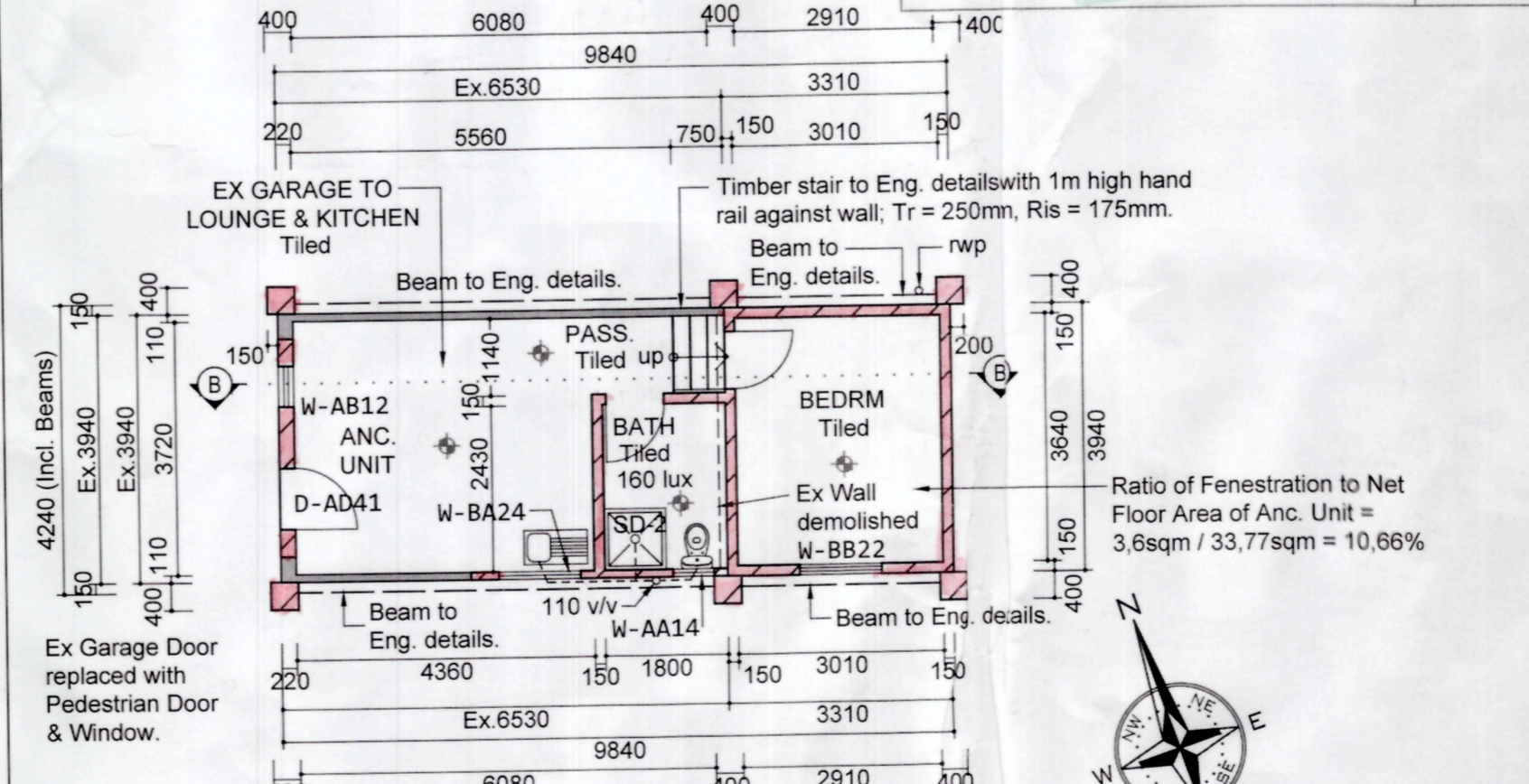
SITE PLAN
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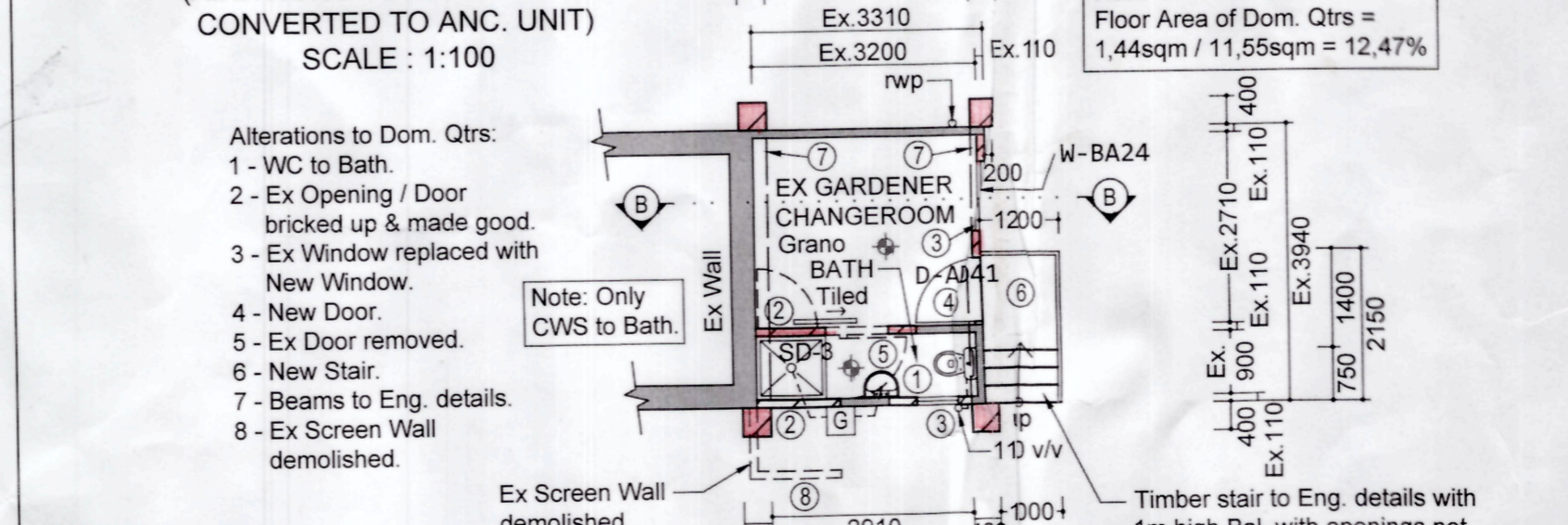
GROUND STOREY
SCALE : 1:100

NEIGHBORS CONSENT

NAME & ADDRESS:	TEL NO:	I.D. NO & D.O.B:	SIGNATURE:
T. Mthembu 197 WATSONIA RD BLUE	063555207	702275273 063 27 FEB 1970	[Signature]
V. van der Merwe 254 WATSONIA RD BLUE	0634974738	8610235097054 13 OCT 1936	[Signature]
Z. Smith 752 WATSONIA RD BLUE	072415926	7701157 21 MAR 1987	[Signature]
R. Sison 187 WATSONIA RD BLUE	082509697	80828596082	[Signature]
J.E. Barnard 44 Acule Rd	0832033309	530320065084	[Signature]
C.M. DuPlessis 38 Acule Rd	0826502227	6004115107080	[Signature]



UPPER GROUND STOREY
(ADDITIONS TO EX GARAGE & CONVERTED TO ANC. UNIT)
SCALE : 1:100



LOWER GROUND STOREY
SCALE : 1:100

Sheet No: 01/02 Drawing No: 001-01-23

Date: Jan 2023 Revision No: 00

ADDRESS: 193 WATSONIA ROAD

CADASTRAL DESCRIPTION: PTN 6 of ERF 1884 WENTWORTH

APPLICATION DESCRIPTION: ADDS & ALTS TO EX HOUSE, CONVERSION OF EX GARAGE TO ANC. UNIT & ALTERATIONS TO EX GARDENER CHANGE ROOM

OWNER'S NAME:

CONTACT DETAILS.: 072 768 7891

SIGN: [Signature]

P. Sathiram - Professional Architectural Technologist (PAT 46591482)

MOLOKO GENERAL SUPPLIES (PTY) LTD REG NO. 2017/484164/07/17A

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