



**APPLICATION FORM I (for Official Use)**

Ref:  
 Date Received:  
 Application no:  
 Approved: Not Approved:  
 Date of Permit:  
 Permit No:

**APPLICATION IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018) FOR THE CONDONATION/ APPROVAL/RECTIFICATION OF THE UNLAWFUL COMMENCEMENT OR CONTINUATION OF WORK ON, OR DAMAGE TO, HERITAGE RESOURCES PROTECTED IN TERMS OF CHAPTERS 8 & 9 (sections 37 to 50, including both generally and specially protected heritage resources).**

This form is to be used for applications where work was commenced, alternatively completed without the prior written approval of the Institute in its capacity as the Provincial Heritage Resources Authority. If no work has been undertaken select the appropriate form from the website [www.heritagekzn.co.za](http://www.heritagekzn.co.za).


**NB: IT IS AN OFFENCE IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018) TO MAKE ANY FALSE STATEMENT OR FAIL TO PROVIDE REQUIRED INFORMATION IN THIS APPLICATION (Consult the attached guidelines before completing this form) THE ONUS IS ON THE APPLICANT TO ENSURE THAT THE CURRENT APPLICATION FORM IS USED. APPLICATIONS ON NON-COMPLIANT FORMS WILL NOT BE PROCESSED**

**ALL APPLICATION FORMS, REQUIRED SUPPORTING DOCUMENTATION AND PROOF OF PAYMENT MUST BE SUBMITTED TO THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE AS PER THE GUIDELINES ATTACHED, THE TYPE OF CONTRAVENTION WILL DETERMINE THE METHOD OF SUBMISSION.**

**A. DECLARATION BY OWNER**

I, SHELDON TATCHELL (Awaiting Transfer)

(full names of owner/person authorized to sign) undertake strictly to observe the terms, conditions, restrictions, by-laws and directions under which the KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE may issue the written approval of the work to me.

Signature  \_\_\_\_\_  
 Place DURBAN Date 19 JANUARY 2023

**(The owner of the property must fill in these details and those in Section E: 3 and sign this document and any plans or other documents submitted in support of this application)**

<b>B. PROPERTY DESCRIPTION:</b>	Title Deed No.
Name of property/Project title: <u>198 – 202 GORDON ROAD</u>	
Erf/Lot/Farm No: <u>ERF 789 DURBAN</u>	GPS Co-ordinates
Street Address, Suburb, Town: <u>198 – 202 GORDON ROAD</u>	
Local Municipality <u>eTHEKWINI MUNICIPALITY</u>	District Municipality Traditional Authority Area

Current zoning <b>GR 1 (REZONING TO LIMITED COMM.)</b>	Present use <b>PART RETAIL / PART VACANT</b>
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**C. HERITAGE SIGNIFICANCE:** (complete sections appropriate to site)

**1. Status of Heritage Resources on the Site:**

<b>Permanent Protection:</b>	Heritage Landmark/ Provincial HL		Listed on the Heritage Register		Provisionally Protected (notice issued)		Site in a Protected Area	
<b>Generally Protected site containing:</b>	Structures 60 years +	<b>X</b>	Graves		Archaeological site Battlefield or rock art		Palaeontological material Meteor impact site	

**2. Historical/Military Significance:**

- The building is older than 60 years old
- The house is a perfect example of the beauty of Edwardian Architecture and its symmetry. Even though the house has been poorly altered one can easily notice the peering towers with high gable roofs on either side of the house.
- There aren't many such examples in the area

**3. Architectural Significance:**

Original date of construction: **> 60 yrs ago**

- The two houses are semi-detached with a typical mirrored style design with Edwardian influences, comprising of the use of face brick walls and 45-degree roof pitched roofs.
- The structure of the building is in a sound state with very little alterations conducted on the original structure except for the enclosure of the area above the lower verandah. This was done in timber walls and aluminium windows so could easily be removed and restored back to original.

**4. Archaeological Significance:**

Unknown

References

**5. Palaeontological Significance:**

The original dwelling houses would have been built for living purposes

References

**D. WORK CARRIED OUT WITHOUT PRIOR APPROVAL**

<b>1. Purpose of Application:</b>	Damage/destruction/demolition		Alterations/Additions	<b>X</b>
Redecoration	Disfigured Written/drawn on		Excavation	

Exhumation		Inundation		Development	
Collection/Removal from original site		Trade/export (heritage objects)		Restricted use of equipment s40(5)	
Consolidation/Subdivision		Amendment of Plan		Other	

**2. Existing Improvements made on site:**

Prior to the work commenced on site, the existing improvements evident included the enclosure of Of the ground floor verandah as the living area extension to one house and the complete Enclosure of the area above the lower verandahs.

**3. Detail the work commenced/carried out**

1. Removal of the dry wall and window enclosures to the verandah and above the verandahs
2. The wood-ant infested wooden floors were removed on ground level and replaced with concrete
3. All damage timber windows were removed and replaced with aluminium windows and doors
4. The old wooden floor above the verdandah was removed and replaced with new deck / balcony
5. Some internal openings were altered to create the new lettable retail spaces
6. Part of the old outbuildings were demolished and rebuilt. (these structures appeared to be built later than the original houses) & Ex. Prefab boundary fence / walls demolished.
7. The existing exterior face brick facades were painted. Some window openings bricked up.
8. Exterior (entrance) steps removed and timber paraplegic ramp and deck was built.

**4. Motivation for work** (Please motivate fully why work was commenced without approval)

*See Page Number 4 for the Motivation*

Status of work	Commenced		Stopped	X	Completed	
Date commenced			Date stopped	13/01/23	Completion date	
27/10/2022						

#### 4. Motivation for work

Our client's goal is to convert the existing dwelling structure into a commercial building that would accommodate small retail spaces. This is not uncommon in the area as most of the old houses have already been converted to retail or office spaces. The task mostly involved minor changes to the internal layout.

The exterior of the original house would mostly remain unchanged except for minor changes, namely the replacement of the existing timber windows & doors with new aluminium windows within the original openings. The existing structure already had existing large street facing window / door openings which were built in the past. Most of the work involved the removal of the old wooden floors on ground floor level as the floors appeared to be infested with wood ants.

#### Interior Work

The initial intention was to commence with the clean out all of the timber elements inside the house before the fumigation was conducted on the property, this involved existing floor boards, skirtings on the ground floor level and also internal timber doors through the house. The work commence on the 27<sup>th</sup> October 2023



**Plate 1:**

Ground Floor Wooden Floors being removed





**Plate 2:**

Some of the typical wood rot noted on the internal wooden doors in and out of the house, which had to be removed.

During this process, the client was not happy with the condition of the timber windows as some windows had obvious damages caused by age, water rot and wood ants. The client then instructed the contractor to remove all the old wooden windows and replace with aluminium windows as most of the old windows had already been replaced with new aluminium by previous owners.

**Exterior Work**

During the strip out process more wood rot caused by water damage or wood ants or both was noted in the floor structure and enclosed balcony walls above the balcony. The timber joists and beams were severe damaged and needed to be removed for safety reasons. It was also obvious that the dry wall enclosure was added on and did not match or compliment the original structure in any way and in order to get the existing structure back to its former glory this enclosure had to be removed.



**Plate 3: Part SE Elevation**

First floor level enclosure

Part of the existing verandah enclosure with cottage pane windows



**Plate 3.1:** Some of the typical wood rot noted in and out of the house during the strip out process.



**Plate 4: Damaged Windows**

Most windows were in very overall condition

Rot in the wood was common

Most windows were changed to aluminium by previous owners





### Plate 5: Existing Aluminium Windows

Most of the old windows were change to aluminium windows by previous owners.

The existing exterior face brick walls were painted black to refresh the look and feel for the structure while enhancing the beauty of the Edwardian House with the use of accent colours. The timber floor structure above the verandah was also replaced with a new timber deck and light weight translucent roof as a modern element to the old fashioned house. The motivation behind going ahead prior to obtaining the permit from the Amafa was to complete the refurbishment of the structure and have the building refreshed and ready for the December break. The use of painted face brick is quite common in the area as there are many such structures with similar age with painted face brick. This protects the beauty of the face brick patterns while modernising the structure.



**Plate 6: Painted face brick**

Painted face brick

New aluminium windows to match the style of the old windows

Accent white colour to existing plaster to help make the dormer type window stand out.

**The Outbuildings**

The existing outbuildings were in very poor condition. The structures were poorly built with single skin walls which contributed to the severe water egress and dampness within the outbuildings. The wooden roof structure and windows had damage from rot which resulted in the overall poor condition of the structures. It was also obvious that the outbuildings were built much later than the original dwelling and had very little to no historic value. It was never the clients intention to demolish the existing outbuildings but after most of the property was consumed with rubble from all the timber structures it only made sense to demolish the outbuildings and have the rubble removed at the same time as the timber rubble. In addition to the demolition of the outbuildings, one single new structures were also erected along the rear boundary.



**Plate 7: Existing maid's quarters / outbuilding**

Existing walls are in a poor state both internally and externally as a result of roof leaks and damaged / no waterproofing along the rear retaining wall.



**Plate 8: Existing outbuilding & gardener's toilet building**

Poorly built and currently in a very poor state.

Single skin brick walls





**Plate 9: Part NW Elevation**

Existing double garage structure was retained.

**Work Carried Out without Heritage Authority Approval**



**Plate 10: Street View of the house**

- Existing Roof
- New Translucent Roof
- Painted face brick
- New Timber Deck
- Existing Plaster
- New Timber Deck



**Plate 11: View from Pavement**

- New Timber Deck Plaster
- New Timber Deck & Ramp





**Plate 12: Street View of the house**

New painted face brick

New electrical meter room under construction



**Plate 13: Rear Area between Outbuilding & House**

Existing brick being painted

New Aluminium doors in existing opening



**Plate 14: View of Existing double garage structure**

New concrete beam installed for new large shopfronts

New opening

**Plate 15: Part NE Elevation**

Painted face brick

Two window openings were bricked up to match the existing brick pattern. The old window openings can clearly be seen.





**Plate 16: Part NW Elevation**

Existing window opening with new aluminium window

New Aluminium door





**Plate 17: Part SW Elevation**

Existing window openings with new windows

New Painted brick

New Modern styled outbuilding structure



**Plate 18: Part NE Elevation**

Existing structure with lower roof



**Plate 19: Part SE Elevation**

New Modern styled outbuilding structure



**Plate 20: SW Elevation**

New windows in existing openings

Painted brick

New aluminium shopfront





**Plate 21: Part NW Elevation**

New addition to rear of the first floor level. See floor plans



**Plate 22: Area between the New outbuilding structure and the main house**

New modern styled outbuilding

## E. CONTACT DETAILS

### 1. CONTRACTOR (THE PERSON WHO HAS DONE OR WILL COMPLETE THE WORK)

NAME	<b>MC Holdings (Ltd) Pty</b>	
POSTAL ADDRESS		
	<b>PO Box 47288, Greyville,</b>	

		POST CODE <b>4023</b>
TEL	<b>031 460 1049</b>	FAX/EMAIL
CELL	<b>072 114 6252</b>	QUALIFICATIONS
REGISTRATION OF INDUSTRY REGULATORY BODY: <b>NHBRC Reg No. 3-000195237</b>		

**2. ARCHITECTURAL PROFESSIONAL/ HERITAGE PRACTITIONER**

NAME <b>Wayne Malgas</b>	
POSTAL ADDRESS. <b>Unit 5 Thamesdale, 115 Rockdale Avenue, Westville</b>	
	POST CODE. <b>3629</b>
TEL	FAX/EMAIL
CELL <b>083 697 9054</b>	PROFESSIONAL REG. NO. <b>ST 2036</b>
SIGNATURE	DATE <b>19 January 2023</b>

**3. OWNER OF PROPERTY** (Owner or delegated person to sign on the front of this form)

NAME <b>Sheldon Tatchell (Awaiting Transfer)</b>	
POSTAL ADDRESS <b>1 Sipress Street, Bosmont</b>	
	POST CODE <b>2093</b>
TEL <b>074 633 8048</b>	FAX/EMAIL

**4. DELEGATED AUTHORITY** (The name of the person authorized to act on behalf of a company or institution ± Power or Attorney/proof of authorization to be attached)

NAME <b>WAYNE MALGAS</b>	
TE <b>083 697 9054</b>	FAX/EMAIL

**F. SUBMISSION FEE: R4000.00** (subject to annual increment on the 1 April)

The submission fee is payable to the Kwazulu-Natal Amafa And Research Institute by bank deposit/internet banking (EFT) and proof of payment must be submitted with the application.  
 USE STREET ADDRESS/FARM NAME or DEVELOPMENT/PROJECT TITLE OR SAHRIS ID NUMBER AS REFERENCE  
**ACCOUNT DETAILS:**  
**ABSA BANK: Branch: ULUNDI Bank Code: 630330**  
 Account in the name of **the KZN Amafa and Research Institute**  
**Account No. 40-5935-6024**

**G. PUBLIC PARTICIPATION:** (Contact details of Interested and Affected Parties Consulted - written opinion to be attached to form and drawings to be signed by I & A P. See Guidelines)

Name \_\_\_\_\_  
 Telephone \_\_\_\_\_ Fax/Email \_\_\_\_\_

**H. CHECKLIST OF SUPPORTING DOCUMENTATION** (\*see guidelines)

APPLICATION FORM (COMPLETED & SIGNED BY OWNER & CONSULTANT)	X
MOTIVATION/INCEPTION REPORT	X
PHOTOGRAPHS*	X
ORIGINAL/PREVIOUS DRAWINGS/REPORTS	X
4	
PLANS (X2 SETS FOR HARD COPY SUBMISSIONS) - NUMBERED AND COLOURED*	X
1:50 000 MAP & SATELLITE AERIAL VIEW	KML FILE MAP
PROOF OF PROFESSIONAL ACCREDITATION (e.g. copy of accreditation card)	X
APPOINTMENT LETTERS	CONSENT LETTER
PAYMENT/PROOF OF PAYMENT X	



# KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE

## THE KZN PROVINCIAL HERITAGE RESOURCES AUTHORITY

(accredited in terms of the National Heritage Resources Act and established in terms of the KZN AMAFA AND RESEARCH INSTITUTE ACT (5 OF 2018))

GUIDELINES FOR THE PREPARATION OF APPLICATIONS FOR PERMITS IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018), CHAPTERS 8 & 9 (SECTIONS 37-50, including all generally and specially protected Heritage Resources) FOR THE CONDONATION/ APPROVAL/RECTIFICATION OF THE UNLAWFUL COMMENCEMENT OR CONTINUATION OF WORK ON PROTECTED HERITAGE RESOURCES. Please detach from the form before submission

NB: THE PROVISIONS OF SECTION 38 OF THE NATIONAL HERITAGE RESOURCES ACT (25/1999), COVERING DEVELOPMENTS, THAT WERE PREVIOUSLY EXCLUDED FROM THE KZN HERITAGE LEGISLATION HAVE BEEN INCLUDED IN THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018).

### APPLICATION FORMS

All applications must be made on the relevant official application form and must be accompanied by the relevant supporting documentation.

- A. DECLARATION:** The owner must sign the form and any accompanying documentation and must consent to submissions by a third party/agent.
- B. PROPERTY:** Include the name of the property where applicable: e.g. Government House. The street address or farm name and number is the key information and is used as a tracking device in the filing system. Where several street numbers apply to the site, all the numbers must be included.
- C. 1. SIGNIFICANCE:** Sites are permanently protected as Heritage Landmarks (ex-national monument status) or listed on the Heritage Register. Details of the significance are given in the Gazette notice proclaiming the status. Provide the Gazette Notice number or the listing number.
- 2. HISTORICAL SIGNIFICANCE:** a brief history of the occupation of the site and phases of construction, as well as an assessment of historical significance is necessary.
- 3. ARCHITECTURAL SIGNIFICANCE:** An assessment of the condition of the buildings/structures on the site must be given. Provide an analysis of the styles and phases of construction of the building, including alterations and additions and a statement of its architectural significance. A full status quo architectural report must be provided, together with the plans.
- 4. ARCHAEOLOGICAL SIGNIFICANCE:** An assessment of the condition and significance of the archaeological remains must be provided
- 5. PALAEOLOGICAL SIGNIFICANCE:** An assessment of the condition and significance of the palaeontological remains must be provided
- D. WORK CARRIED OUT WITHOUT APPROVAL:** Motivate and give full details of the work carried out and give reasons why this was done without obtaining heritage authority approval prior to commencement. Detail the work to be carried out ± do not merely refer to the plans/report submitted. As this is a serious offence punishable through hefty fines and/or a prison sentence if not approved by the heritage authority the applicant must treat this process as if it were a court proceeding and provide as much evidence in mitigation as possible.
- E. CONTACT DETAILS:** All fields must be completed. **THE OWNERS MUST SIGN THE APPLICATION FORMS!! PERMITS ARE NOT TRANSFERABLE**
- G. PUBLIC PARTICIPATION:** the applicant will be notified of the level of public participation required and will have to bear the costs thereof. Neighbours within 100m, Ward Councillors, and Heritage Societies should be consulted in the case of demolition applications. All documentation submitted is retained for record purposes and interested and affected parties may apply to view the documentation.
- F. A SUBMISSION FEE ± a service fee determined by the Council of the Institute is payable on submission of all applications. This is not an admission of guilt fine and the Institute reserves its rights**

to prosecute offenders. The application will not be registered as submitted if the proof of payment is not attached to the application form. Ref the street address or farm name on the payment.

**\*SUPPORTING DOCUMENTATION: Only accredited professionals registered with their respective professional bodies may compile the supporting documentation. Permits may require their overseeing the work.**

FOR STRUCTURES: PLEASE REFER TO THE GUIDELINES CONTAINED IN FORM A which can be downloaded from the website [www.heritagekzn.co.za](http://www.heritagekzn.co.za)

FOR ARCHAEOLOGICAL SITES: PLEASE REFER FORM D which can be downloaded from the website [www.heritagekzn.co.za](http://www.heritagekzn.co.za), AND TO THE SA HERITAGE RESOURCES AGENCY AND ASSOCIATION OF SOUTH AFRICAN PROFESSIONAL ARCHAEOLOGISTS GUIDELINES AND PRESCRIPTS FOR REPORTS AND WORK ON HERITAGE SITES, which can be downloaded from [www.sahra.org.za](http://www.sahra.org.za).

FOR PALAEOONTOLOGICAL SITES: PLEASE REFER FORM D which can be downloaded from the website [www.heritagekzn.co.za](http://www.heritagekzn.co.za), AND TO THE SA HERITAGE RESOURCES AGENCY AND ASSOCIATION OF SOUTH AFRICAN PROFESSIONAL ARCHAEOLOGISTS GUIDELINES AND PRESCRIPTS FOR REPORTS AND WORK ON HERITAGE SITES, which can be downloaded from [www.sahra.org.za](http://www.sahra.org.za).

FOR DEVELOPMENT APPLICATIONS (NHRA Section 38 and KZN A & R I Section 41) REFER TO THE GUIDELINES ATTACHED TO FORM J which can be downloaded from the website [www.heritagekzn.co.za](http://www.heritagekzn.co.za) AND THE GUIDELINES FOR HERITAGE REPORTS, which can be downloaded from [www.sahra.org.za](http://www.sahra.org.za).

**SUBMISSION OF APPLICATIONS:** Application forms can be downloaded from [www.heritagekzn.co.za](http://www.heritagekzn.co.za) ORRRN Wab - download forms ± Form I. APPLICATIONS FOR STRUCTURES: Hard copy applications must be addressed to: The Head ± Built Environment SecWIRQ (QRW WR aQ RfficiaQ QaPe), Kwazulu-Natal Amafa And Research Institute, either delivered to 195 Langalibalele Street, Pietermaritzburg, 3201 or posted to BOX 2685, Pietermaritzburg, 3200. Electronic submissions can be made via email to [beadmin@amafapmb.co.za](mailto:beadmin@amafapmb.co.za) or uploaded to the Sahriss system operated by the South African Heritage Resources Agency (confirm upload to [beadmin@amafapmb.co.za](mailto:beadmin@amafapmb.co.za)). MinoU ZRUN aSSOicaWIRQV caQ be bURXghW iQWR Whe IQVWIXWeIV offices on a Monday between 09:00-15:00 and, where possible, they will be handled within about an hour, provided that the bearer waits for the permit or collects it on the same day.

APPLICATIONS FOR MILITARY, ARCHAEOLOGICAL AND PALAEOONTOLOGICAL SITES: these applications must be uploaded to the Sahriss system operated by the South African Heritage Resources Agency ± go to [www.sahra.org.za/sahriss](http://www.sahra.org.za/sahriss). Remember WR WicN ³APafa´ XQdeU Whe KZN PURYiQce VR WhaW Whe aSSOicaWIRQ OaQdV iQ Whe cRUUecW iQbR[ RQ Whe VVWWeP. The RZQeUIV deWaiOV PXVW be entered into the ³ASSOicaQW´ fieOd aQd Whe SURfeVViRQaOIV deWaiOV PXVW be eQWeUed iQWR Whe ³CRQVXOWaQW´ field.

APPLICATIONS FOR DEVELOPMENTS RESTRICTED UNDER SECTION 41 (SECTION 38 OF THE NHRA): these applications must be uploaded to the Sahriss system operated by the South African Heritage Resources Agency ± go to [www.sahra.org.za/sahriss](http://www.sahra.org.za/sahriss). RePePbeU WR WicN ³APafa´ XQdeU Whe KZN PURYiQce VR WhaW Whe aSSOicaWIRQ OaQdV iQ Whe cRUUecW iQbR[ RQ Whe VVWWeP. The RZQeUIV deWaiOV PXVW be eQWeUed iQWR Whe ³ASSOicaQW´ fieOd aQd Whe SURfeVViRQaOIV deWaiOV PXVW be eQWeUed iQWR Whe ³CRQVXOWaQW´ fieOd.

**NB:** there may be some overlap with regard to the historical and military sites, graves, memorials and sites containing ruins over 100 years of age or other structures. Applicants must use their discretion and follow the process that best suits the nature of the resources and the work carried out. If incorrect the receiving officer will direct the application to the most appropriate heritage officer.

responses to applications will be forwarded to applicants by email. Telephonic or e-mails enquiries will not generally be responded to.

**PLEASE NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Allow 90 days from the receipt of all required documentation**



KWAZULU-NATAL  
**AMAFA**  
& RESEARCH INSTITUTE