

Street Address, Suburb, Town:

Local Municipality

198 - 202 GORDON ROAD

eTHEKWINI MUNICIPALITY

APPLICATION FORM I (for Official Use)					
Ref:					
Date Received:					
Application no:					
Approved:	Not Approved:				
Date of Permit:					
Permit No:					

APPLICATION IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018) FOR THE CONDONATION/APPROVAL/RECTIFICATION OF THE UNLAWFUL COMMENCEMENT OR CONTINUATION OF WORK ON, OR DAMAGE TO, HERITAGE RESOURCES PROTECTED IN TERMS OF CHAPTERS 8 & 9 (sections 37 to 50, including both generally and specially protected heritage resources).

This form is to be used for applications where work was commenced, alternatively completed without the prior written approval of the Institute in its capacity as the Provincial Heritage Resources Authority. If no work has been undertaken select the appropriate form from the website www.heritagekzn.co.za.

NB: IT IS AN OFFENCE IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018) TO MAKE ANY FALSE STATEMENT OR FAIL TO PROVIDE REQUIRED INFORMATION IN THIS APPLICATION (Consult the attached guidelines before completing this form) THE ONUS IS ON THE APPLICANT TO ENSURE THAT THE CURRENT APPLICATION FORM IS USED. APPLICATIONS ON NON-COMPLIANT FORMS WILL NOT BE PROCESSED

ALL APPLICATION FORMS, REQUIRED SUPPORTING DOCUMENTATION AND PROOF OF PAYMENT MUST BE SUBMITTED TO THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE AS PER THE GUIDELINES ATTACHED, THE TYPE OF CONTRAVENTION WILL DETERMINE THE METHOD OF SUBMISSION.

A. DECLARATION BY OWNER	
I, <u>SHELDON TATCHELL</u> (Awaiting Tr <mark>ansfer</mark> )	
(full names of owner/person authorized to sign) undertake strictly to observe the terms, conditions, restrictions, by-laws and directions under which the KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE may issue the written approval of the work to me.	
Signature	
Place DURBAN Date 19 JANUARY 2023	
(The owner of the property must fill in these details and those in Section E: 3 and sign this document and any plans or other documents submitted in support of this application)	
B. PROPERTY DESCRIPTION: Title Deed No.	
Name of property/Project title:	
198 - 202 GORDON ROAD	
Erf/Lot/Farm No: GPS Co-ordinates ERF 789 DURBAN	

**District Municipality** 

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**Traditional Authority Area** 

Current zoning	Present use
GR 1 (REZONING TO LIMITED COMM.)	PART RETAIL / PART VACANT

### **C. HERITAGE SIGNIFICANCE:** (complete sections appropriate to site)

1. Status of Heritage Resources on the Site:

Permanent Protection:	Heritage Landmark/ Provincial HL		Listed on the Heritage Register	Provisionally Protected (notice issued)		Site in a Protected Area
Generally Protected site containing:	Structures 60 years +	Х	Graves	Archaeological site Battlefield or rock art		Palaeontological material  Meteor impact site

## 2. Historical/Military Significance:

- The building is older than 60 years old
- The house is a perfect example of the beauty of Edwardian Architecture and its symmetry.
   Even though the house has been poorly altered one can easily notice the peering towers with high gable roofs on either side of the house.
- There aren't many such examples in the area

3. Architectural Significance:	Original date of construction: > 60 yrs ago
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- The two houses are semi-detached with a typical mirrored style design with Edwardian influences, comprising of the use of face brick walls and 45-degree roof pitched roofs.
- The structure of the building is in a sound state with very little alterations conducted on the original structure except for the enclosure of the area above the lower verandah. This was done in timber walls and aluminium windows so could easily be removed and restored back to original.

	Archaeological Significance:	
Į	nknown	
	K W A Z U L U - N A T A L	
	References	

5. Palaeontological Significance:	
The original dwelling houses would have been built for living purposes	
& KESEARCH INSTITUTE	
References	

#### D. WORK CARRIED OUT WITHOUT PRIOR APPROVAL

1. Purpose of Application:		Damage/destruction/demolition		Alterations/Additions	Х
Redecoration		Disfigured Written/drawn on		Excavation	

Exhumation	Inundation	Development
Collection/Removal from original site	Trade/export (heritage objects)	Restricted use of equipment s40(5)
Consolidation/Subdivision	Amendment of Plan	Other
2. Existing Improvement	s made on site:	<u> </u>
Prior to the work commence	d on site, the existing improven	nents evident included the enclosure of
	n as the living area extension to	one house and the complete
Enclosure of the area above	the lower verandahs.	
	$\sim$	
3. Detail the work comm	enced/carried out	
	7 A A	randah and above the verandahs
		round level and replaced with concrete
-		with aluminium windows and doors
_		
		and replaced with new deck / balcony
·	ere altered to create the new le	
		(these structures appeared to be
	houses) & Ex. Prefab boundary	*
		ne window openings bricked up.
8. Exterior (entrance) steps r	emoved and timber paraplegic	ramp and deck was built.
4. Motivation for work (F	Please motivate fully why work was comn	nenced without approval)
See Page Number 4 for the	Motivatio <mark>n</mark>	
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N TT A	COLO.NAI	A L
A A	4 / / -	A
/\ A	$\sqrt{\Lambda}$	/\
Status of work   Commenced	Stopped	Completed
Date commenced		13/01/23 Completion
27/10/2022	A D C H I H S T I I	date
0 7535	AKCH HASTH	V 1 5

#### 4. Motivation for work

Our client's goal is to convert the existing dwelling structure into a commercial building that would accommodate small retail spaces. This is not uncommon in the area as most of the old houses have already been converted to retail or office spaces. The task mostly involved minor changes to the internal layout.

The exterior of the original house would mostly remain unchanged except for minor changes, namely the replacement of the existing timber windows & doors with new aluminium windows within the original openings. The existing structure already had existing large street facing window / door openings which were built in the past. Most of the work involved the removal of the old wooden floors on ground floor level as the floors appeared to be infested with wood ants.

#### **Interior Work**

The initial intention was to commence with the clean out all of the timber elements inside the house before the fumigation was conducted on the property, this involved existing floor boards, skirtings on the ground floor level and also internal timber doors through the house. The work commence on the 27<sup>th</sup> October 2023

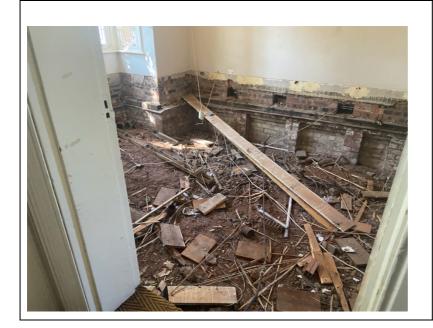


Plate 1:
Ground Floor Wooden Floors being removed



#### Plate 2:

Some of the typical wood rot noted on the internal wooden doors in and out of the house, which had to be removed.

During this process, the client was not happy with the condition of the timber windows as some windows had obvious damages caused by age, water rot and wood ants. The client then instructed the contractor to remove all the old wooden windows and replace with aluminium windows as most of the old windows had already been replaced with new aluminium by previous owners.

### **Exterior Work**

During the strip out process more wood rot caused by water damage or wood ants or both was noted in the floor structure and enclosed balcony walls above the balcony. The timber joists and beams were severe damaged and needed to be removed for safety reasons. It was also obvious that the dry wall enclosure was added on and did not match or compliment the original structure in any way and in order to get the existing structure back to its former glory this enclosure had to be removed.



#### **Plate 3: Part SE Elevation**

First floor level enclosure

Part of the existing verandah enclosure with cottage pane windows



**Plate 3.1:** Some of the typical wood rot noted in and out of the house during the strip out process.





# Plate 4: Damaged Windows

Most windows were is very overall condition

Rot in the wood was common

Most windows were changed to aluminium by previous owners



**Plate 5: Existing Aluminium Windows** 

Most of the old windows were change to aluminium windows by previous owners.

The existing exterior face brick walls were painted black to refresh the look and feel for the structure while enhancing the beauty of the Edwardian House with the use of accent colours. The timber floor structure above the verandah was also replaced with a new timber deck and light weight translucent roof as a modern element to the old fashioned house. The motivation behind going ahead prior to obtaining the permit from the Amafa was to complete the refurbishment of the structure and have the building refreshed and ready for the December break. The use of painted face brick is quite common in the area as there are many such structures with similar age with painted face brick. This protects the beauty of the face brick patterns while modernising the structure.



### The Outbuildings

The existing outbuildings were in very poor condition. The structures were poorly built with single skin walls which contributed to the severe water egress and dampness within the outbuildings. The wooden roof structure and windows had damage from rot which resulted in the overall poor condition of the structures. It was also obvious that the outbuildings were built much later than the original dwelling and had very little to no historic value. It was never the clients intention to demolish the existing outbuildings but after most of the property was consumed with rubble from all the timber structures it only made sense to demolish the outbuildings and have the rubble removed at the same time as the timber rubble. In addition to the demolition of the outbuildings, one single new structures were also erected along the rear boundary.



# Plate 7: Existing maid's quarters / outbuilding

Existing walls are in a poor state both internally and externally as a result of roof leaks and damaged / no waterproofing along the rear retaining wall.



# Plate 8: Existing outbuilding & gardener's toilet building

Poorly built and currently in a very poor state.

Single skin brick walls

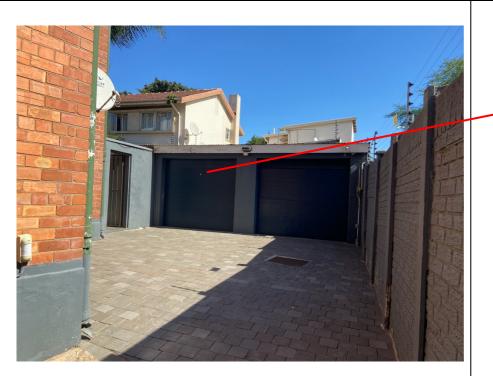


Plate 9: Part NW Elevation

Existing double garage structure was retained.

## **Work Carried Out without Heritage Authority Approval**







Plate 12: Street View of the house

New painted face brick

New electrical meter room under construction



# Plate 13: Rear Area between Outbuilding & House

Existing brick being painted

New Aluminium doors in existing opening



# Plate 14: View of Existing double garage structure

New concrete beam installed for new large shopfronts

New opening

## **Plate 15: Part NE Elevation**

Painted face brick

Two window openings were bricked up to match the existing brick pattern. The old window openings can clearly be seen.

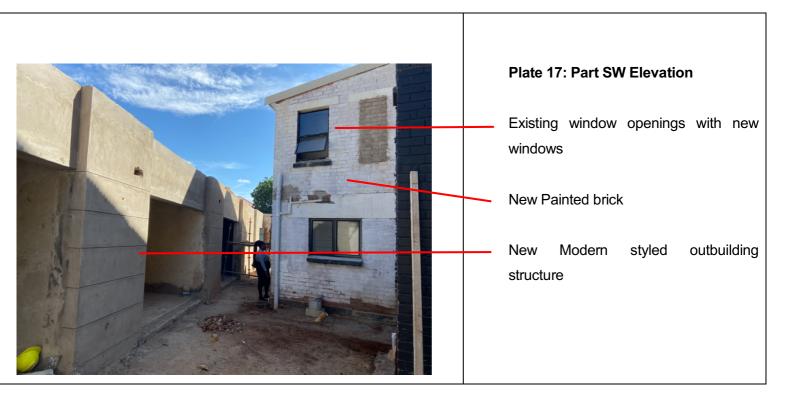




# Plate 16: Part NW Elevation

Existing window opening with new aluminium window

New Aluminium door



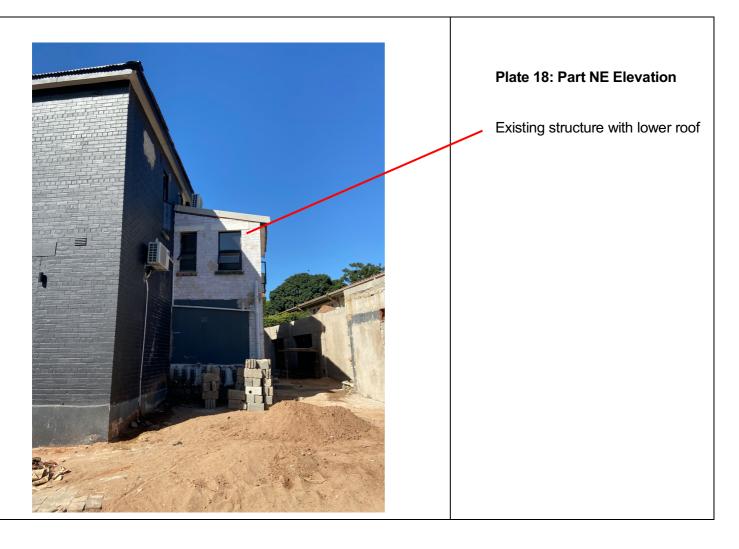




Plate 19: Part SE Elevation

New Modern styled outbuilding structure



# Plate 20: SW Elevation

New windows in existing openings

Painted brick

New aluminium shopfront



Plate 21: Part NW Elevation

New addition to rear of the first floor level. See floor plans



Plate 22: Area between the New outbuilding structure and the main house

New modern styled outbuilding

# E. CONTACT DETAILS

# 1. **CONTRACTOR** (THE PERSON WHO HAS DONE OR WILL COMPLETE THE WORK)

NAME	MC Holdings (Ltd) Pty	
POSTAL A	DDRESS	
	PO Box 47288, Greyville,	

			POST CODE 4023	
TEL	031 460 1049	FAX/EMAIL		
CELL 072 114 6252 QUALIFICATIO		DNS		
REGISTRATION OF INDUSTRY REGULATORY BODY: NHBRC Reg No. 3-000195237				

2. ARCHITECTURAL PROFESSIONAL/ H	ERITAGE PRACTITIONER	
NAME Wayne Malgas		
POSTAL ADDRESS. Unit 5 Thamesdale, 11	15 Rockdale Avenue, Westville	
/ V	POST CODE. 3629	
TEL	FAX/EMAIL	
CELL 083 697 9054	PROFESSIONAL REG. NO. ST 2036	
	L	
SIGNATURE	DATE <b>19 January 2023</b>	_
OWNER OF PROPERTY (Owner, and all	the first of this form	
3. OWNER OF PROPERTY (Owner or dele NAME Sheldon Tatchell (Awaiting Transf	egated person to sign on the front of this form)	
POSTAL ADDRESS 1 Sipress Street, Bosn		
POSTAL ADDRESS 1 Sipress Street, Bosin	POST CODE <b>2093</b>	
751 074 622 0040		
TEL 074 633 8048	FAX/EMAIL	
4. <b>DELEGATED AUTHORITY</b> (The name of Power or Attorney/proof of authorization to be attached)	the person authorized to act on behalf of a company or in	nstitution ±
NAME WAYNE MALGAS		
TE <b>083 697 9054</b> FAX	X/EMAIL	
4		
F. SUBMISSION FEE: R4000.00 (sub	icat to appual increment on the 1 April)	
	• ,	
The submission fee is payable to the Kwaz deposit/internet banking (EFT) and proof of paym		
deposit/internet banking (EFT) and proof of paym USE STREET ADDRESS/FARM NAME or D	DEVELOPMENT/PROJECT TITLĖ OR SAHRI	S ID
NUMBER AS REFERENCE ACCOUNT DETAILS:		
ABSA BANK: Branch: ULUNDI Bank Code:		
Account in the name of the KZN Amafa and Res Account No. 40-5935-6024	search Institute	
G. PUBLIC PARTICIPATION: (Contact	at details of Interested and Affected Parties Con	sulted -
written opinion to be attached to form and drawin	gs to be signed by I & A P. See Guidelines)	
Name		
Telephone	Fax/Email	
H. CHECKLIST OF SUPPORTING DO	OCUMENTATION (* swidelines)	
TI. CHECKLIST OF SUFFORTING DO	COMENTATION ( see guidelines)	
APPLICATION FORM (COMPLETED & SIGNED	D BY OWNER & CONSULTANT)	X
MOTIVATION/INCEPTION REPORT	$\wedge \vdash \wedge$	X
PHOTOGRAPHS*		Х
ORIGINAL/PREVIOUS DRAWINGS/REPORTS		Х
		4
PLANS (X2 SETS FOR HARD COPY SUBMISSI	ONS) - NUMBERED AND COLOURED*	Х
1:50 000 MAP & SATELLITE AERIAL VIEW	KML FILE MAP	
PROOF OF PROFESSIONAL ACCREDITATION	I (e.g. copy of accreditation card)	X
APPOINTMENT LETTERS	CONSENT LETTER	
PAYMENT/PROOF OF PAYMENT X	L	

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#### KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE

THE KZN PROVINCIAL HERITAGE RESOURCES AUTHORITY
(accredited in terms of the National Heritage Resources Act and established in terms of the KZN AMAFA AND RESEARCH INSTITUTE ACT (5 OF 2018))

GUIDELINES FOR THE PREPARATION OF APPLICATIONS FOR PERMITS IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018), CHAPTERS 8 & 9 (SECTIONS 37-50, including all generally and specially protected Heritage Resources) FOR THE CONDONATION/ APPROVAL/RECTIFICATION OF THE UNLAWFUL COMMENCEMENT OR CONTINUATION OF WORK ON PROTECTED HERITAGE RESOURCES. Please detach from the form before submission

NB: THE PROVISIONS OF SECTION 38 OF THE NATIONAL HERITAGE RESOURCES ACT (25/1999), COVERING DEVELOPMENTS, THAT WERE PREVIOUSLY EXCLUDED FROM THE KZN HERITAGE LEGISLATION HAVE BEEN INCLUDED IN THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018).

#### APPLICATION FORMS

All applications must be made on the relevant official application form and must be accompanied by the relevant supporting documentation.

- **A. DECLARATION:** The owner must sign the form and any accompanying documentation and must consent to submissions by a third party/agent.
- **B. PROPERTY:** Include the name of the property where applicable: e.g. Government House. The street address or farm name and number is the key information and is used as a tracking device in the filing system. Where several street numbers apply to the site, all the numbers must be included.
- **C. 1. SIGNIFICANCE:** Sites are permanently protected as Heritage Landmarks (ex-national monument status) or listed on the Heritage Register. Details of the significance are given in the Gazette notice proclaiming the status. Provide the Gazette Notice number or the listing number.
- **2. HISTORICAL SIGNIFICANCE:** a brief history of the occupation of the site and phases of construction, as well as an assessment of historical significance is necessary.
- 3. ARCHITECTURAL SIGNIFICANCE: An assessment of the condition of the buildings/structures on the site must be given. Provide an analysis of the styles and phases of construction of the building, including alterations and additions and a statement of its architectural significance. A full status quo architectural report must be provided, together with the plans.
- **4. ARCHAEOLOGICAL SIGNIFICANCE:** An assessment of the condition and significance of the archaeological remains must be provided
- PALAEONTOLOGICAL SIGNIFICANCE: An assessment of the condition and significance of the palaeontological remains must be provided
- **D. WORK CARRIED OUT WITHOUT APPROVAL:** Motivate and give full details of the work carried out and give reasons why this was done without obtaining heritage authority approval prior to commencement. Detail the work to be carried out ± do not merely refer to the plans/report submitted. As this is a serious offence punishable through hefty fines and/or a prison sentence if not approved by the heritage authority the applicant must treat this process as if it were a court proceeding and provide as much evidence in mitigation as possible.
- E. CONTACT DETAILS: All fields must be completed. THE OWNERS MUST SIGN THE APPLICATION FORMS!! PERMITS ARE NOT TRANSFERABLE
- G. **PUBLIC PARTICIPATION**: the applicant will be notified of the level of public participation required and will have to bear the costs thereof. Neighbours within 100m, Ward Councillors, and Heritage Societies should be consulted in the case of demolition applications. All documentation submitted is retained for record purposes and interested and affected parties may apply to view the documentation.
- **F. A SUBMISSION FEE** ± a service fee determined by the Council of the Institute is payable on submission of all applications. This is not an admission of guilt fine and the Institute reserves its rights

to prosecute offenders. The application will not be registered as submitted if the proof of payment is not attached to the application form. Ref the street address or farm name on the payment.

\*SUPPORTING DOCUMENTATION: Only accredited professionals registered with their respective professional bodies may compile the supporting documentation. Permits may require their overseeing the work.

FOR STRUCTURES: PLEASE REFER TO THE GUIDELINES CONTAINED IN FORM A which can be downloaded from the website www.heritagekzn.co.za XQdeU Whe Wab <sup>3</sup>PeUPiWV′

FOR ARCHAEOLOGICAL SITES: PLEASE REFER FORM D which can be downloaded from the website <a href="https://www.heritagekzn.co.za">www.heritagekzn.co.za</a> XQdeU Whe Wab ³PeUPiWV′, AND TO THE SA HERITAGE RESOURCES AGENCY AND ASSOCIATION OF SOUTH AFRICAN PROFESSIONAL ARCHAEOLOGISTS GUIDELINES AND PRESCRIPTS FOR REPORTS AND WORK ON HERITAGE SITES, which can be downloaded from <a href="https://www.sahra.org.za">www.sahra.org.za</a>.

FOR PALAEONTOLOGICAL SITES: PLEASE REFER FORM D which can be downloaded from the website <a href="https://www.heritagekzn.co.za">www.heritagekzn.co.za</a> XQdeU Whe Wab ³PeUPiWV′, AND TO THE SA HERITAGE RESOURCES AGENCY AND ASSOCIATION OF SOUTH AFRICAN PROFESSIONAL ARCHAEOLOGISTS GUIDELINES AND PRESCRIPTS FOR REPORTS AND WORK ON HERITAGE SITES, which can be downloaded from <a href="https://www.sahra.org.za">www.sahra.org.za</a>.

FOR DEVELOPMENT APPLICATIONS (NHRA Section 38 and KZN A & R I Section 41) REFER TO THE GUIDELINES ATTACHED TO FORM J which can be downloaded from the website www.heritagekzn.co.za XQdeU Whe Wab 3PeUPiWV′ AND THE GUIDELINES FOR HERITAGE REPORTS,

which can be downloaded from www.sahra.org.za.

SUBMISSION OF APPLICATIONS: Application forms can be downloaded from www.heritagekzn.co.za ± ORRN XQdeU Whe ³PeUPiWV′ Wab - download forms ± Form I. APPLICATIONS FOR STRUCTURES: Hard copy applications must be addressed to: The Head ± Built EQYiURQPeQW SecWiRQ (QRW WR aQ RfficiaO¶V QaPe), Kwazulu-Natal Amafa And Research Institute, either

delivered to 195 Langalibalele Street, Pietermaritzburg, 3201 or posted to BOX 2685, Pietermaritzburg, 3200. Electronic submissions can be made via email to beadmin@amafapmb.co.za or uploaded to the Sahris system operated by the South African Heritage Resources Agency (confirm upload to beadmin@amafapmb.co.za). MinoU ZRUN aSSOicaWiRQV caQ be bURXghW iQWR Whe IQVWiWXWe¶V

offices on a Monday between 09:00-15:00 and, where possible, they will be handled within about an hour, provided that the bearer waits for the permit or collects it on the same day.

APPLICATIONS FOR MILITARY, ARCHAEOLOGICAL AND PALAEONTOLOGICAL SITES: these applications must be uploaded to the Sahris system operated by the South African Heritage Resources Agency ± go to www.sahra.org.za/sahris. Remember WR WicN ³APafa´ XQdeU Whe KZN PURYiQce VR WhaW Whe aSSOicaWiRQ OaQdV iQ Whe cRUUecW iQbR[ RQ Whe V\VWeP. The RZQeU¶V deWaiOV PXVW be

entered into the 3ASSOicaQW´ fieOd aQd Whe SURfeVViRQaO¶V deWaiOV PXVW be eQWeUed iQWR Whe 3CRQVXOWaQW´ field.

APPLICATIONS FOR DEVELOPMENTS RESTRICTED UNDER SECTION 41 (SECTION 38 OF THE NHRA): these applications must be uploaded to the Sahris system operated by the South African Heritage Resources Agency ± go to www.sahra.org.za/sahris. RePePbeU WR WicN ³APafa′ XQdeU Whe KZN PURYiQce VR WhaW Whe aSSOicaWiRQ OaQdV iQ Whe cRUUecW iQbR[ RQ Whe V\VWeP. The RZQeU¶V deWaiOV

PXVW be eQWeUed iQWR Whe <sup>3</sup>ASSOicaQW´ fieOd aQd Whe SURfeVViRQaO¶V deWaiOV PXVW be eQWeUed iQWR Whe <sup>3</sup>CRQVXOWaQW´ fieOd.

**NB:** there may be some overlap with regard to the historical and military sites, graves, memorials and sites containing ruins over 100 years of age or other structures. Applicants must use their discretion and follow the process that best suits the nature of the resources and the work carried out. If incorrect the receiving officer will direct the application to the most appropriate heritage officer.

responses to applications will be forwarded to applicants by email. Telephonic or e-mails enquiries will not generally be responded to.

PLEASE NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Allow 90 days from the receipt of all required documentation



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