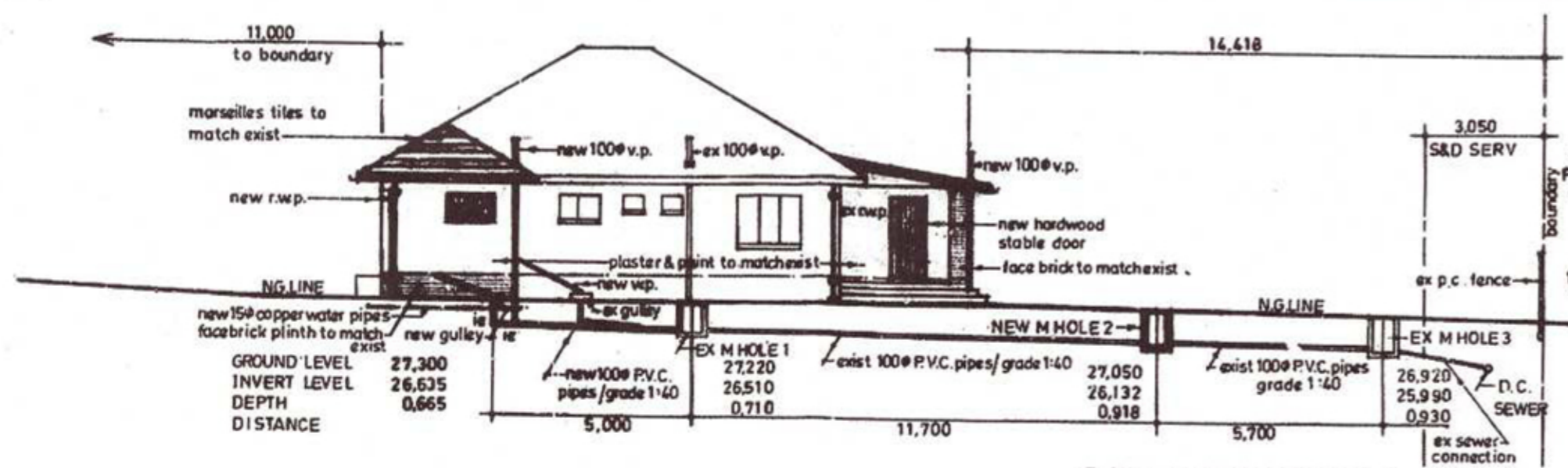


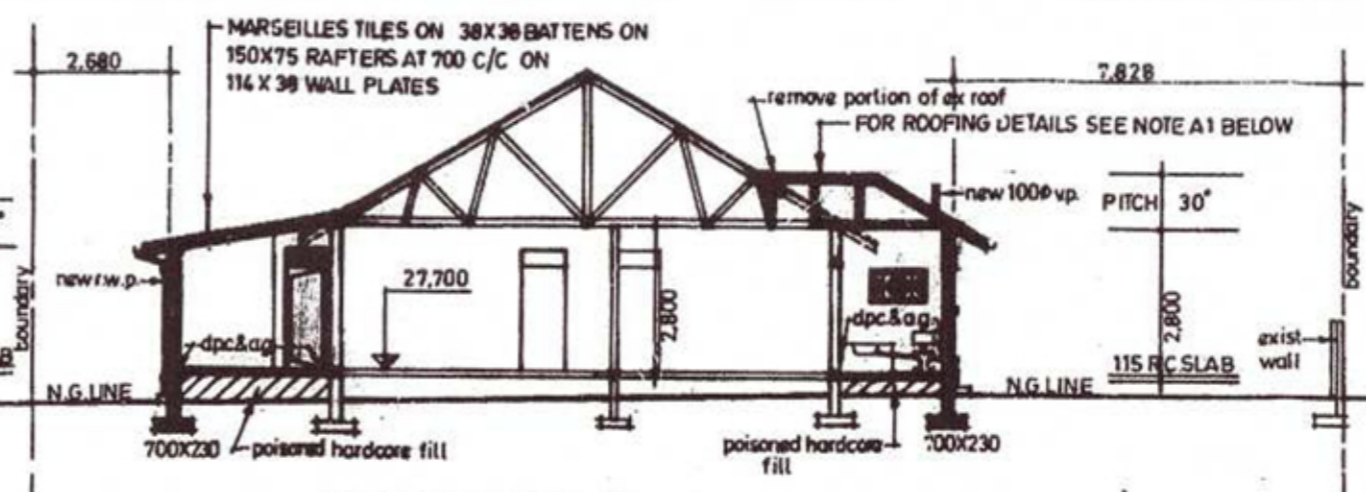
**IMPORTANT**  
 APPLICATION FOR REPAIR OR POSITION OF BUILDING PERMITS ON ABANDONED OR PARTLY BUILT BY THE CITY ENGINEER'S OFFICE SHALL BE FILED WITHIN THIRTY (30) DAYS OF THE DATE OF APPROVAL BY THE CITY ENGINEER.

**NOTE ALL SOAK PITS TO BE MIN 4,000 FROM ALL BUILDINGS, BOUNDARIES & SERVITUDES**

CITY HEALTH DEPT. DURBAN  
 PLANS SECTION RECEIVED  
 1984 JUN 19  
 Report No. 110/6/84  
 Approved: *[Signature]*



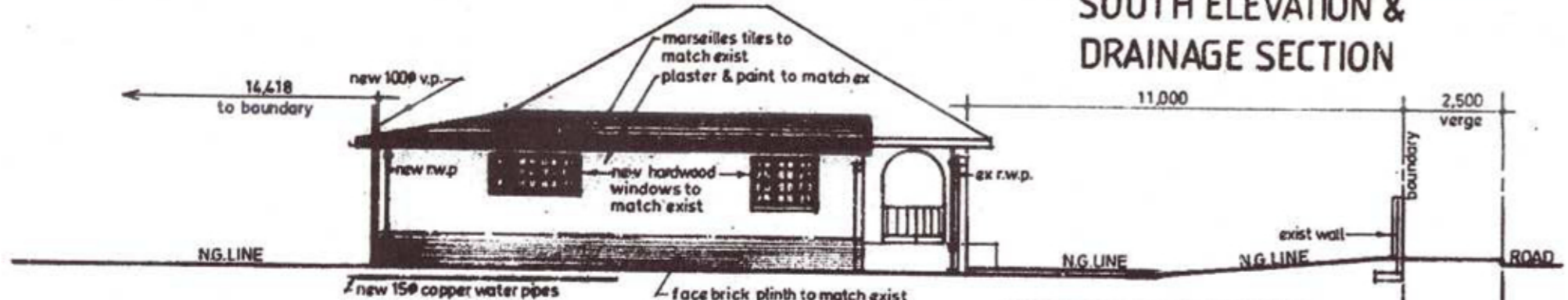
**SOUTH ELEVATION & DRAINAGE SECTION**



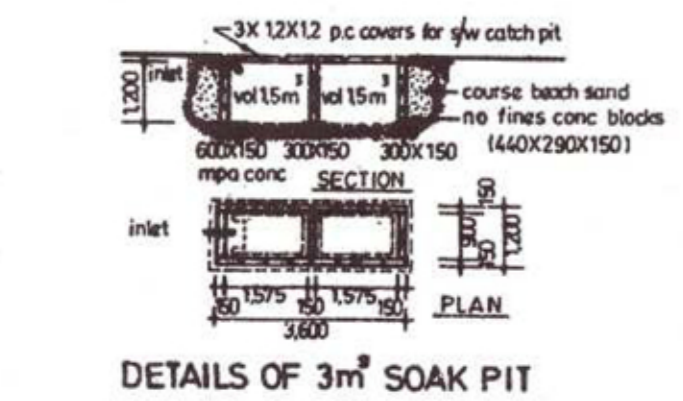
**SECTION 'X-X'**

**NOTES**

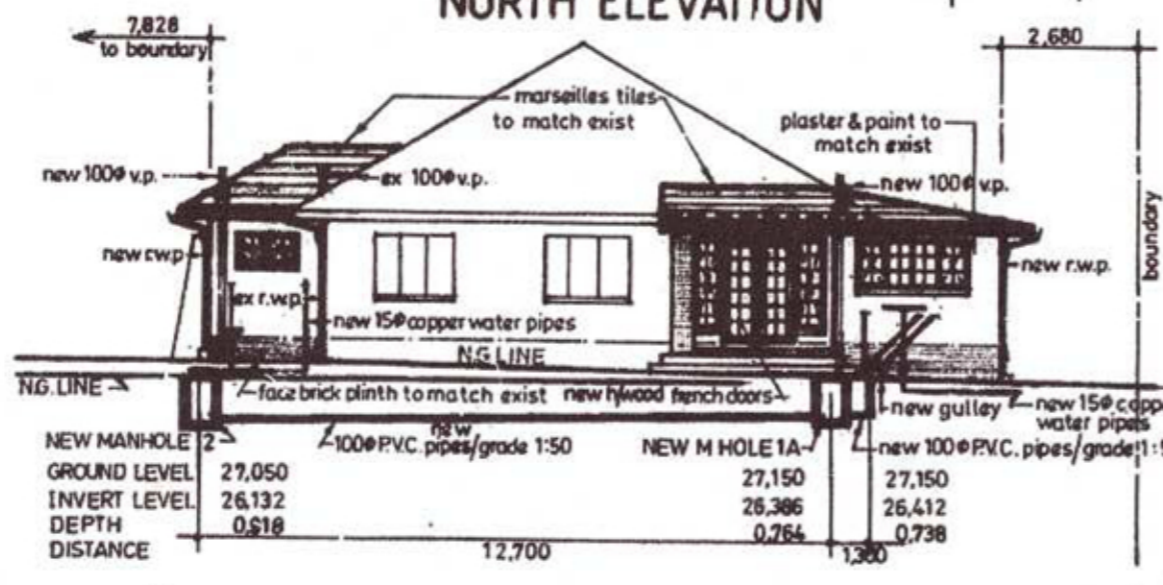
- ALL NEW WORKS AND MATERIALS TO MATCH EXISTING
- VISTA HARDWOOD WINDOWS BY BLAIKE JOHNSTONE
- ALL NEW EXTERNAL SILLS TO BE PLASTERED AND PAINTED
- ALL NEW ELECTRICAL POINTS AND LIGHT FITTINGS TO OWNERS APPROVAL
- ALL NEW KITCHEN AND BATHROOM FITTINGS TO OWNERS APPROVAL
- PROPOSED KITCHEN AND BATHROOM WALLS TO BE TILED TO A HEIGHT OF 1,500 ABOVE FLOOR



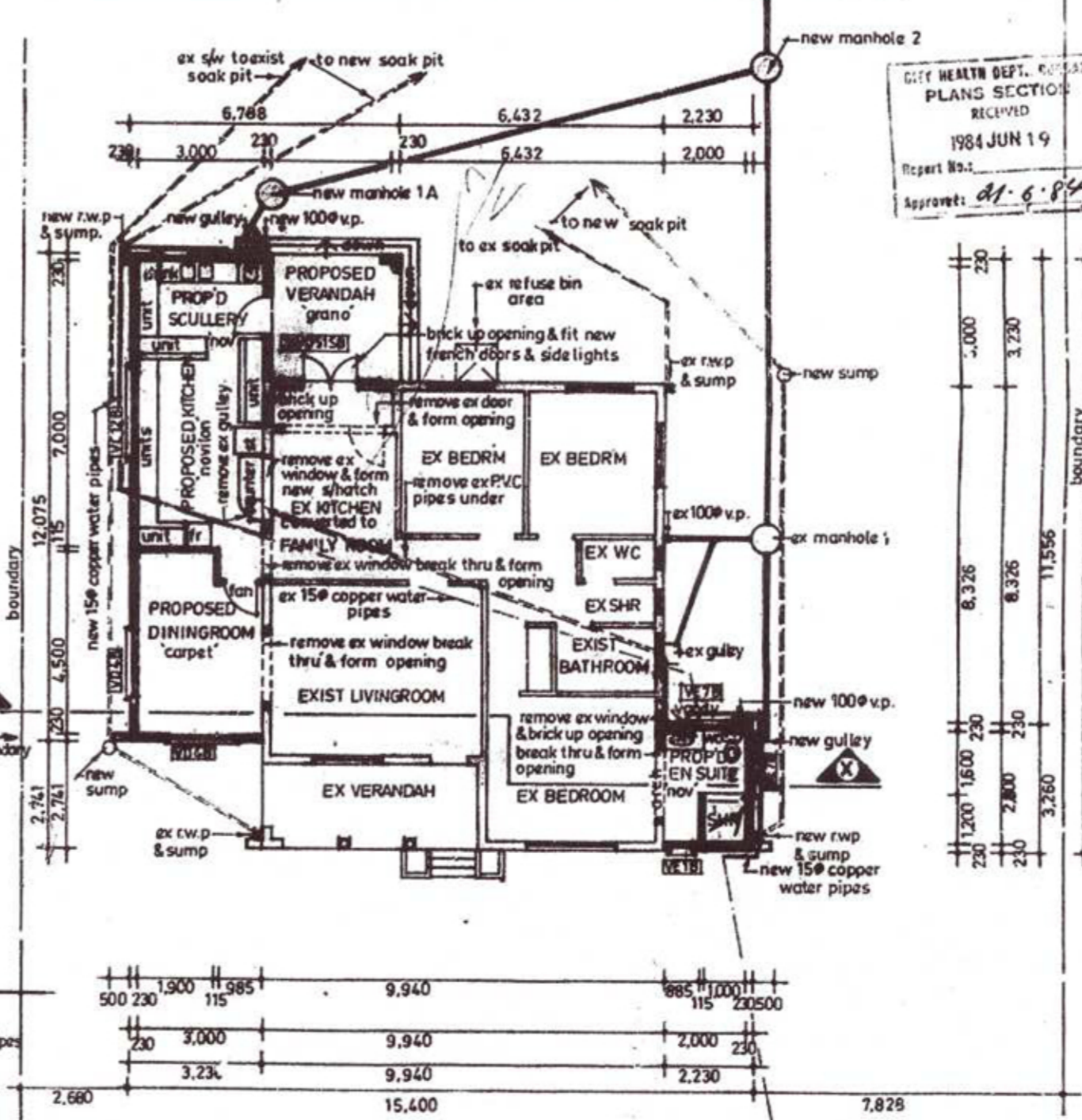
**NORTH ELEVATION**



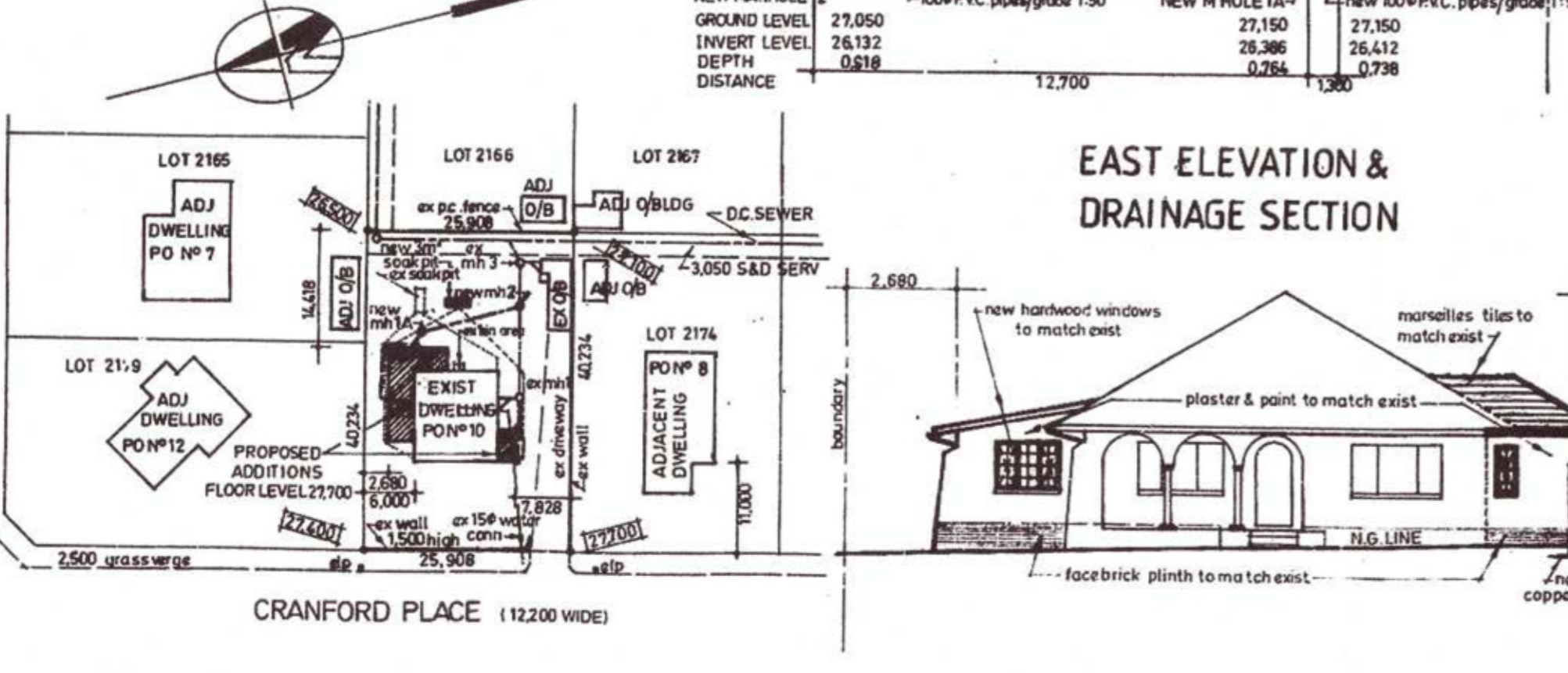
**DETAILS OF 3m³ SOAK PIT**



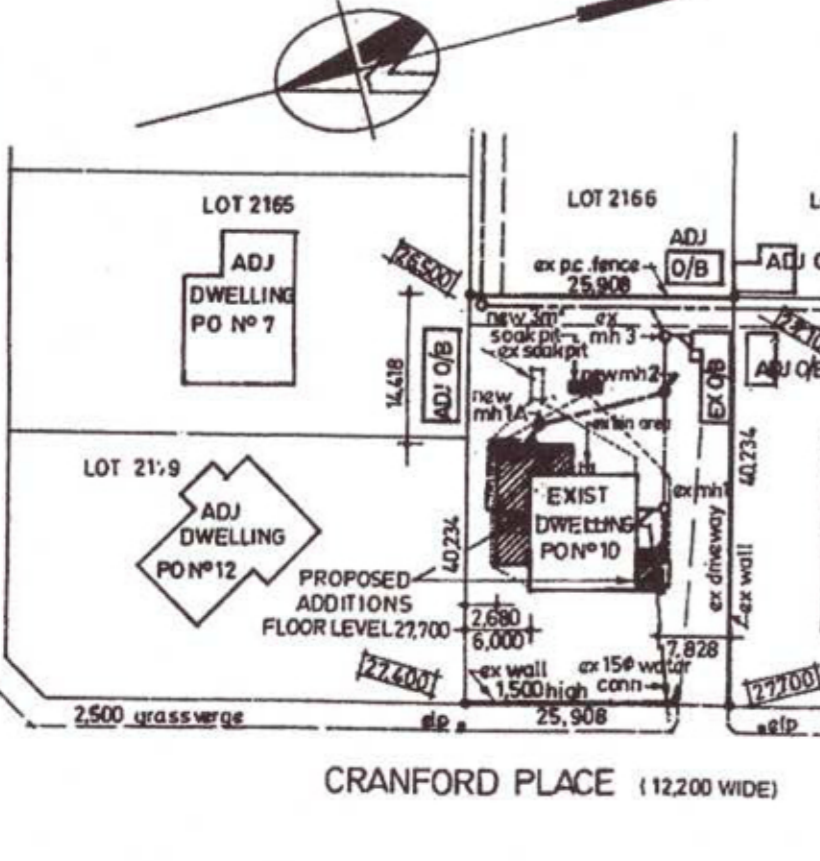
**EAST ELEVATION & DRAINAGE SECTION**



**FLOOR PLAN**



**WEST ELEVATION**



**SITE PLAN**

LOT 2177 OF 13 OF VICTORIA COUNTY N° 1546 SITE AREA 1042,3 SQM

- NOTE: WHERE NOTED, OR APPROPRIATE TO THIS PROJECT THE FOLLOWING NOTES SHALL APPLY**
- ROOF: - 30 MARSEILLES TILES**  
 ON "GUNPLAS DAKSEL" 40 MICRON L&D AT A WATER PROOFING MEMBRANE ON "GANG RAIL" TRUSSES. DESIGN SPACING TO PROFESSIONAL ENGINEER'S DETAILS. TIED DOWN 12 N° OF COURSES INTO BRK WITH GALVANISED ROOF NAIL TIES.  
 2. 114 x 38 WALL PLATES.  
 3. 20 x 28 FASCIA & BARGE BOARDS.  
 4. FLUSH PLASTERED (TWO COAT) CEILING.  
 5. NEW VENTERS TO BE INSTALLED AS SHOWN.  
 6. ALL ROOF JOINTS TO BE SEALED WITH BUTYL RUBBER GUM.  
 7. 20mm x 20mm x 20mm HEAT INSULATION TO BE LAID ABOVE ROOF.  
 8. ALL WATER GOODS.  
 9. USE 100mm ABSORBER CEMENT GUTTERS AND DOWNPIPES FOR ROOF.  
 10. ALL WORK TO BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

- WALLS:**  
 1. TWO COURSES OF BRICKWORK ARE TO BE REINFORCED WITH BRICKWORK WITH SOLID JOINTS IN CEMENT MORTAR.  
 2. ALL WALLS BELOW WINDOW SILL LEVEL, WINDOW HEAD LEVEL AND BELOW ROOF WATER LEVEL.  
 3. EXTERNAL FACE OF ROOF SILL OF ALL EXTERNAL WALLS TO BE SAGGED AND REINFORCED WATERPROOF WITH SUITABLE APPLICATION OF BUTYLS.  
 4. GALVANISED WIRE TIES TO BE BUILT IN ALL 200mm WALLS AT 800 CENTRES HORIZONTALLY AND EVERY 6TH COURSE VERTICALLY.  
 5. TWO AIR BRICKS ARE TO BE PROVIDED TO EXTERNAL WALLS OF ALL ROOMS.  
 6. DAMP PROOF COURSES AND ANY GUARDS ARE TO BE PROVIDED TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.

- FLOORS:** - OTHER THAN SUSPENDED FLOORS:  
 1. 115mm CONCRETE SURFACE BED REINFORCED WITH 8mm DIAMETER STEEL REINFORCING RODS AT 300 CENTRES IN BOTH DIRECTIONS OR B.R.C. WESH ON "HYPERLASTIC" 250 MICRON WATER PROOFING LAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS ON CLEAN SAND BED.  
 2. SUB FLOOR GROUND TO BE POSHED WITH PENETRATING PUWOL SOLUTION IN ACCORDANCE WITH S.A.S. S CODES OF PRACTICE.  
 3. **RETAINING WALLS:**  
 1. ALL WALLS RETAINING EARTH ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL STRUCTURAL ENGINEER'S DETAILS.  
 2. 500 MICRON "HYPERLASTIC" WATERPROOFING TO BE LAID TO ALL EXTERNAL RETAINING WALLS STRICTLY IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.  
 3. AGRICULTURAL DRAINS TO BE PROVIDED BEHIND ALL RETAINING WALLS TO GRADE AND LEADING TO STORM WATER SUMP.  
 4. **BOUNDARY WALLS:**  
 1. NO PART OF BOUNDARY WALLS NOR THEIR FOOTING ARE TO ENDOACH BEYOND PROPERTY BOUNDARY.  
 2. WALLS SPANNING SERVITUDE TO BE BUILT ON REINFORCED CONCRETE FOOTING TO PROFESSIONAL ENGINEER'S DETAILS.  
 3. BOUNDARY WALLS FOOTING PARALLEL WITH SERVITUDES ARE NOT TO PROJECT MORE THAN 20mm INTO SERVITUDE.

- DRAINAGE NOTES:**  
 1. CONTRACTOR TO APPLY TO LOCAL AUTHORITY FOR A SEWER CONNECTION TO BE INSTALLED PRIOR TO COMMENCING ANY BUILDING WORKS. ONCE INSTALLED DRAINAGE WORK TO BE GRADED TO ENSURE ENTRY TO CONNECTION.  
 2. ALL SANITARY FITTINGS TO BE TRAPPED IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS.  
 3. ALL SEALS AND JUNCTIONS IN DRAINS AND SEWER LINES TO BE FITTED WITH INSPECTION TIES.  
 4. ADEQUATE ACCESS PANELS TO BE FITTED TO ALL DUCTS OVER INSPECTION EYES.  
 5. SEPTIC TANKS AND SOAK PITS TO BE BUILT AND SITED TO SATISFACTION OF LOCAL AUTHORITY. THIS APPROVAL IS TO BE OBTAINED BY CONTRACTOR FROM LOCAL AUTHORITY BEFORE COMMENCING ANY BUILDING WORKS. AS THIS MAY INVOLVE CARRYING OUT A PERCOLATION TEST.  
 6. CONTRACTOR TO ENSURE THAT ADEQUATE STORMWATER DRAINAGE IS PROVIDED SO AS NOT TO CAUSE ANY DAMAGE TO PROPERTY.  
 7. **SPECIAL NOTES TO CONTRACTOR**  
 1. ALL BOUNDARY BEACONS TO BE FLAGGED BY REGISTERED LAND SURVEYOR AND CONTRACTOR TO OBTAIN CERTIFICATE STATING THAT THE NEW WORKS ARE CORRECTLY SET OUT.  
 2. CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK AND TO REPORT ANY DISCREPANCIES IMMEDIATELY TO BUILDING DESIGNER.  
 3. CONTRACTOR IS TO CORRECT ENTRANCE LEVELS AND FLOOR LEVELS PHYSICALLY ON SITE WITH LOCAL AUTHORITY INSPECTOR AND TO INSURE THAT DRIVEWAY FALLS AND GARAGE FLOOR LEVELS ARE CORRECT BEFORE COMMENCING BUILDING WORK.  
 4. IF ON EXCAVATION THIS SITE IS FOUND TO CONTAIN EXPANSIVE CLAY, EXCESSIVE GROUND WATER, OR OTHER POOR SOIL CONDITIONS, THEN ALL FOUNDATIONS ARE TO BE BUILT TO PROFESSIONAL SOIL ENGINEER'S DETAILS AND UNDER HIS SUPERVISION.  
 5. ALL FOUNDATIONS TO BE TAKEN DOWN TO HARD VIRGIN GROUND.  
 6. WHERE LOCAL AUTHORITY OR GOVERNMENT BUILDING REGULATIONS REQUIRE MORE STRINGENT REQUIREMENTS THAN SHOWN ON THESE DRAWINGS, THEY ARE TO BE COMPLIED WITH AFTER FIRST OBTAINING THE OWNER'S CONSENT.

SCHEDULE OF FLOOR AREAS	
EXIST DWELLING	115,1 SQM
EXIST OUT BUILDING	21,5 SQM
ADDITIONS TO DWELLING	58,5 SQM
<b>TOTAL</b>	<b>195,5 SQM</b>

PROJECT	PROPOSED ADDITIONS TO EXISTING DWELLING
OWNER	MR. F. STEYL
SITE DESCRIPTION	LOT 2177 OF 13 OF VICTORIA COUNTY N° 1546
ADDRESS	N° 10 CRANFORD PLACE DURBAN NORTH

**graham d fuller** REGISTERED

**gdf**

23 LAUREL ROAD  
 LOWER GLENWOOD  
 DURBAN 4001  
 TEL. 282198

DATE 10-5-84 SCALES 1:100  
 DRAWN *[Signature]*  
 CHECKED *[Signature]*