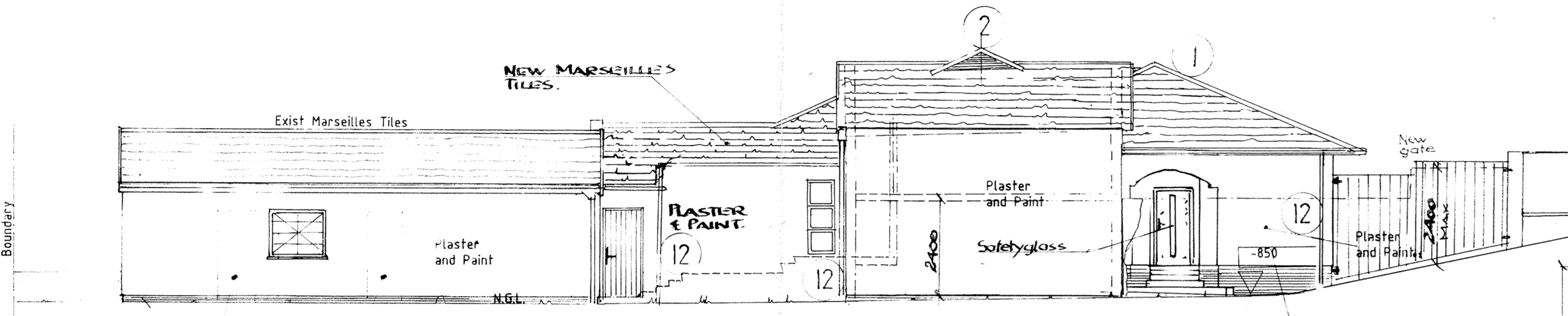
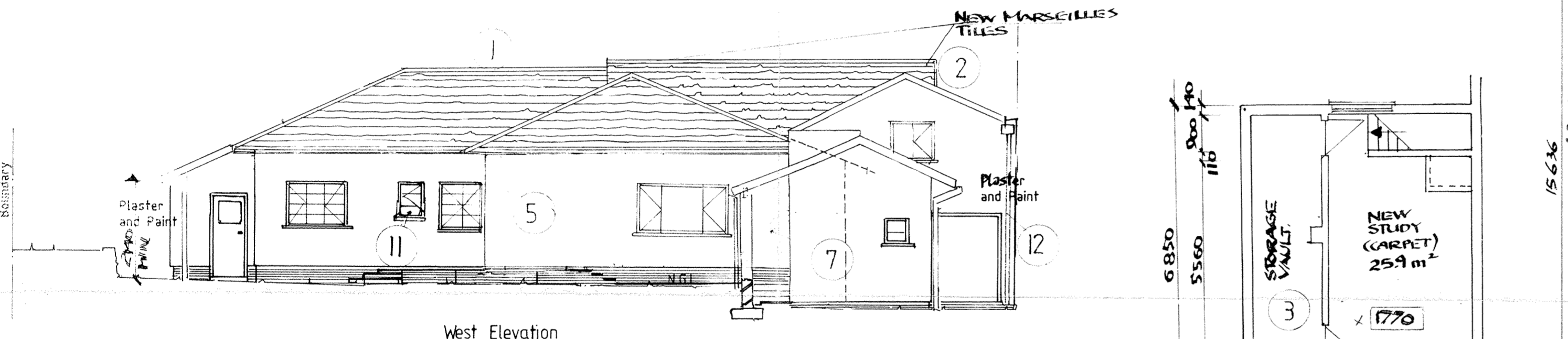


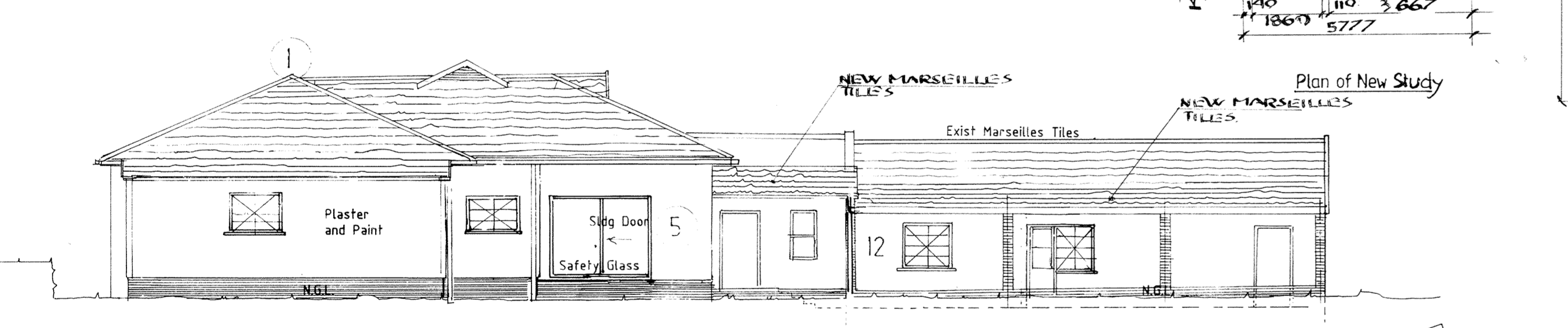
East Elevation



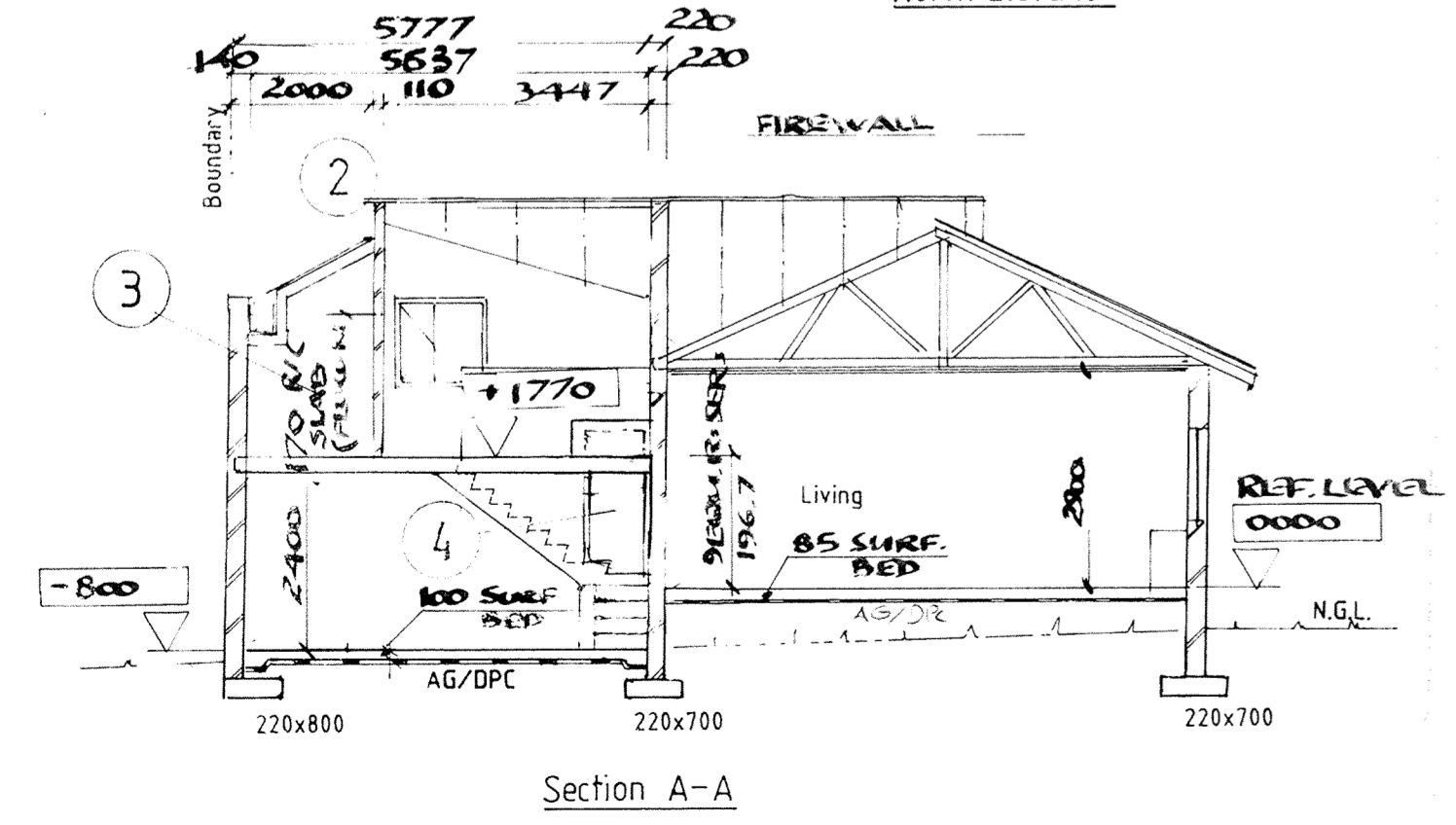
South Elevation



West Elevation

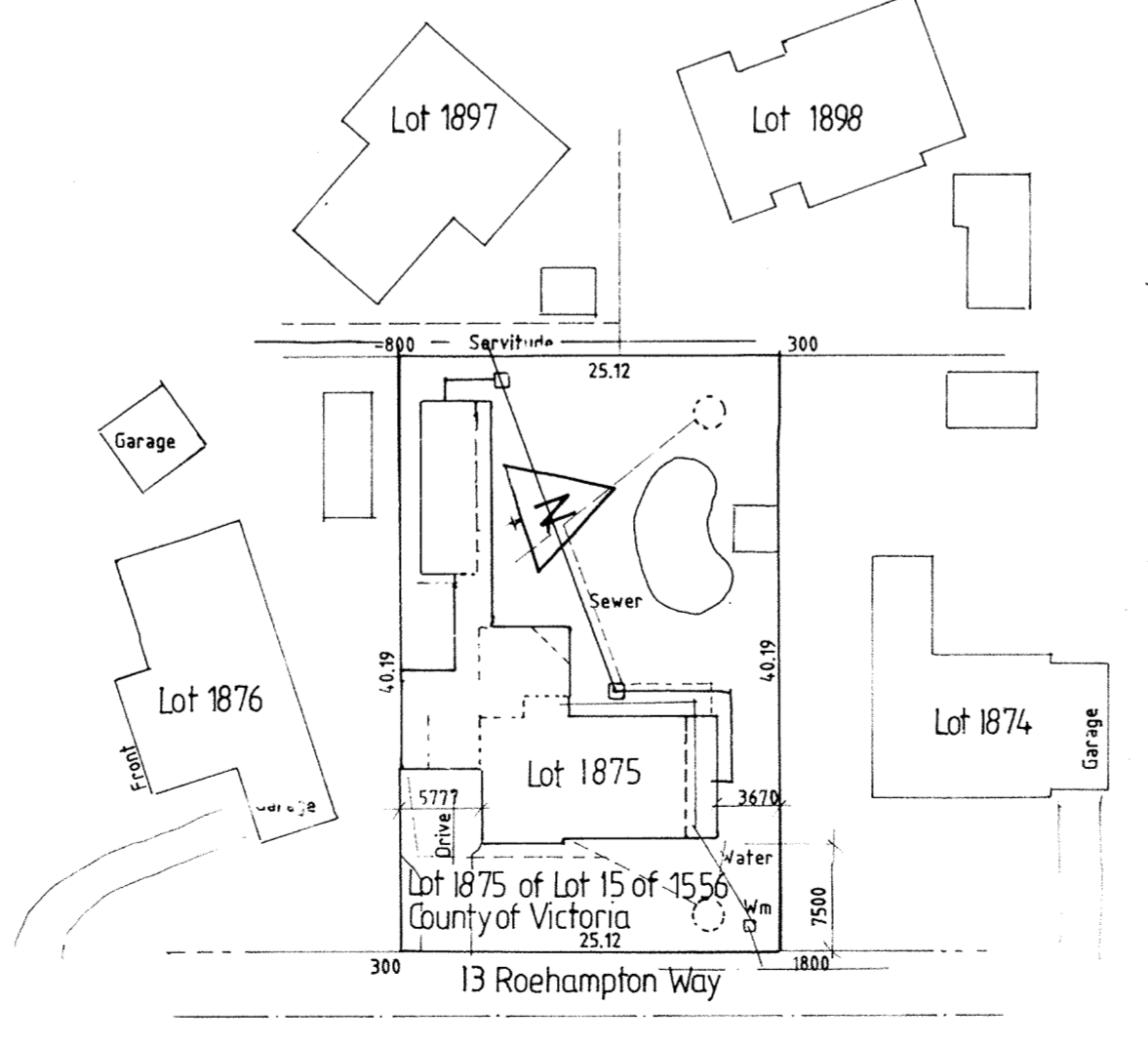


North Elevation

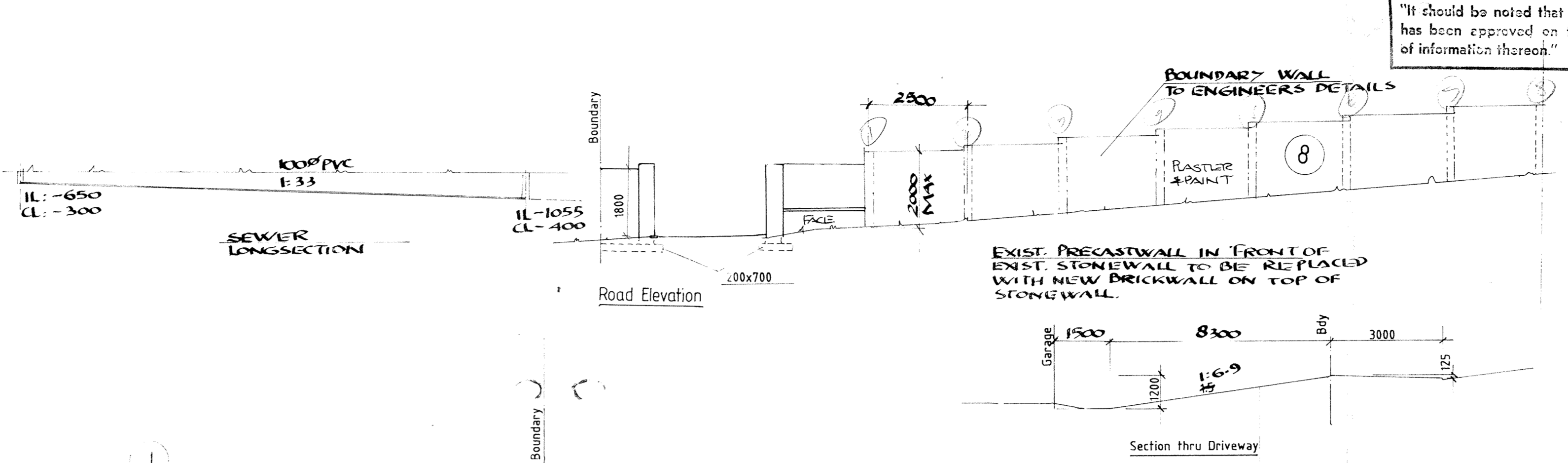


Section A-A

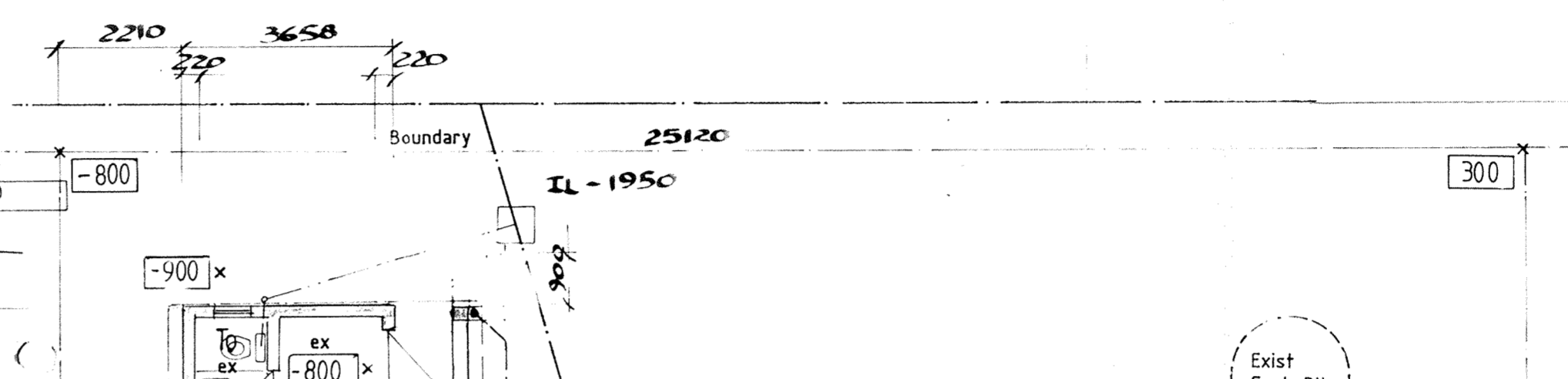
AREAS:	M ²	COVERED ADD AREAS:	M ²
MAIN BUILDING	155.3	ENTRANCE ALCOVE	2.5
POOLROOM, LAUNDRY	24.4	COVERED WALKWAY	19.1
NEW LINK CORRIDOR	7.1	SHADE CLOTH (POOL)	10.9
STUDY	25.9		32.5
STORAGE VAULT	13.7		
GARAGE	226.4	TOTAL COVERED	289.6
SERV. QUARTERS	39.6	MAIN BLDG	32.5
	285.6	ADDIT COVERED	318.1



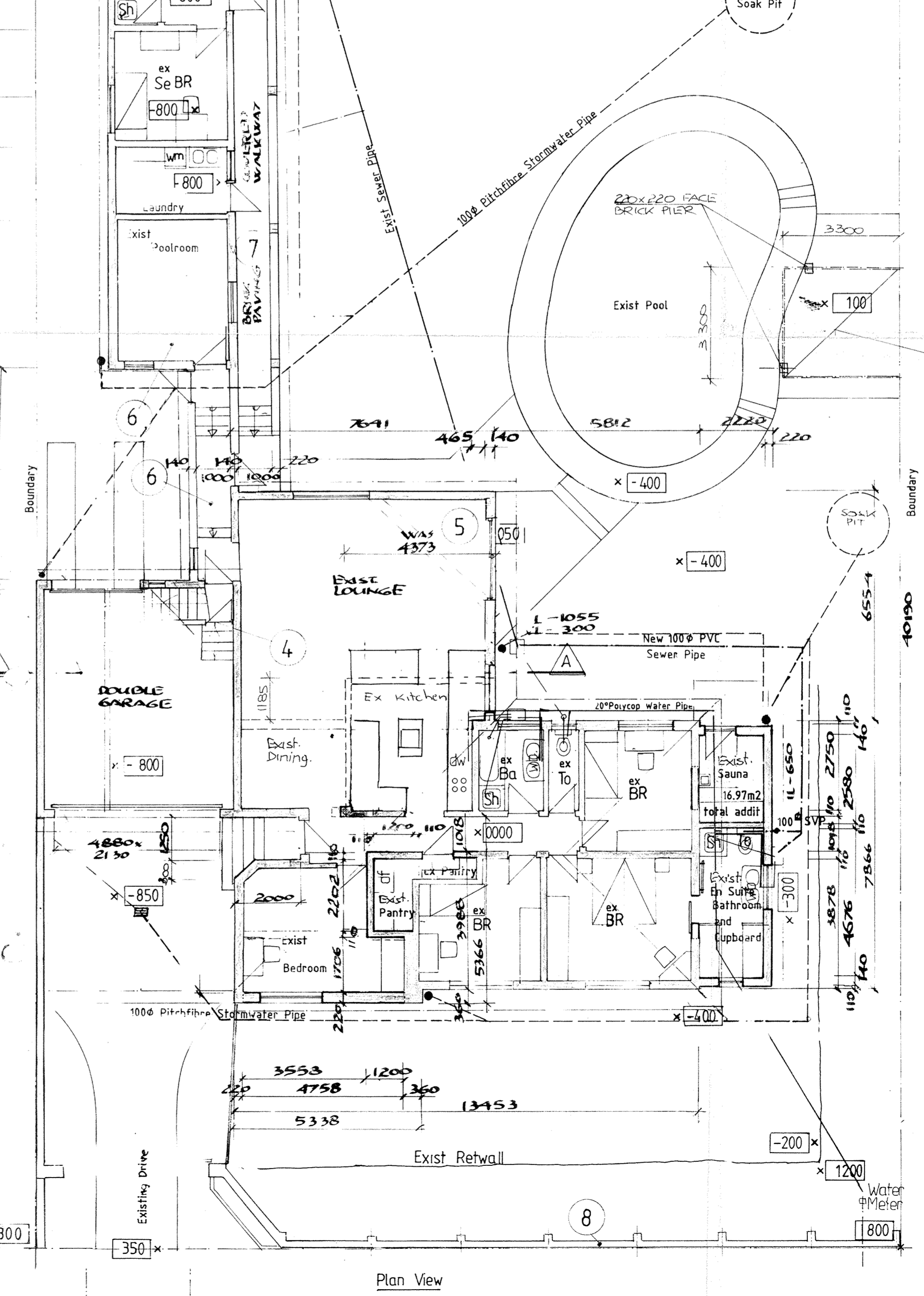
Site Plan
1:500



Sewer Longsection



Section thru Driveway



Plan View

"It should be noted that this plan has been approved on the basis of information thereon."

- SPECIFICATION OF CONSTRUCTION & FINISHES**
- FOUNDATION**
200Pa concrete (All fnds to be taken to natural ground)
 - FLOOR**
25mm screed on 100mm BRC mesh r/c surface bed
250 micron plastic underlay on well compacted poiss fill
DPC to be provided. SUSPENDED floor slabs, beams, ramp-
-out walls to ENGS. detail.
 - WALLS**
110 brick internal / 220 external to be plastered & pva
painted. 2air bricks per room to external walls facebrick
glinth up to floor level.
 - BRICKFORCE**
2 courses to be provided at sill & eaves level
 - CEILING**
Rhinoboard on 38x38mm brndering at 450 crs. Joints to
be taped.
 - ROOF**
30° Clay
Pvc 24 concrete tiles on 38x38mm battens on 250 micron
plastic underlay to be provided over wall plate & taped at
ridge & valleys & joints on gang nail truss at 760 crs. to
ENGS. specifications.
 - PLUMBING**
All drainage to comply with N.B.R. 25mm pvc underground connection
25mm copper water supply above ground
SEWER pipe 100 & 150 Ø pvc Storm water pipe conert to size req.
 - FLOORING**
Carpets in lounge, bedrooms etc. Navilon in bathroom, ceramic tiles
on verandahs & hotel kitchens & stores.
 - DOORS**
Hardwood externally flush panel internally. Galvanized garage doors.
 - WINDOWS**
Hardwood meranti with safety glass as req. by N.B.R.
 - TILING**
Selection of coloured tiles up to E range in the bathrooms & toilets
 - BURGLAR PROOFING**
Supplied to all windows as req.
 - (1) ARTIFICIAL VENTILATION
Extractor fans with air supply with 2500 L/S
 - (2) ARTIFICIAL LIGHTING
Central bathrooms & shrs to 100 Lux artificial lighting
 - (3) FOUNDATIONS TO BOUNDARY WALLS NOT TO ENDOACH

SUSPENDED TIMBER FLOORING
Strip Flooring on 114x38 Joists at 450c/c on 150x38 Joists at
1200c/c.

- Amendments**
- The following amendements were made to the approved plan:
- (1) The existing roof was incorrectly shown as having 30 degrees. This has now been amended to the actual 22.5 degrees.
 - (2) Roofline over new studv slightly altered.
 - (3) Storage vault added to first floor.
 - (4) Entrance from garage to house added using solid timber door.
 - (5) Triangular patio in front of lounge removed and made part of lounge.
 - (6) Main building and outbuilding connected and exist poolroom increased.
 - (7) Covered walkway added to outbuilding.
 - (8) Front boundary wall changed from precast concrete to plastered brickwork.
 - (9) Area next to pool covered over in shadecloth.
 - (10) Wallthicknesses to extensions changed from 220 to 140 mm
 - (11) Existing toilet window was incorrectly shown as 550 square. Now corrected to 900x550.
 - (12) New downpipes now shown.

PLAN SUBSTITUTED	18 JUN 1991
SHEET SUBSTITUTED	
SHEET ADDED	

CITY OF DURBAN
PLAN NUMBER
03.06/02/1903
APPROVED SUBJECT TO FOLLOWING CONDITIONS:
Solid timber door between garage and house to be self closing.

APPROVED: D.C. MACLEOD
CITY ENGINEER
DATE PER

Amendments to approved Plan No 0298/12/88/1
18.6.91

Proposed Additions to Res. R W Orator at Lot 1875 of Lot 15 of 1556

13 Roehampton Way Durban North

Engineer: R.W. Orator
Fr. Eng. 8203323
Date: 7.7.88
By: R. Orator
DRG 000-51c

ORA
Consulting Engineers and Project Managers
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39 Smith Street Durban 4005
ORATOR and Associates.