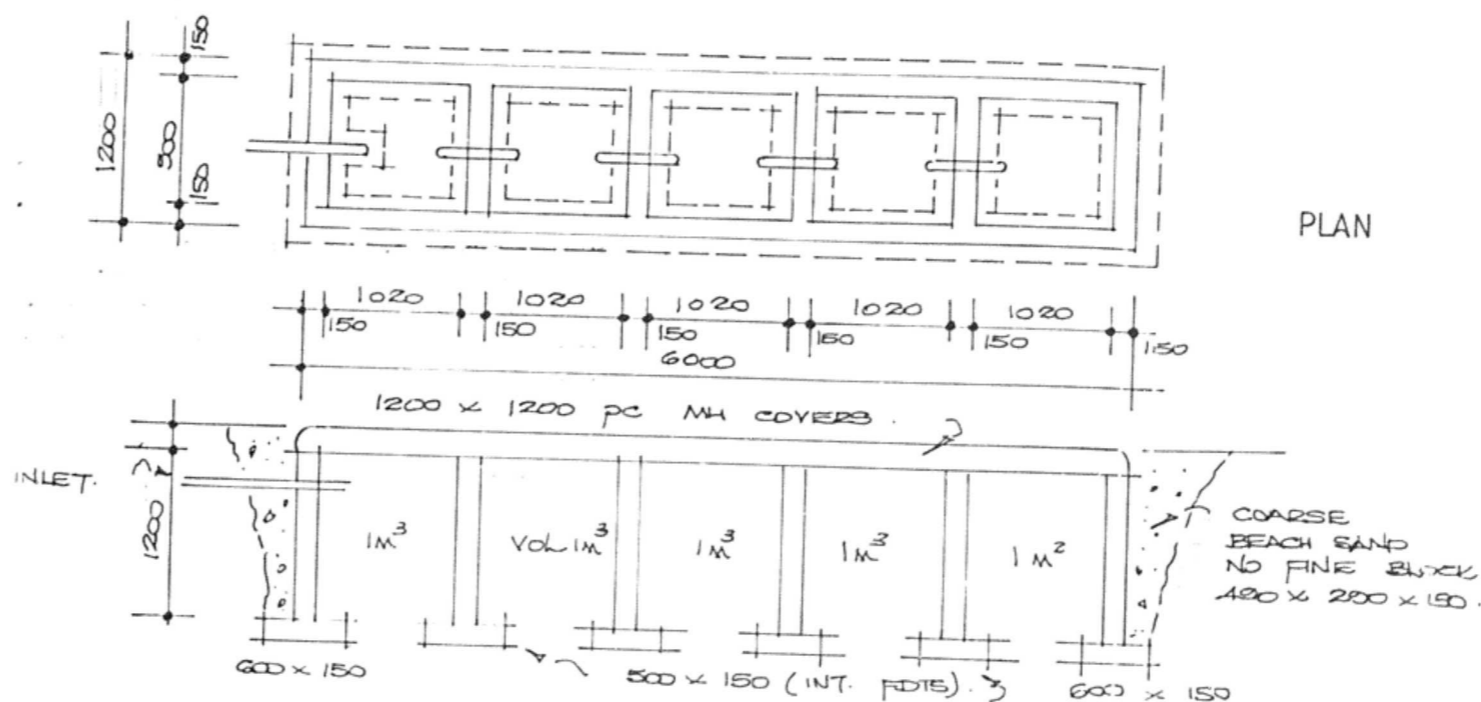
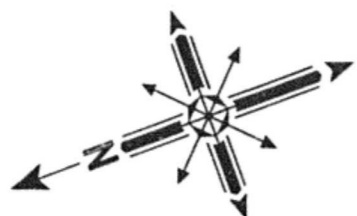


**DEVELOPMENT:**

ALTERATIONS AND ADDITIONS TO DWELLING ON A RELAXED SIDE SPACE AND ERECTION OF PRIVATE STUDIO ABOVE EXISTING AND PROPOSED GARAGE/OUTBUILDING DEVELOPMENT ON A RELAXED SIDE SPACE

In pursuance of section 67 of the Town Planning Ordinance 27 of 1949 (as amended) the abovementioned development of land/buildings is hereby authorised subject to the following specific conditions:-

The use of the private studio being personal to the residential occupants of the dwelling and may not be used for any commercial use whatsoever.



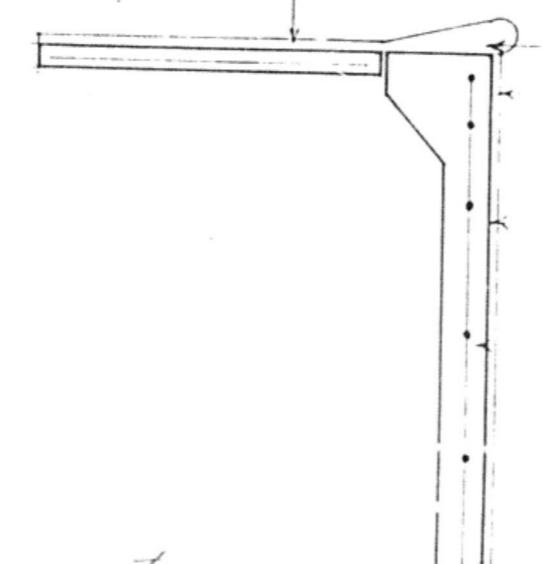
**rwsp details.**  
1:50

**SECTION**

NOTE: WATER NEED TO BE H.O. OF 20mm WITH MIN 25mm FIREHOLE PREVENT

- A. As specified in the Application Form, the following conditions shall apply:
  - (1) having of the application without the correct effect of any into DC system, being anther changes at substation.
  - (2) the top of foundation of any structure work shall be minimum depth of 0.230 metre below drainage level.
  - (3) showing no attachment over DC servitudes at DC underground services.
- B. Potorage levels are:
  - (1) to conform to the back of the constructed sidewalk.
  - (2) to be not less than the use of the following formula:  $FL = E + 0.150 m + D$  (where FL = frontage level, E = level at edge of horizontal road, and D = distance in metres between edge of road hardening and road reserve boundary).
- C. A concrete beam at the correct frontage level is to be provided at each entrance exit at the same grade as the kerb or road.
- D. No change in level over DC servitudes at DC underground services is permitted without the prior written approval of the City Engineer.

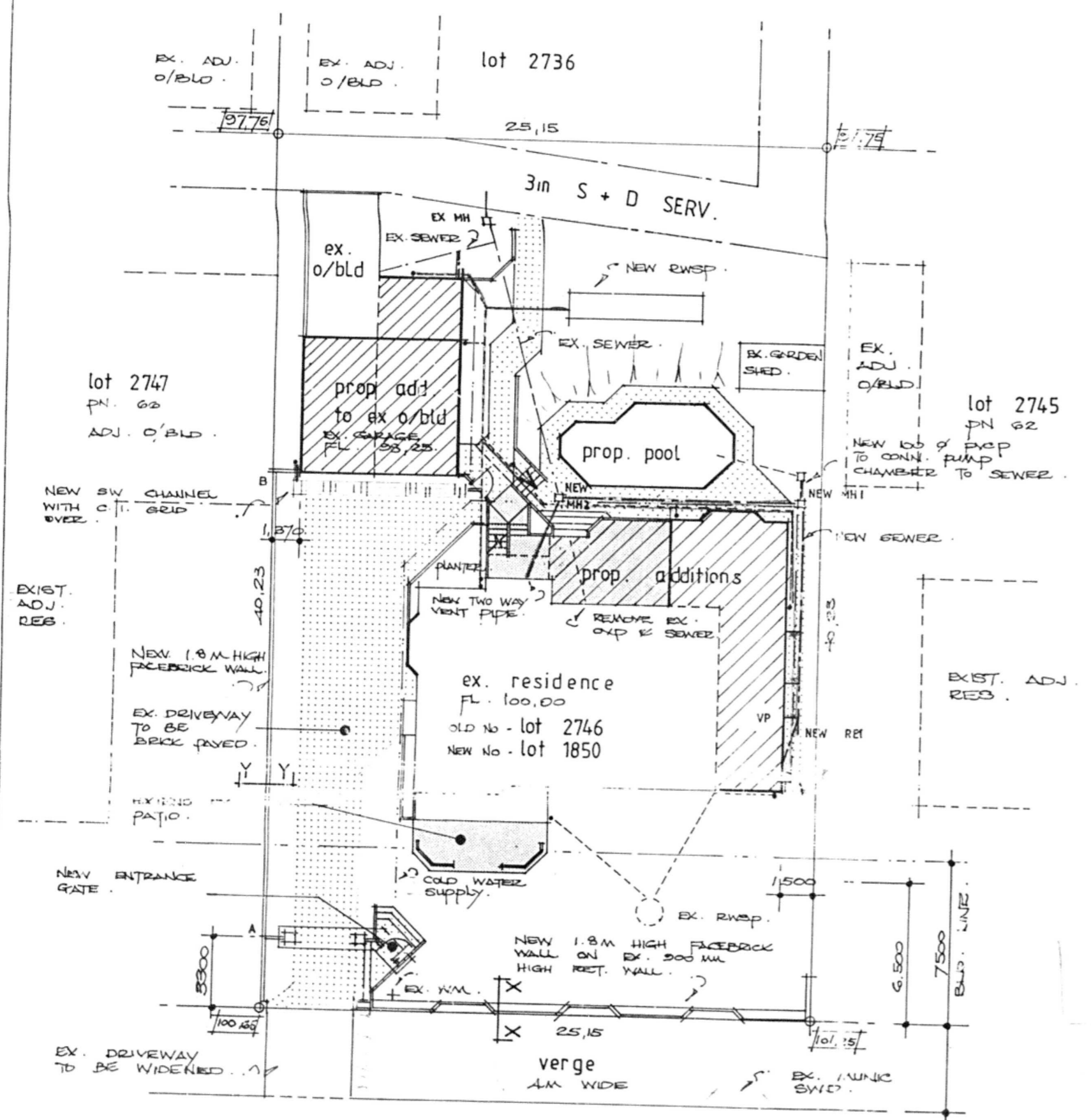
NOTE: SEE THIS PLAN OF HOUSE FOR POOL PLAN.



**detail section**

**notes:**

WASTE WATER VIA 100 MM PIP TO SEWER EXCEPT SOIL SPREAD OVER SITE. EARTH LEAKAGE PROTECTION TO BE FITTED TO ELECTRICAL SUPPLY. PRECAUTIONS TO BE TAKEN AGAINST FLOODING SEEPAGE & RAINWATER IN SUNKEN PUMP CHAMBER AND FILTER UNIT TO BE CONTROLLED. PLANT ARRANGEMENT & FIXING TO SUPPLY REQUIREMENTS. POOL WALLS TO ENG. SPEC.



**site plan**  
1:200

SHEET **1/3** COPY **3**  
**CITY OF DURBAN**  
 PLAN NUMBER  
**0789-04-93-2**  
 APPROVED: **R. A. MOORE**  
 EXECUTIVE DIRECTOR: PHYSICAL ENVIRONMENT SERVICE UNIT  
 DATE: **13/03/93**

**ELECTRICITY SERVICES**  
 Any increase in building operations...  
 1) Department of Electrical Engineering  
 2) Department of Water and Sanitation

**ORIGINAL**  
 TOWN PLANNING AUTHORITY  
**GRANTED NOT GRANTED**  
 1993-05-24

PROJECT  
**PROPOSED ADDITIONS and ALTERATIONS TO RESIDENCE**

SITE - NEW No  
**LOT 1850 DURBAN NORTH 64 CHELSEA DRIVE**

CLIENT  
**MRS J. L. MAFWICK**

DESIGN CONSULTANT  
**MRS R.B. JOSEPH**  
 44 FREDERICK AVE  
 MARLBOROUGH PARK  
 BLUFF  
 4052  
 tel. 466 3841

SCALE: 1:200, 1:50  
 DATE: FEB, 1993  
 DRAWN: A.B.J.  
 MJL  
 PLAN No 113/03