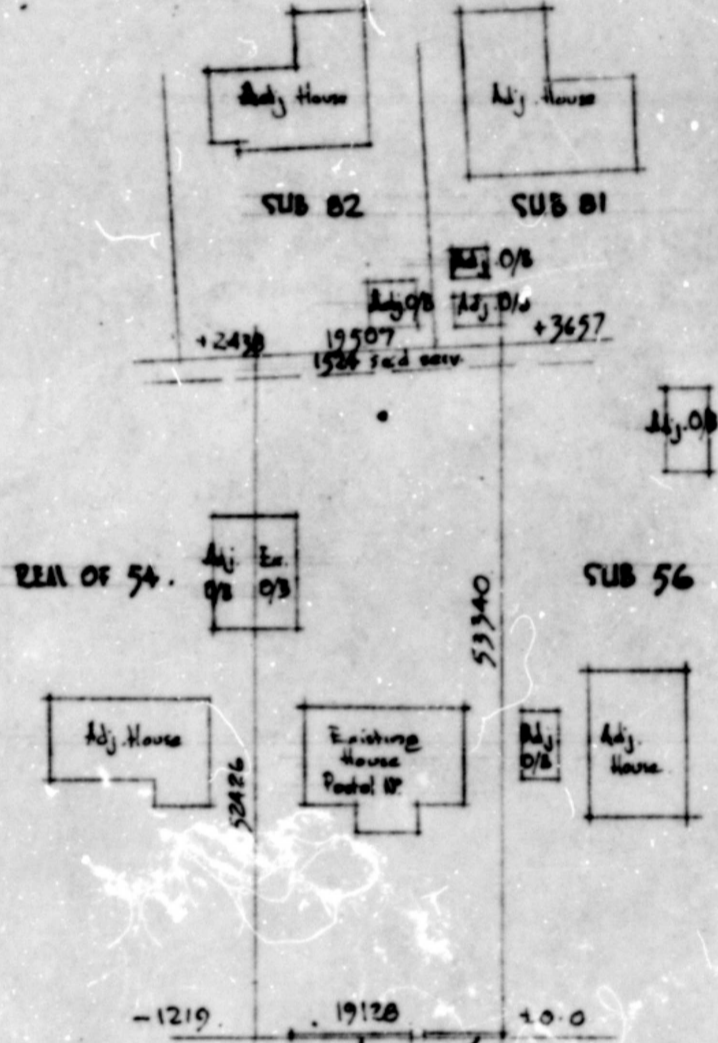


FIGURED DIMENSIONS TO BE TAKEN
DO NOT SCALE

WALLS NOT TO BE USED AS RETAINING WALLS UNLESS
OTHERWISE STATED

FOR USE DURBAN CORPORATION

DATE N^o: 250010



ANDORA ROAD.

SITE PLAN.
SUB 55 OF 13A. OF CLARK
WESTWORTH 860

FRONTAGE WORKS TOP OF FOUNDS TO BE BELOW ROAD LEVEL

SHEET 1/1	COPY 2
CITY OF DURBAN	
PLAN NO. 382/3/72	
APPROVED	
C. G. HANDS	18 APR 1972
CITY ENGINEER	<i>[Signature]</i>

200 Andora Rd.
P.C. per a.

FRONTAGE LEVEL REQUIREMENTS
TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS TO BE AT LEAST 8" BELOW THE LEVELS GIVEN BELOW. VEHICULAR AND PEDESTRIAN ENCLOSURES ON THE ROAD RESERVE BOUNDARY SHALL BE CONSTRUCTED ON THE SAME GRADE AS THE KERB OR ROAD OPPOSITE AND AT A LEVEL:

- (A) ABOVE NEAREST EXISTING KERB OPPOSITE
- (B) ABOVE EDGE LEVEL OF TARRED ROAD UNTARRED
- (C) ABOVE NEAREST EXISTING KERB OPPOSITE
- (D) TO CONFORM TO BACK OF EXISTING FOOTPATH
- (E) EXISTING ENTRANCE LEVELS IN ORDER

SCALES: 1 : 500
DRAWN: *[Signature]*

PROPOSED CONCRETE FENCE
FOR H.V. HAYES & S^o
200 ANDORA R^o BLUFF.
DATE: 16 . 3 . '72

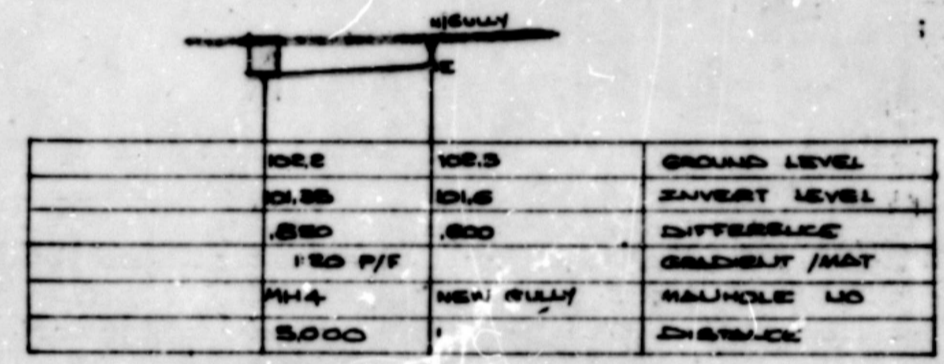
DURBAN CONCRETE FENCING (PTY). LTD.
32 BLAIR ROAD, PINETOWN
PHONE 79651 DRG. NO D. 661.

SHEET 1/1 COPY 3
CITY OF DURBAN
 PLAN NUMBER 606/1/80
 APPROVED 19 JAN 1981
 DATE
 E. S. MACLEOD
 CITY ENGINEER

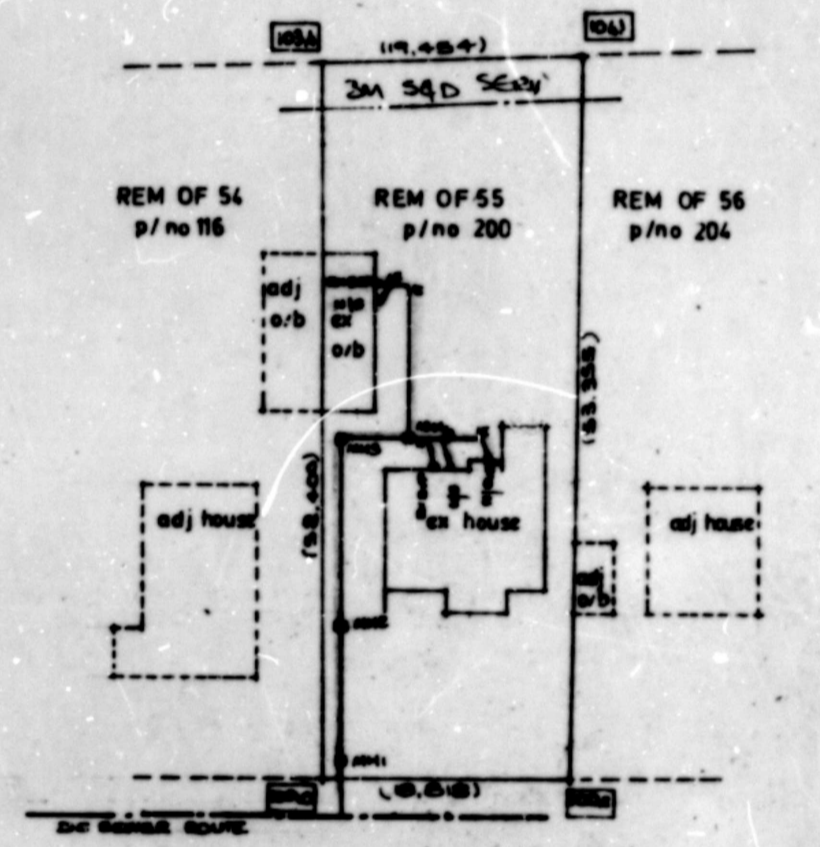
All existing waste drains, soil & vent pipes to conform to current By-Laws

NOTES
 • PLUMBER TO EXPOSE EXIST DC COIN JUNCTION AND CHECK LEVELS BEFORE COMMENCING WITH DRAINAGE EXCAVATION
 • ALL SEWERAGE WORK TO BE IN ACCORDANCE WITH LOCAL MUNICIPAL SEWERAGE BY-LAWS
 • COVER AT BOUNDARY TO BE MIN OF 610MM BELOW ROAD SURF.

E. S. Macleod
 4/1/81



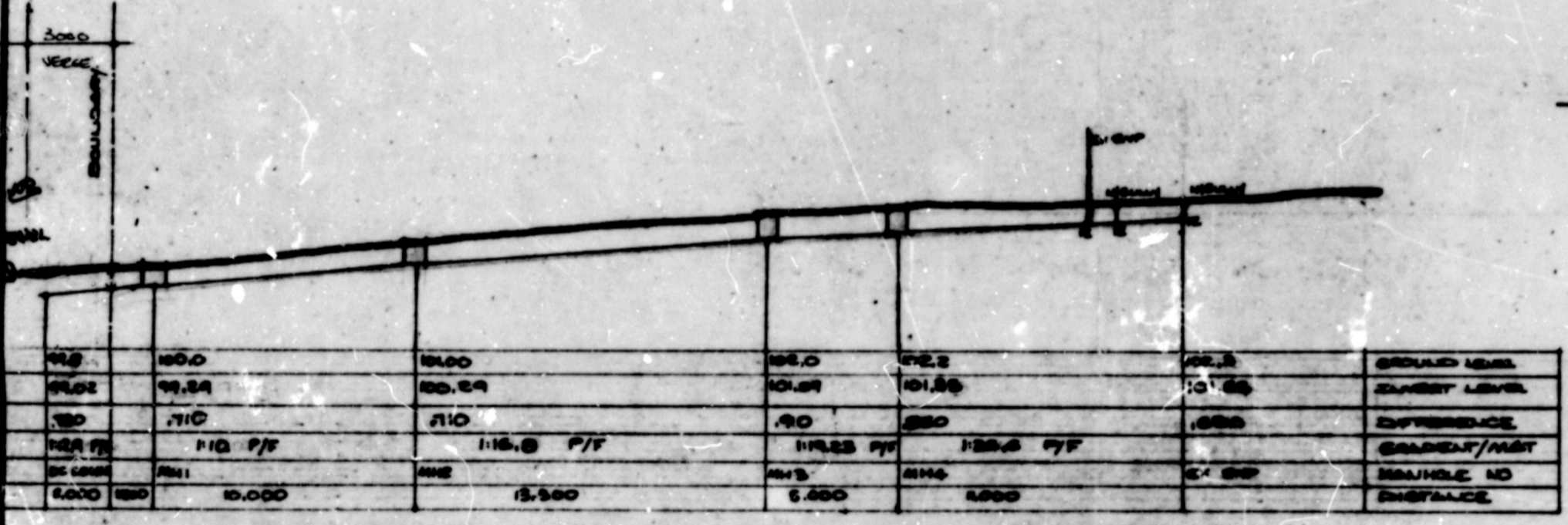
DRAINAGE SECTION scale 1:200



ANDORA ROAD 9m wide
SITE PLAN scale 1:500

200 ANDORA RD.
ORIGINAL AS BUILT
 R/S 4/2/81
 Contractor to construct suitable No. 150mm sewer and then apply to D.C. for connection to be installed prior to commencing any further drainage work. Once connection is laid, all drainage work to be graded to ensure entry to the connection as provided.

NOTES FOR SEWER
 Contractor to build boundary manhole first and apply to Municipality for connection first prior to commencing any drainage work.
 All work to conform to current drainage by-laws.
 Remove grease trap gullies and provide new gullies complete.
 Septic tanks to be desludged and back-filled.
 Stormwater not to discharge into sewer mains.
 Beacons to be exposed at the bottom of the property to municipal sewer.
 100mm municipal sewer connection to be provided/provided to suit owner.
 Plumber to expose municipal mains and check levels.
 Inspection eyes to be provided at junctions.
 All fittings to connect to one pipe system.
 All existing drainage to be retained is subject to a test and defects must be made good prior to commencing any new work.
 No extras will be considered unless prior quotation has been agreed to and signed for.
 All queries to be referred to the consultant.



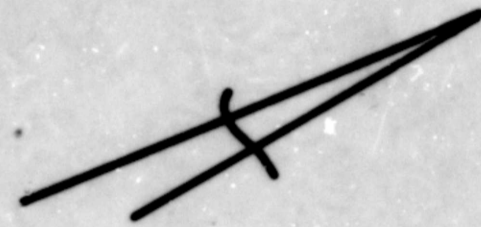
DRAINAGE SECTION scale 1:200

Roger & Associates
Plumbers

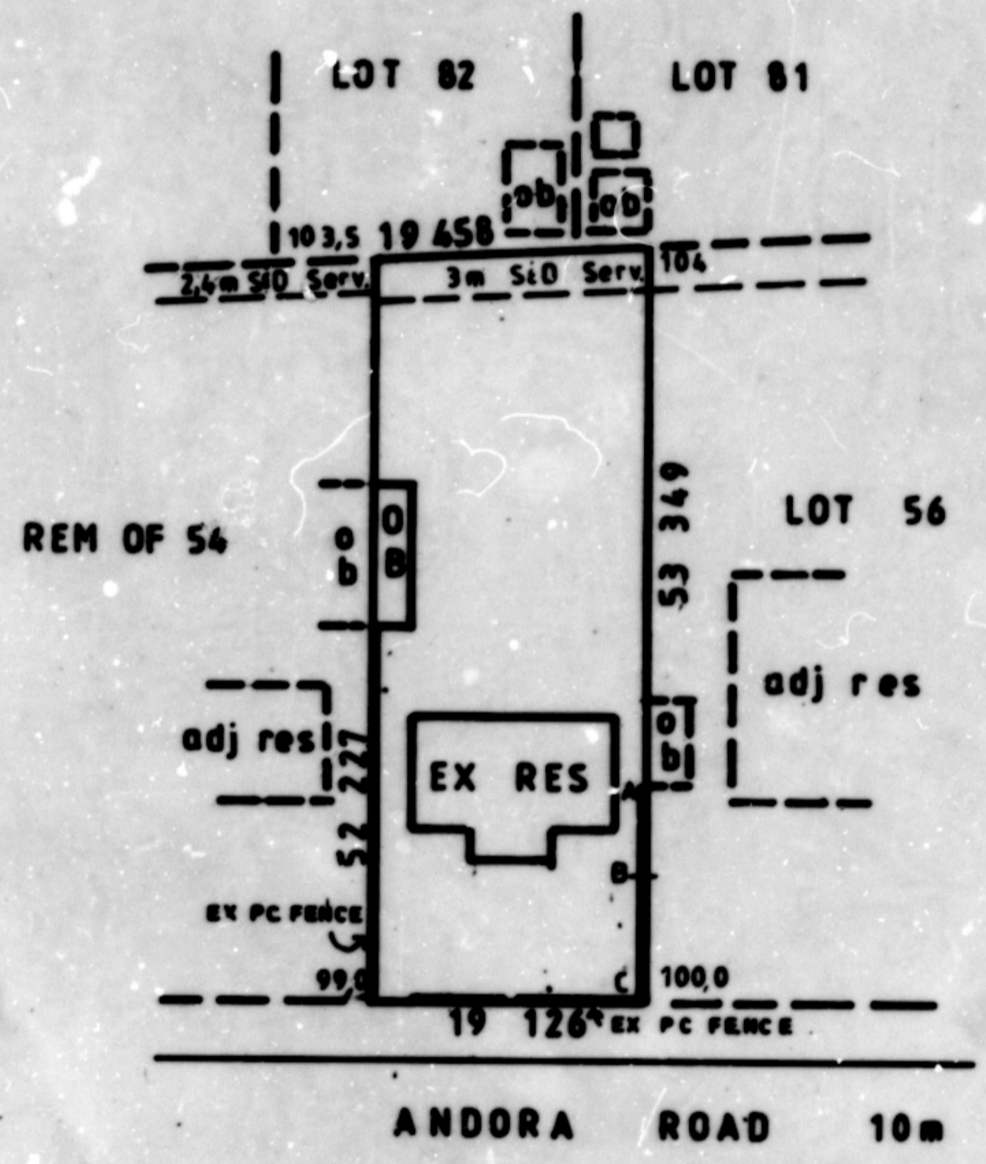
63 LITTLETON AVENUE RESERVOIR HILLS
 TEL 82 1945

DRAWN SS RAJAN
 DATE OCT '80
 SCALE 1:200 1:500

PROPOSED DRAINAGE LAYOUT FOR MR HW HAYES AT 200 ANDORA RD ON SUB 55 OF 134 OF BLOCK CLARK OF WENTWORTH 860



SHEET	1/1	COPY	1
CITY OF DURBAN			
PLAN No. <u>771/11/82</u>			
APPROVED			
DATE <u>10th 12. 02</u>			
BY <u>D.G. MACLEOD</u>			
FOR <u>[Signature]</u>			



SOLID BRICK PATTERN
 A B 6m x 1.5m HIGH
 B C 8.8m x 1.2m "

SITE PLAN

LOT 55 OF 134 OF CLARK WENTWORTH N° 860.

ORIGINAL
KAD
AS BUILT

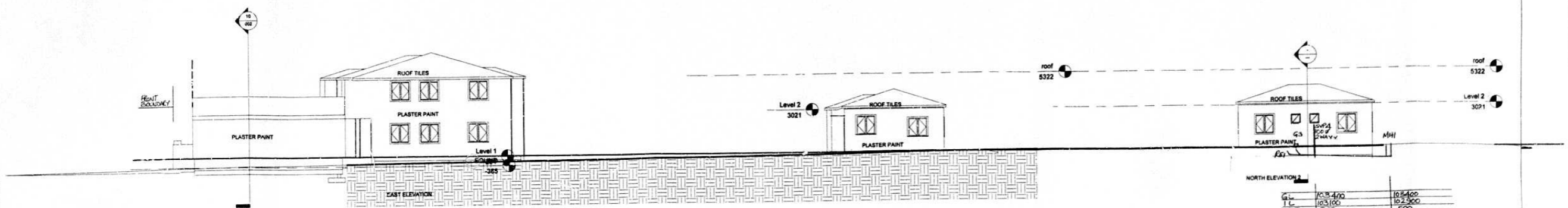
PRECAST CONCRETE FENCES ON BOUNDARIES
 BOUNDARY BEACONS TO BE EXPOSED AND POINTED OUT TO THE DISTRICT BUILDING INSPECTOR BY THE APPLICANT BEFORE ERECTION OF THE FENCE IS COMMENCED. THE BEACONS SHALL REMAIN EXPOSED AFTER COMPLETION OF THE WORK FOR INSPECTION.

- NOTES :-
- FAIRFACE TO FACE STREET.
 - SERVITUDES: WHERE APPLICABLE, FENCE TO SPAN SERV. (BRIDGED) & NOT TO ENCR OACH MORE THAN 300 mm.
 - FRONTAGE WORKS: TOP OF FOUNDS TO BE BELOW ROAD LEVEL WHERE POSSIBLE.
 - USE FIGURED DIMENSIONS ONLY.
 - P.C. FENCE NOT TO RETAIN.
 - FENCE NOT TO ENCR OACH OVER BOUNDARY.
 - FENCE TO BE ERECTED ON NATURAL GROUND.

PROPOSED CONCRETE FENCE
 for MRS HAYES
 200 ANDORA ROAD BLUFF

MALCOLM. N. WASSUNG
 M. S. A. I. B. D
 8 SHELLEY PLACE, WESTVILLE
 PH 857459

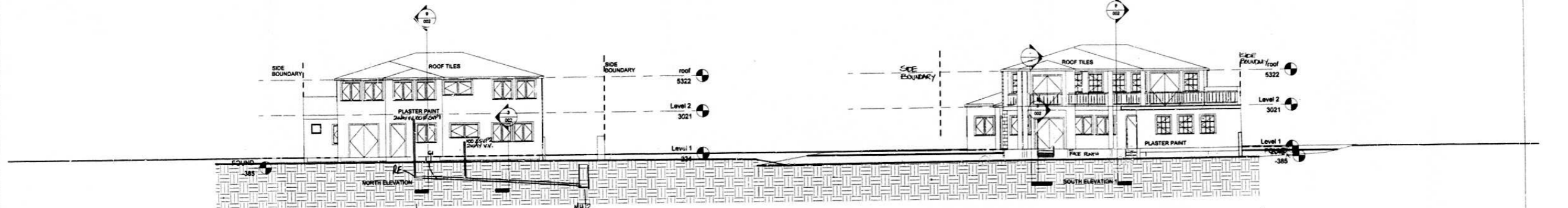
DRAWN: <i>V. Reed</i>	N°	D
DATE: 23/11/02		4832
SCALE: 1:500		



NORTH ELEVATION

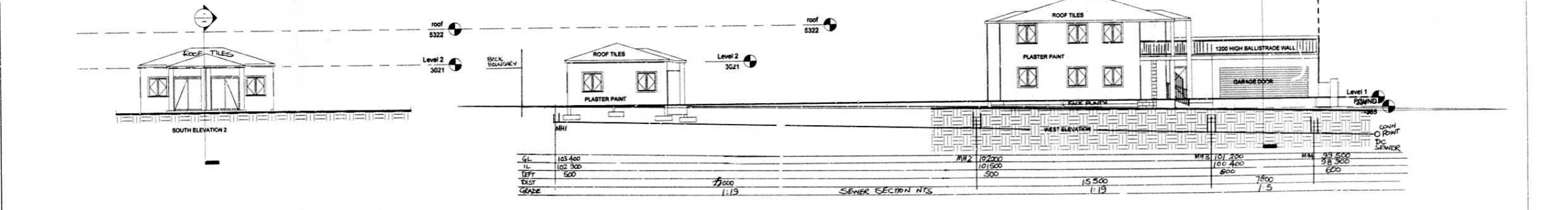
GL	103 400	103 400
TL	102 300	102 300
DEPT	500	500
DIST	5000	5000
GRADE	1 2 5	1 2 5

SEWER SECTION
NTS



NORTH ELEVATION

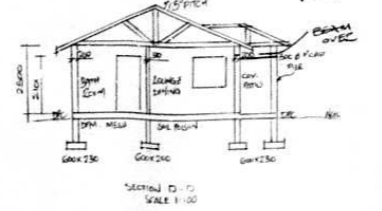
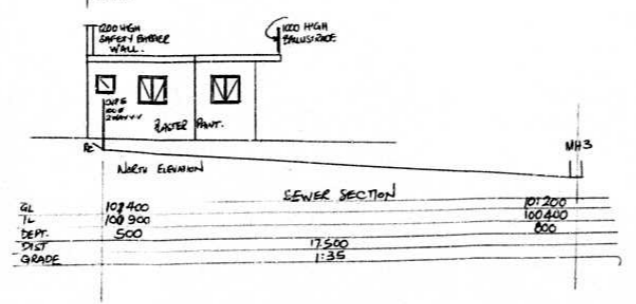
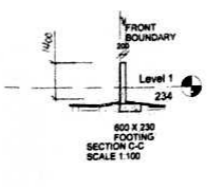
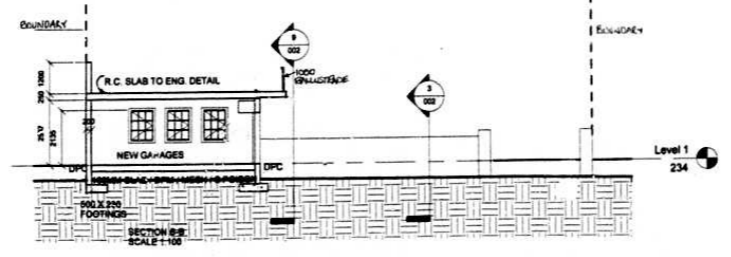
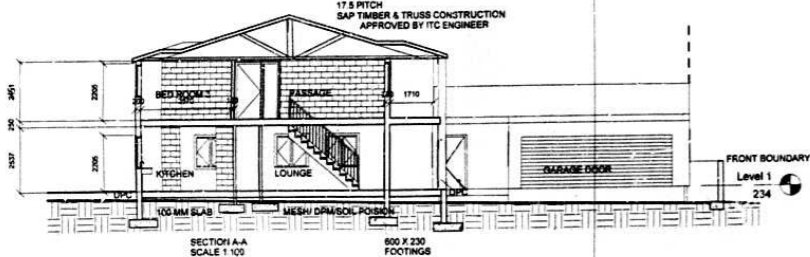
GL	102 500	102 500
TL	101 500	101 500
DEPT	400	400
DIST	11 000	11 000
GRADE	1 18	1 18



WEST ELEVATION

GL	103 400	102 200	101 200	99 500
TL	102 300	101 500	100 400	98 300
DEPT	500	500	500	500
DIST	7 000	15 500	7 800	600
GRADE	1:19	1:19	1:5	1:5

SEWER SECTION NTS



REVISIONS

NO.	DATE	DESCRIPTION
1	13 OCT 07	ISSUED FOR PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	13 OCT 07	ISSUED FOR PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	13 OCT 07	ISSUED FOR PERMIT

Owner: Proposed Additional level to existing dwelling, Garages & ancillary unit for: Mrs. S Gounden at no. 200 Andora Road, Bluff
 CAD Description: Ref. 65 of REF 1084 Ventworth
 Rate no.: 2500 1055
 Telephone: 031 467 9030
 ID no.: 0312 05 017 9087
 Sign: *[Signature]*
AUTHOR: BKM CONSULTING
375 SILVERGLEH DRIVE
CHATSWORTH 4092
TEL: 031 2402189
 SIGN: *[Signature]*
 REG No D2321
 Scale 1:100

2500 Andora Rd

PROJECT NO: 14.02
 19 DEC 2011
 19 DEC 2011

ELECTRICITY SERVICES
 Any person undertaking building operations in accordance with this plan is required to obtain approval from the Electrical Inspector (District Office Electricity) in the vicinity of any electrical services and connections in the vicinity of the proposed works. 2.000 Instruments regarding Substation, Meter Room, and Cable Tray.

ELECTRICITY SERVICES
 Any person undertaking building operations in accordance with this plan is required to obtain approval from the Electrical Inspector (District Office Electricity) in the vicinity of any electrical services and connections in the vicinity of the proposed works. 2.000 Instruments regarding Substation, Meter Room, and Cable Tray.

ELECTRICITY SERVICES
 Any person undertaking building operations in accordance with this plan is required to obtain approval from the Electrical Inspector (District Office Electricity) in the vicinity of any electrical services and connections in the vicinity of the proposed works. 2.000 Instruments regarding Substation, Meter Room, and Cable Tray.

ENGINEERS DETAILS REQUIRED

ANTIGUARD D.P.C. VERTICAL D.P.C. SOIL POSITIONING REQUIRED

ROOF STRUCTURE TO BE TO TEMPORARY RULES OR TO NATIONAL DESIGN COMPLIANT WITH:

DESIGNED TO SATISFY RULE 08A

Any construction work undertaken by the contractor shall be undertaken in accordance with the Code of Practice for the Construction of Buildings in New Zealand. The contractor shall be responsible for obtaining all necessary consents and approvals from the Council in accordance with the Resource Management Act 1976 and the Building Act 2004.

BOUNDARY REACHING
 PRIOR TO EXPOSURE OF BOUNDARY REACHING BEFORE STARTING THIS WORK IS AN OFFENCE

OWNER'S APPROVAL
 NAME: Markie Noor
 ADDRESS: 148 Andora Rd
 BLUFF
 PHONE: 031-2421700
 DATE: 11/12/11

OWNER'S APPROVAL
 NAME: Kristian Clark
 ADDRESS: 47 Hilly Road
 BLUFF
 PHONE: (031) 2427216
 DATE: 11/12/11

OWNER'S APPROVAL
 NAME: Andrew Stevens
 ADDRESS: 118 Andora Rd
 BLUFF
 PHONE: 031-2421700
 DATE: 11/12/11

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

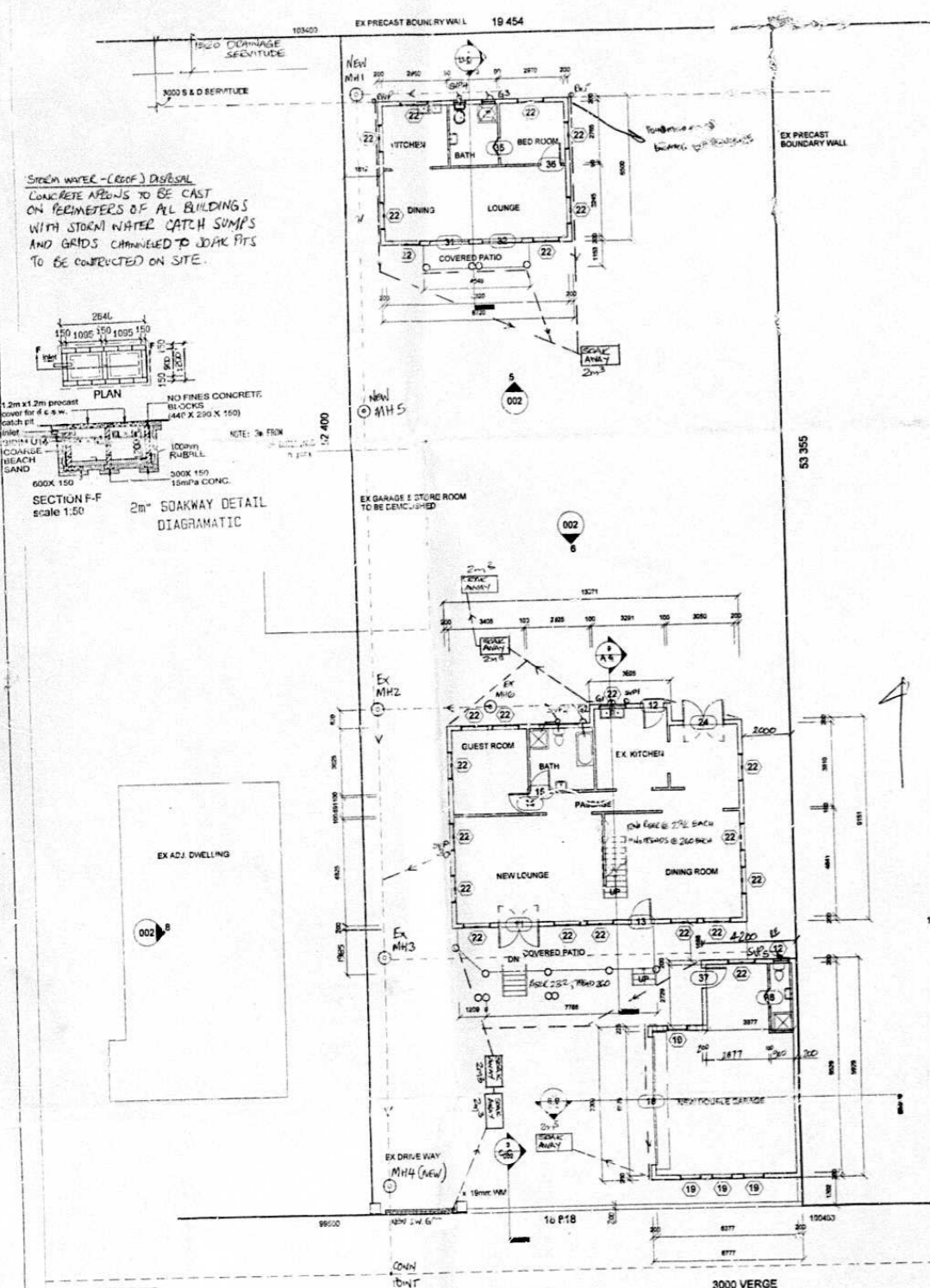
OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

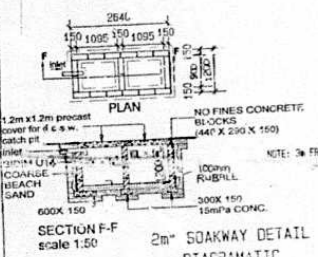
AUTHOR: BKM CONSULTING
 375 SILVERGLEN DRIVE
 CHATSWORTH 4092
 TEL: 031 2402189

SIGN: [Signature]

Reg No D2321
 Scale 1:100



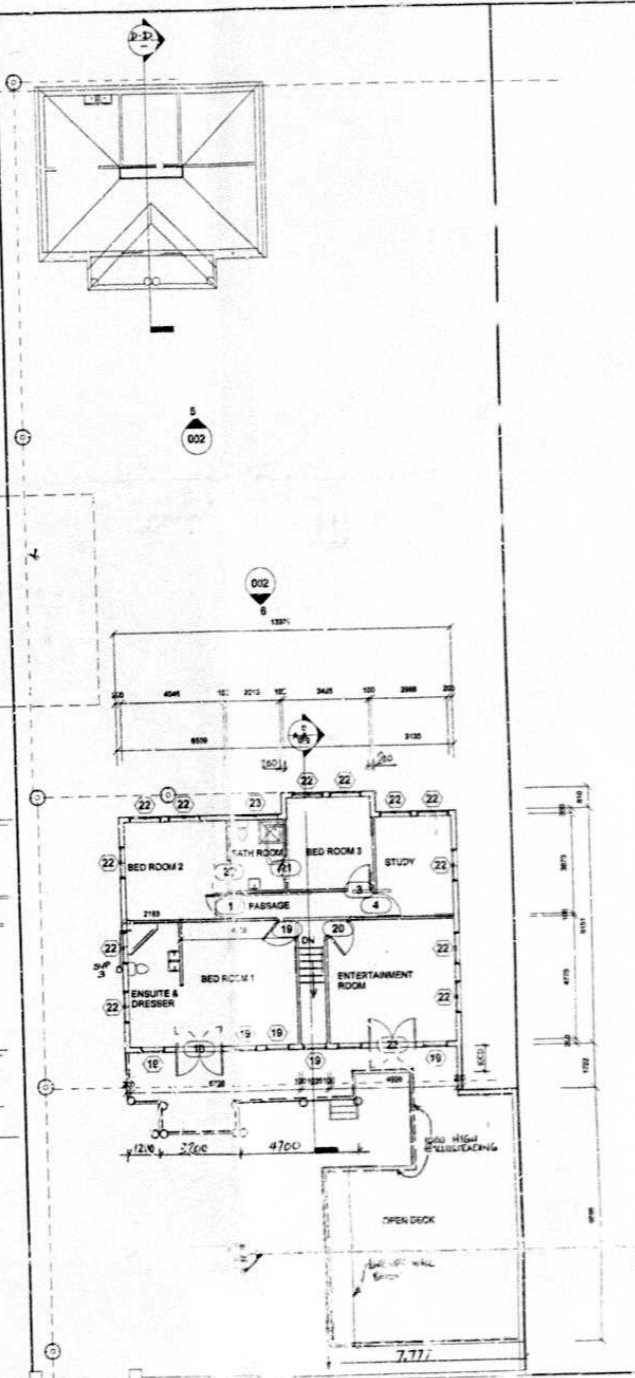
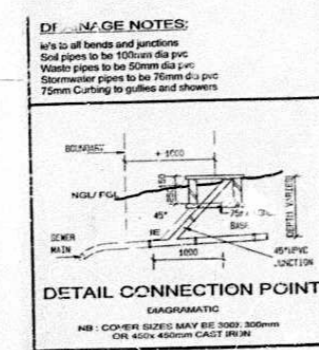
STORM WATER (ROOF) DISPOSAL
 CONCRETE APEDS TO BE CAST ON BEHINDERS OF ALL BUILDINGS WITH STORM WATER CATCH SUMPS AND GRIDS CHANNELLED TO SOAK PITS TO BE CONSTRUCTED ON SITE.



SCHEDULE OF AREAS
 SITE: 995.05 m²

EXIST HOUSE	152.61 m ²
EXIST GARAGE (STORE)	31.96 m ² [TO BE DEMOLISHED]
TOTAL EX. COVERAGE	184.57 m ²
REF. COVERAGE	
FIRST FLOOR	142.21 m ²
ARC UNIT	62.27 m ²
GARAGE	59.74 m ²
OPEN DECK	66.74 m ²
TOTAL REF. COVERAGE	330.96 m ²
LESS EX. GARAGE	31.96 m ²
REF. ADDITIONAL COVERAGE	299 m ²

PROPOSED TOTAL SITE COVERAGE = 481.61 m²



FOOTING NOTES
 ALL WORK TO COMPLY WITH NBR & LOCAL AUTHORITY BY LAWS. THE CONTRACTOR IS TO CORRECTLY FLAG ALL REACHING PRIOR TO SETTING OUT. ALL DIMENSIONS TO BE TO FACE UNLESS OTHERWISE SPECIFIED. EXCAVATIONS TO BE TAKEN WITH EXCAVATION IN THE VICINITY OF CABLES & SERVICES ON THE SITE PLAN.

FLOOR & FOUNDATION NOTES
 100mm CONCRETE SURFACE BED TO BE REINFORCED WITH APPROVED REIN. & 100mm SAND. ALL FLOOR AREAS TO BE TREATED WITH PVP SOLUTION. ANT GROUND & DPT WHERE APPLICABLE SERVICES TO BE PROTECTED PRIOR TO EXCAVATION. FOUNDATIONS TO BE TO A MINIMUM OF 100mm AWAY FROM ALL SERVICES & NOT TO ENCROACH THEREON.

WALL NOTES
 ALL EXTER. WALLS IN EXPOSED SITUATION SHALL BE BACKED. EXTERNAL WALLS IN WET AREAS SHALL BE REINFORCED WITH APPROVED REIN. & BRICKWORK EVERY SECOND COURSE. A MINIMUM OF TWO VERGINS PROOF ADVENTS TO BE USED PER ROOM. CAST LINTOLS ABOVE ALL OPENINGS.

ROOF NOTES
 ROOF TILES ON 8x7.5 BATTENS ON 200x40x40x40 DRAIN LATH AS WATERPROOFING MEMBRANE ON 38x38x15 TRUSSES @ 800mm CENTRE TO CENTRE. ROOF TIMBERS TO BE SEC. BELY ANCHORED TO SUPPORTING WALLS WITH GALVANIZED HOOPPIRONS TIED INTO WALLS NOT LESS THAN 100mm BELOW WALLPLATE. 200x40x40x40 ASBESTOS FASCIA & BARGE BOARDS.

WINDOWS & DOORS
 ALL WINDOWS & EXTERNAL DOORS TO BE SABS ALUMINIUM (INTERNAL ANODIZED) / MINORIT GLAZED WITH APPROVED SAFETY GLASS IN ACCORDANCE WITH THE NBR.

ALL INTERNAL DOORS TO BE HOLLOW CORE PC SELECTIVE PAINT.

SKINNING & BRICKWORK
 CLOSE COURSE CLAY TO ALL WATER CLOSETS ALL WBS TO BE POSITIONED ON MATCHING PROFILES. TIES TO BE PROVIDED AT ALL BIRDS & JUNCTIONS. ALL PLUMBING TO COMPLY WITH LOCAL AUTHORITY STANDARDS. NO WORK IS TO BE COVERED PRIOR TO INSPECTION.

SOAKWAYS TO BE LAYED EVERY 30m OF ROOVED AND UNROOVED AREA

OWNER'S APPROVAL
 NAME: Markie Noor
 ADDRESS: 148 Andora Rd
 BLUFF
 PHONE: 031-2421700
 DATE: 11/12/11

OWNER'S APPROVAL
 NAME: Kristian Clark
 ADDRESS: 47 Hilly Road
 BLUFF
 PHONE: (031) 2427216
 DATE: 11/12/11

OWNER'S APPROVAL
 NAME: Andrew Stevens
 ADDRESS: 118 Andora Rd
 BLUFF
 PHONE: 031-2421700
 DATE: 11/12/11

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]

OWNER'S APPROVAL
 NAME: [Signature]
 ADDRESS: [Address]
 BLUFF
 PHONE: [Phone]
 DATE: [Date]