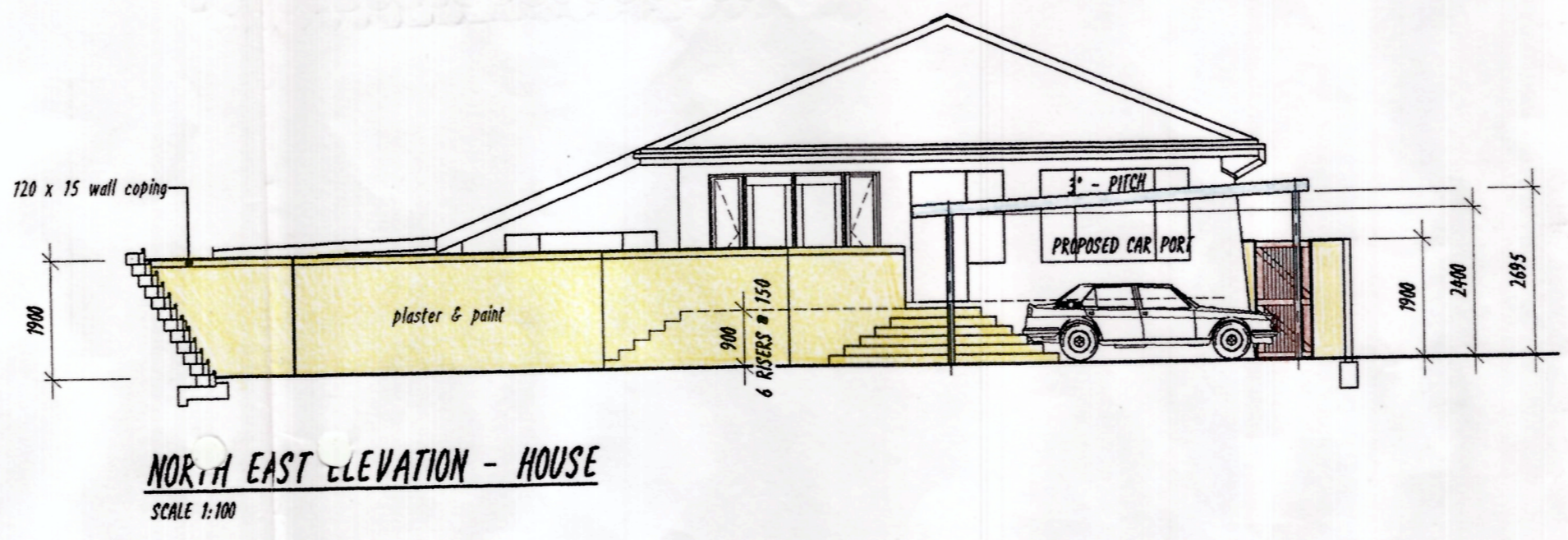
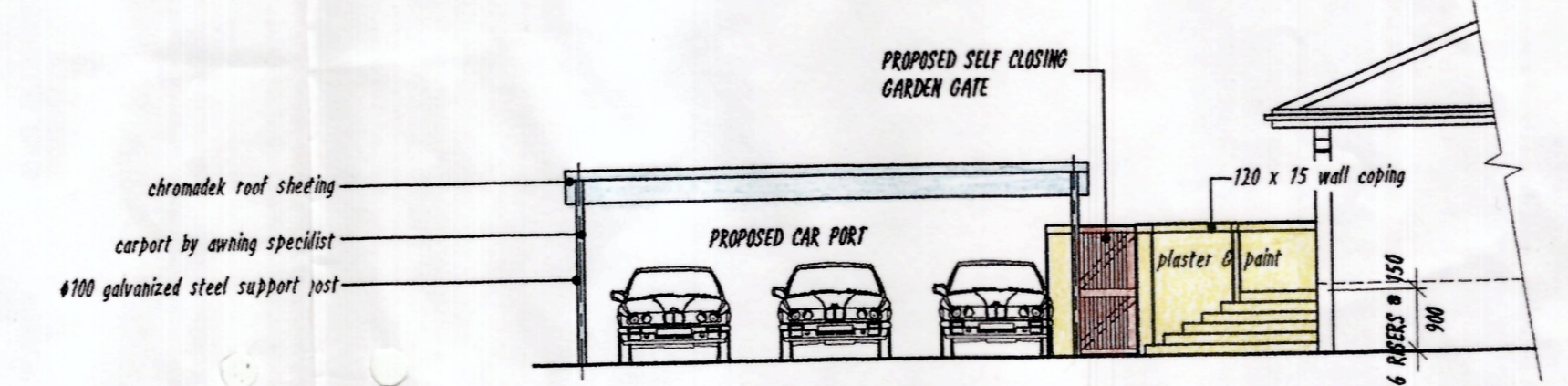


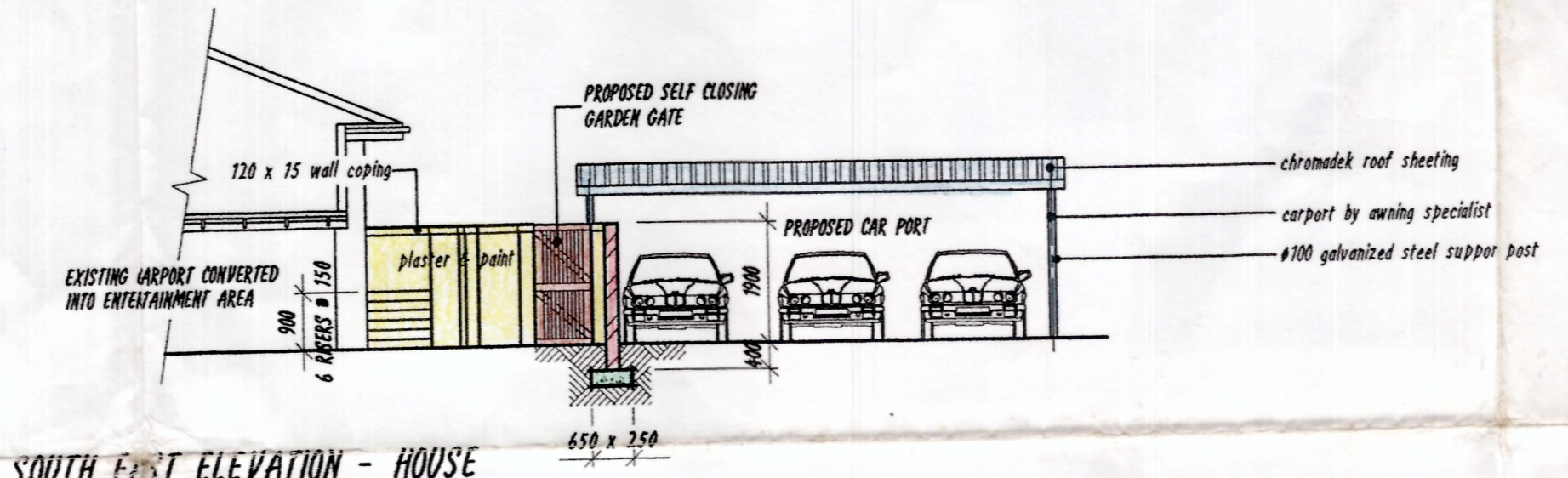
PLAN & SITE PLAN



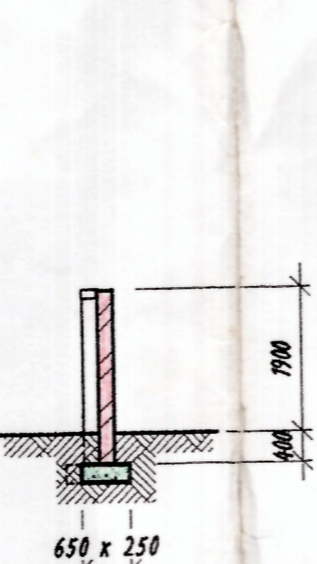
NORTH EAST ELEVATION - HOUSE



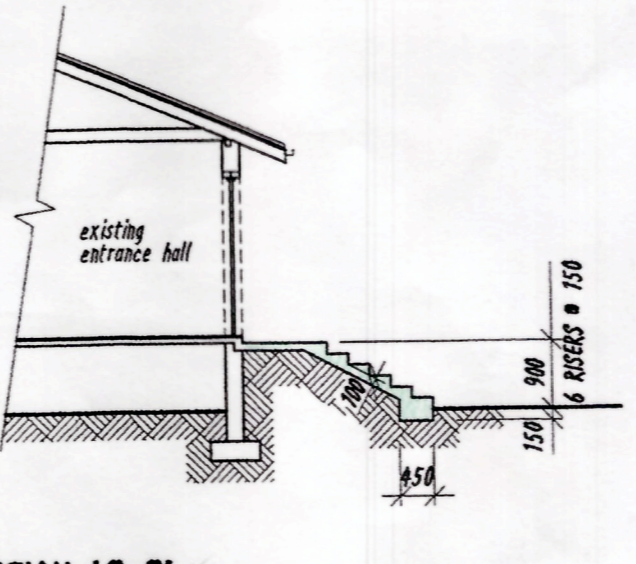
NORTH WEST ELEVATION - HOUSE



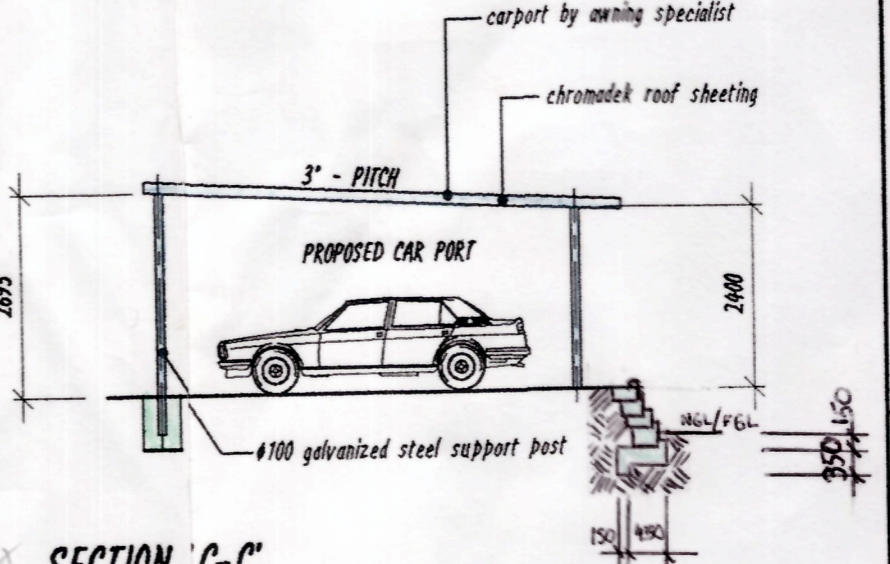
SOUTH EAST ELEVATION - HOUSE



SECTION 'A-A'



SECTION 'B-B'



SECTION 'C-C'

**ROOF NOTES:**  
CORRUGATED LONG SPAN SHEETING AT 3° SLOPE ON 76 x 38 PURLINS AT 1150 CENTRES ON 150 x 38 RAFTERS.

**PLUMBERS NOTES:**  
MIN FALL TO DRAINS TO BE 1:40  
MIN COVER TO DRAINS TO BE 450mm  
ALL DRAIN PIPES AND FITTINGS TO BE SABS APPROVED  
ALL WASTE PIPES TO BE 50mm PVC PROVIDE CE'S TO ENDS OF RUNS (DRAINS) AS PER DRAWING  
PROVIDE IE'S TO ALL JUNCTIONS AND BENDS AS PER DRAWING  
PROVIDE V'S TO END OF RUN & AS PER DRAWING  
ALL STORMWATER TO BE CHANNIELED TO SOAKPIT OR AS PER DETAILS ON DRAWING.

**BUILDERS NOTES:**  
ALL FOUNDATIONS TO BE MIN 650x200 UNLESS OTHERWISE NOTED.  
25 TON SCREED ON 75mm 100Pa CONG & MESH SLAB ON PVC MEMBRANE ON HARDWARE COMPACTED BACKFILL.  
GUIDE "BRICK GRIP" D.P.C. TO BE PROVIDED OVER SLABS, UNDER CILLS AND PARAPETS.  
GLAZING TO COMPLY WITH PART N OF SABS 0400 1990  
ALL WORK TO COMPLY WITH SABS 0400 OF 1990 N.B. & LOCAL AUTHORITIES BYLAWS.  
SOIL POSITIONING TO SABS 0400 1990 PART F  
2 WINDOWS OVER ALL DOORS AND WINDOWS SAFETY GLAZING TO COMPLY WITH N.B.3 OF N.B.R. BALUSTRADE TO COMPLY WITH D.D.2 OF N.B.R. ALL PROPOSED WORK TO MATCH THE EXISTING & COMPLY WITH MAT.B.DREGS. AND S.A.B.S. 082  
TIMBER TO BE TREATED IN ACCORDANCE WITH S.A.B.S. 05 AND COMPLY WITH THE RELEVANT REQUIREMENT OF S.A.B.S. 1208 (4.7.1)  
BRICKWORK EVERY THIRD COURSE  
2 COURSES OF BRICKWORK TO BE REINFORCED WITH BRICKFORCE IN SOLID CEMENT MORTAR JOINTS BELOW WALLPLATE LEVEL, ABOVE WINDOW HEAD LEVEL AND BELOW WINDOW CILL LEVEL.  
WALLS TO COMPLY WITH PART K OF S.A.B.S. 0400-1990 STAIRS & BALUSTRADE TO COMPLY WITH PART M OF S.A.B.S. 0400-1990  
LIGHTING & VENTILATION TO COMPLY WITH PART N OF S.A.B.S. 0400-1990  
DEWATERING WORK IN ACCORDANCE OF PART E OF S.A.B.S. 0400-1990  
FLASHING TO COMPLY WITH PART LL 5.2 OF S.A.B.S. 0400-1990  
FLOORS IN ACCORDANCE OF PART J OF S.A.B.S. 0400-1990

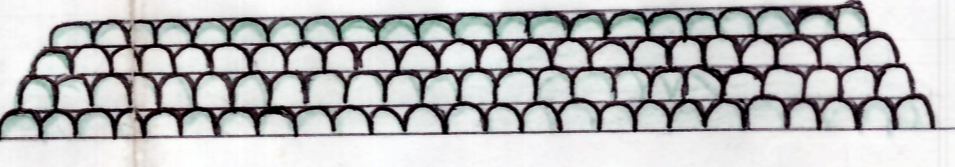
**NOTE:** MORE PROTECTION BARRIER TO BE PROVIDED TO THE TOP OF RETAINING WALLS WHERE THE DIFFERENCE IN GROUND LEVELS EXCEED ONE METRE

**ROOF NOTES:**  
CORRUGATED LONG SPAN SHEETING AT 3° SLOPE ON 76 x 38 PURLINS AT 1150 CENTRES ON 150 x 38 RAFTERS.

**PLUMBERS NOTES:**  
MIN FALL TO DRAINS TO BE 1:40  
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FLOORS IN ACCORDANCE OF PART J OF S.A.B.S. 0400-1990

NORTH WEST ELEVATION - LOFFELSTEIN WALL



SOUTHEAST ELEVATION - LOFFELSTEIN WALL

SUBMISSIONS  
SITEPLAN CHECKED  
23 SEP 2005  
Signature: \_\_\_\_\_

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE BB 4"

**BOUNDARY BEACONS**  
FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH N.B.3 AND D.D.2.4 OF SABS 0400.

SHEET 1 / 1 COPY 1

ETHEKWINI MUNICIPALITY  
CENTRAL  
Plan No: 349 09 05 1

APPROVED in terms of The National Building Regulations and Building Standards Act Number 103 of 1977  
22 DEC 2005  
Local Authority  
This Plan is approved on the basis of the information shown hereon. Attention is drawn to attached documentation.

**ENGINEERS DETAILS REQUIRED**

Any construction work undertaken by the owner which encroaches upon a Council servitude is undertaken entirely at owner's risk. Any consent by the Council thereto shall not be deemed to be a waiver of any of the Council's rights in respect of such servitude.

**ELECTRICITY SERVICES**  
Any person undertaking erection of a structure in accordance with this plan is to ensure that:

- The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142-1987, as amended, and the Occupational Health and Safety Act 85/1995.
- A certificate of Completion and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source.
- Adequate earthing to the satisfaction of the Director, Transmission, DME is provided.

**ELECTRICITY SERVICES**  
Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Metro Electricity:

- The location of any electrical services and servitudes in the vicinity of the proposed works.
- DME requirements regarding Substation, Meter rooms, and Cable ducts.

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

ADDRESS	NAME	TEL. No	SIGNATURE
190 Station Ridge Rd Durban North	NATHALIE LESHWAR	564 7201	N. Leshwar
194 Station Ridge Road	Susan Auer	033 635 7812	Stull

HYPERBASE SYSTEMS CC OK 04/12016/23 T/A  
**Ian Whitaker**  
Drafting Designs  
COMPUTER AIDED DRAWINGS  
8 UP THE HILL - SUNNINGDALE  
TEL: 031-562 0310 OR 083-303 8863

**PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING FOR MR. D. FREEMAN AT 192 STATION RIDGE ROAD DURBAN NORTH ON REM OF PORTION 4 OF ERF. 573 DUIKERFONTEIN RATE No. 83310072 TEL. 564.87.83...**

SHEET ONE OF ONE

SCALE: 1:100 & 1:250 DATE: 25-08-2005

AUTHOR'S SIGNATURE: \_\_\_\_\_  
OWNER'S SIGNATURE: \_\_\_\_\_

**SITE DATA**

SITE AREA	- 1012,00 m <sup>2</sup>
PERMISSIBLE F.A.R. 0,80	- 809,60 m <sup>2</sup>
PERMISSIBLE COVERAGE 40% ZONE	- 404,80 m <sup>2</sup>
SPECIAL RESIDENTIAL 650	- 2 STORES
HEIGHT RESTRICTION	FRONT - 6m
BUILDING LINES	BACK - 5m
	SIDES - 2m & 3m

**SCHEDULE**

EXISTING F.A.R.	- 283,49 m <sup>2</sup>
EXISTING COVERAGE	- 283,49 m <sup>2</sup>
PROPOSED F.A.R.	- 40,43 m <sup>2</sup>
PROPOSED COVERAGE	- 40,43 m <sup>2</sup>
TOTAL F.A.R.	- 323,92 m <sup>2</sup>
TOTAL COVERAGE	- 323,92 m <sup>2</sup>

**ADDITIONAL DATA**

EXISTING HOUSE	- 211,19 m <sup>2</sup>
EXISTING CAR PORT	- 24,64 m <sup>2</sup>
EXISTING OUTBUILDING	- 47,64 m <sup>2</sup>
PROPOSED CAR PORT	- 40,43 m <sup>2</sup>