

250 Andora Rd

PROJECT NO: 14.02
 19 DEC 2011
 SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE

ELECTRICITY SERVICES
 Any person undertaking building operations in accordance with this plan is required to ensure that the Electrical Worker (Electrician) must be qualified to the satisfaction of the Council in accordance with the Electricity Act 1988 and the Electricity Regulations 1988.

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ENGINEERS DETAILS REQUIRED

VALUATED MATERIALS, FINISHES AND OPENINGS TO BE PROVIDED WITH VALUATION OF 10% OF THE TOTAL VALUE OF THE WORK

ANTIGARD D.P.C. VERTICAL D.P.C. SOIL POSITIONING REQUIRED

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO NATIONAL DESIGN COMPLIANT WITH "SEEMED TO SATISFY RULE 90"

Any construction work undertaken by the contractor shall be undertaken in accordance with the Building Act 1984 and the Building Regulations 1984. The contractor shall be responsible for obtaining all necessary permits and approvals from the Council.

BOUNDARY REACHING PRIORS TO EXPOSURE OF THIS BOUNDARY REACHING BEFORE STARTING THIS WORK IS AN OFFENCE

OWNER'S DECLARATION
 I, the undersigned, being the owner of the land shown on the plan, hereby declare that the information provided in this plan is true and correct to the best of my knowledge and belief.

ALL GLAZING TO COMPLY WITH THE BUILDING REGULATIONS 1984 AND THE BUILDING ACT 1984.

Owner:
 Proposed Additional level to existing dwelling,
 Garage & ancillary unit for Mrs. S Gounden
 at no. 250 Andora Road, Bluff
 CAD Description: Sect. 95 of Act 1984 Amendment

Rate no.: 2500 1055

Telephone: 031 4679030

ID no.: 631205 017 9087

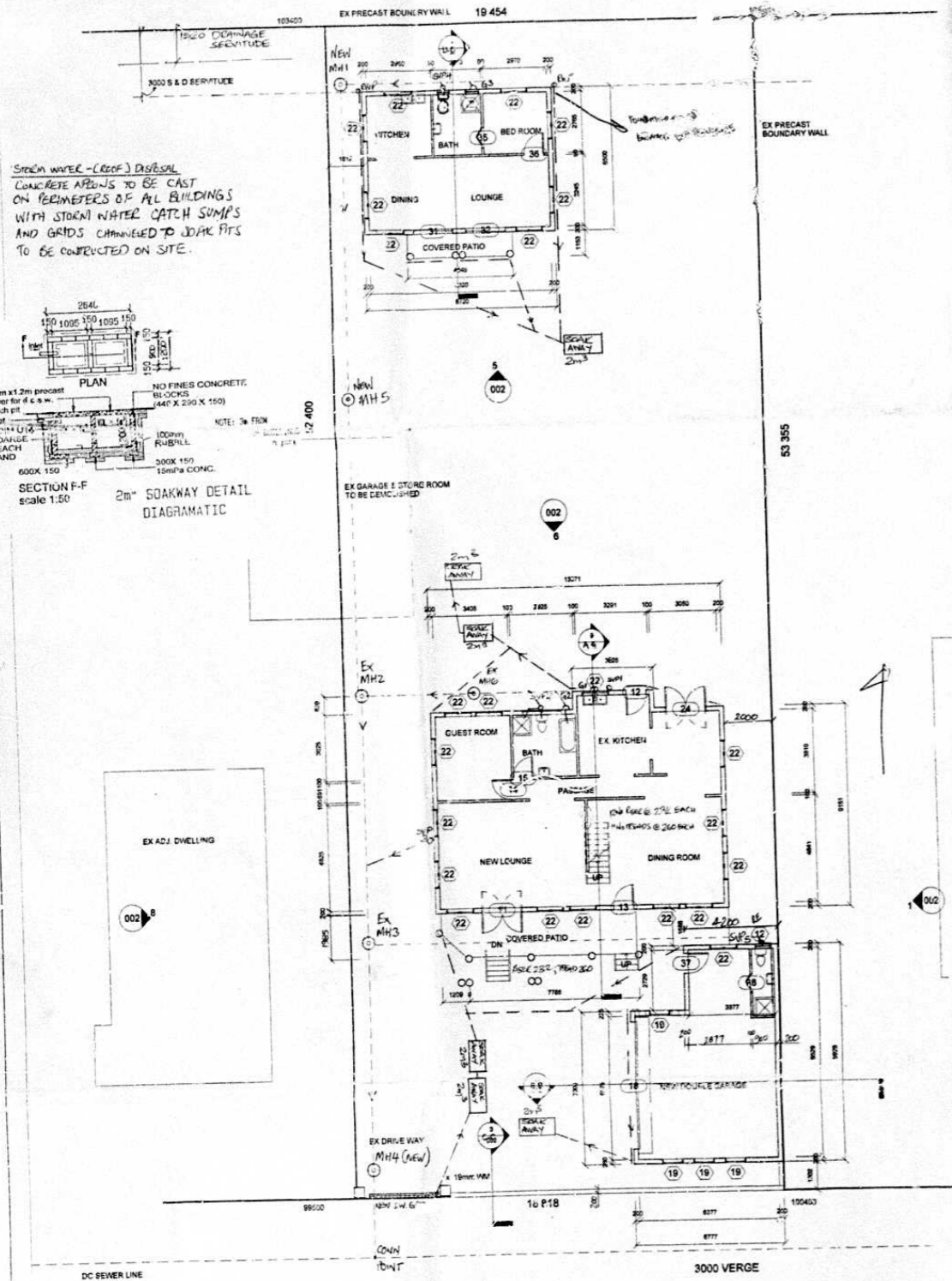
Sign: [Signature]

AUTHOR: BKM CONSULTING
 375 SILVERGLEN DRIVE
 CHATSWORTH 4092
 TEL: 031 2402189

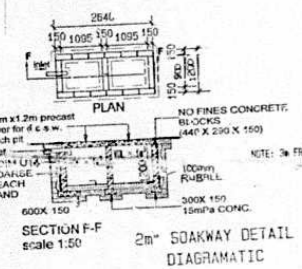
SIGN: [Signature]

Reg No D2321

Scale 1:100



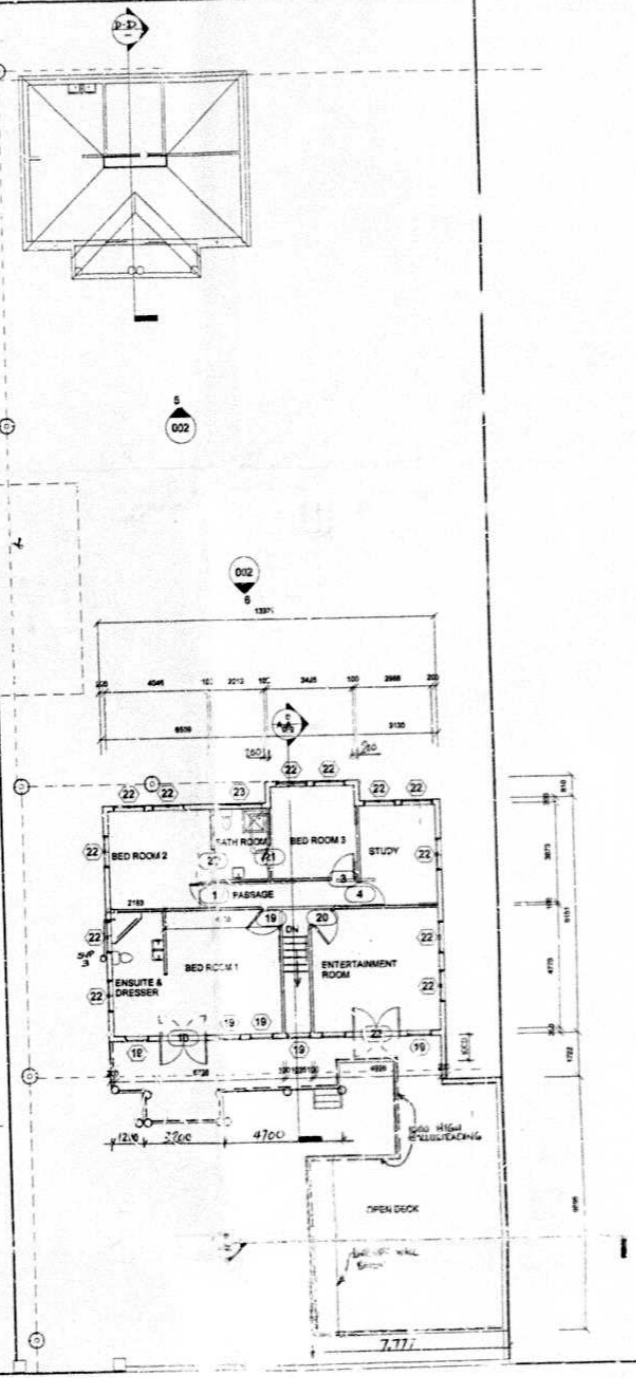
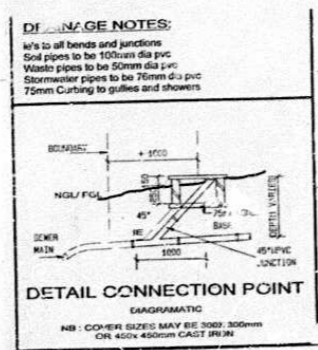
STORM WATER (ROOF) DISPOSAL
 CONCRETE APONS TO BE CAST ON BEENMERS OF ALL BUILDINGS WITH STORM WATER CATCH SUMPS AND GRIDS CHANNELLED TO SOAK PITS TO BE CONSTRUCTED ON SITE.



SCHEDULE OF AREAS
 SITE: 995.05 m²

EXIST HOUSE	152.61 m ²
EXIST GARAGE (STORE)	31.96 m ² [TO BE DEMOLISHED]
TOTAL EX. COVERAGE	184.57 m ²
REPT. COVERABLE	
FIRST FLOOR	142.21 m ²
ARC UNIT	62.27 m ²
GARAGE	59.74 m ²
OPEN DECK	66.74 m ²
TOTAL REPT. COVERABLE	330.96 m ²
LESS EX. GARAGE	31.96 m ²
REPT. ADDITIONAL COVERAGE	299 m ²

REPT. TOTAL SITE COVERAGE = 431.61 m²



FOOTING NOTES
 ALL WORK TO COMPLY WITH NBR & LOCAL AUTHORITY BY LAWS. THE CONTRACTOR IS TO CORRECTLY FLAG ALL BEACONS PRIOR TO SETTING OUT. ALL DIMENSIONS TO BE TO FACE UNLESS OTHERWISE SPECIFIED. EXCAVATIONS TO BE TAKEN WITH EXCAVATIONS IN THE VICINITY OF CABLES & SERVICES ON THE SITE PLAN.

FLOOR & FOUNDATION NOTES
 100mm CONCRETE SURFACE BED TO BE REINFORCED WITH APPROVED REIN. & 100mm UNDERLAY. SOIL FLOOR/GRABING TO BE TREATED WITH PVP SOLUTION. ANT GROUND & DPT WHERE APPLICABLE. SERVICES TO BE PROTECTED PRIOR TO EXCAVATION. FOUNDATIONS TO BE TO A MINIMUM OF 100mm AWAY ALL J.M. SERVICES & NOT TO INTERFERE WITH ANY SERVICES.

WALL NOTES
 ALL EXTER. WALLS IN EXPOSED SITUATION SHALL BE FINISHED WITH RENDER OR OTHER APPROVED FINISH. SINGLE SKIN REINFORCED WITH APPROVED BRICKWORK EVERY SECOND COURSE & MINIMUM OF TWO VERTICAL JOINTS TO BE USED PER ROOM. CAST LINTOLS ABOVE ALL OPENINGS.

ROOF NOTES
 ROOF TO BE FINISHED WITH 18% BATTENS ON 100mm x 100mm x 100mm LATHS AS WATERPROOFING MEMBRANE ON 38 x 135 TRUSSES @ 800mm CENTRE TO CENTRE. ROOF TRUSSES TO BE SEC. BELT & ANCHORED TO SUPPORTING WALLS WITH GALVANIZED HOOPPIRONS TIED INTO WALLS NOT LESS THAN 100mm BELOW WALLPLATE. 250 x 50 ASBESTOS FASCIA & BARGE BOARDS.

WINDOWS & DOORS
 ALL WINDOWS & EXTERNAL DOORS TO BE SABLE ALUMINIUM (INTERNAL ANODIZED) / MINORITY GLAZED WITH APPROVED SAFETY GLASS IN ACCORDANCE WITH THE NBR. ALL INTERNAL DOORS TO BE HOLLOW CORE PC SELECTIVE PAINT.

SKINNING & FINISHES
 FLOOR COURSE SLICES TO ALL WATER CLOSETS ALL WBS TO BE POSITIONED ON MATCHING PROFILES. FLS TO BE PROVIDED AT ALL BENDS & JUNCTIONS. ALL PLUMBING TO COMPLY WITH LOCAL AUTHORITY STANDARDS. NO WORK IS TO BE COVERED PRIOR TO INSPECTION.

FIRST FLOOR PLAN SCALE 1:100