

AMAFA I submission for the Lion Match Park
892 umgeni road
durban
4001

With the ongoing concerns regarding successfully sourcing power for new developments and the growing trend towards sustainable developments, the rejuvenation of old warehouse buildings has been particularly inviting. By adapting older buildings to meet the needs of the current market, and rejuvenating and refurbishing what exists rather than constantly creating new, as professionals in conjunction with developers, we are moving in tandem towards a more sustainable built environment.

| **Dean Jay . 2008**

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| existing drawings

| proposed drawings

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zone 03 | proposal for the demolition of Shaft Packaging building

| existing

| proposal

| previous amafa guidance

| proposed drawings

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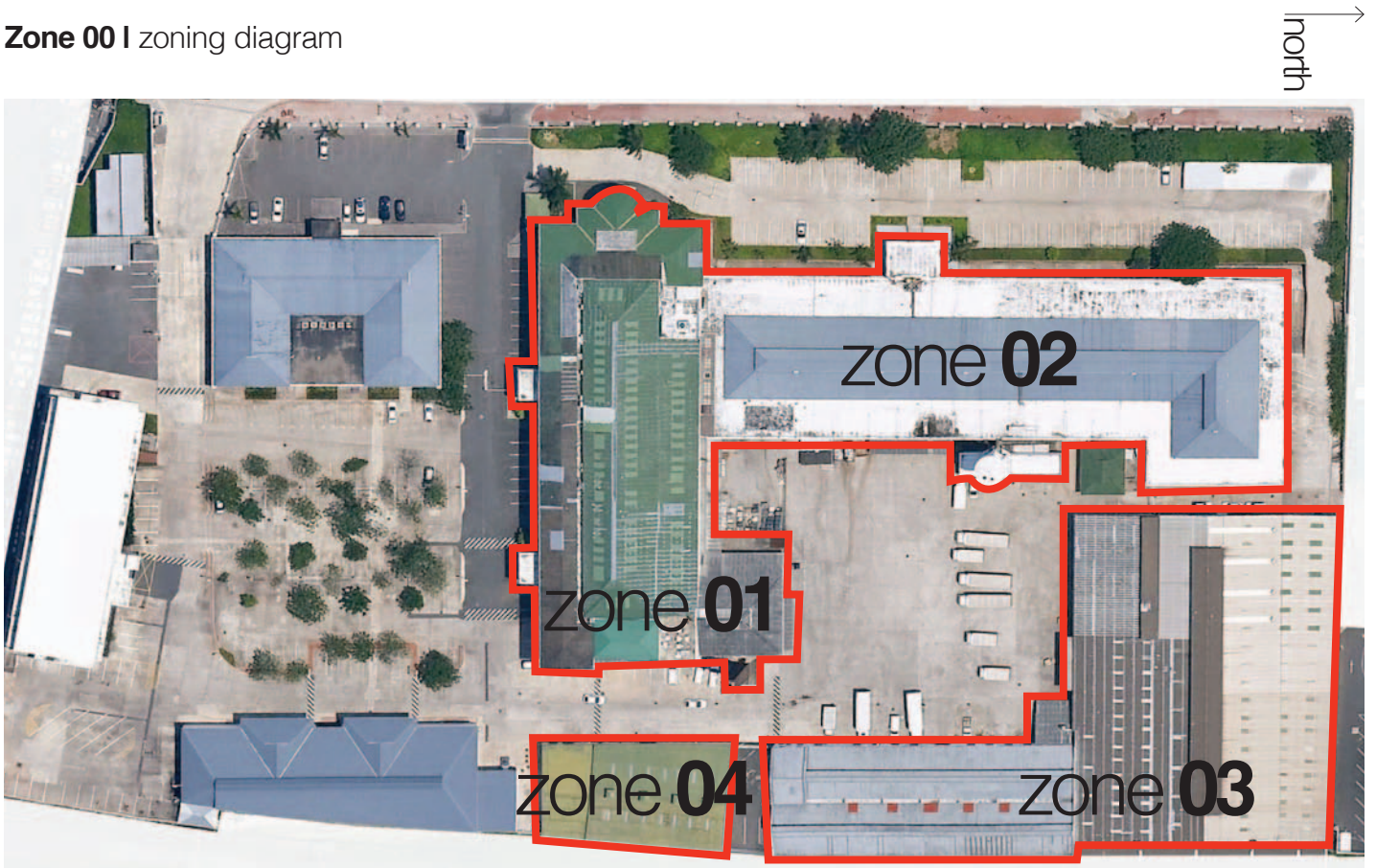
| proposal

| previous amafa submission form + approval letter

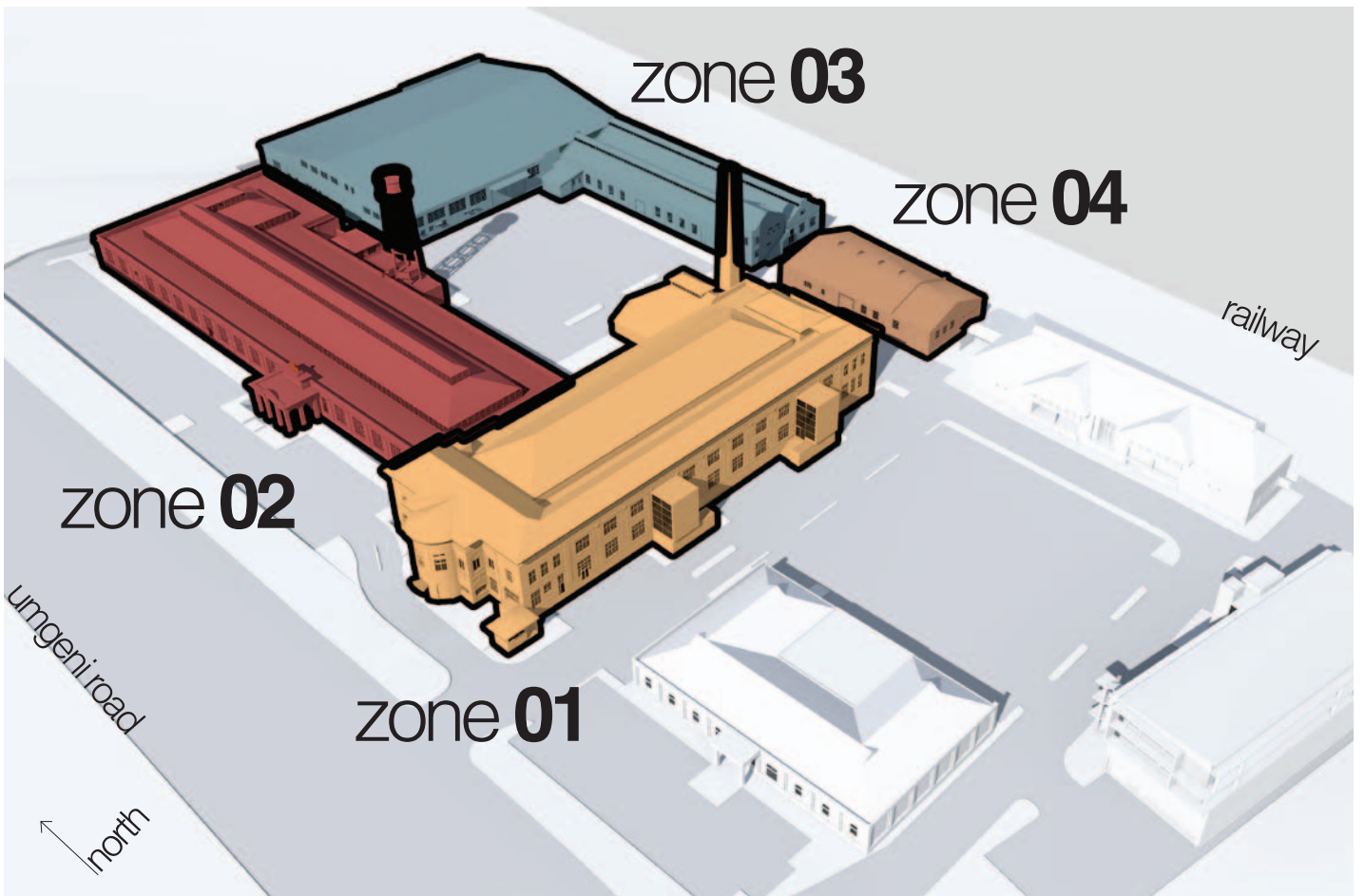
| previously submitted drawings

| amended drawing

Zone 00 I zoning diagram

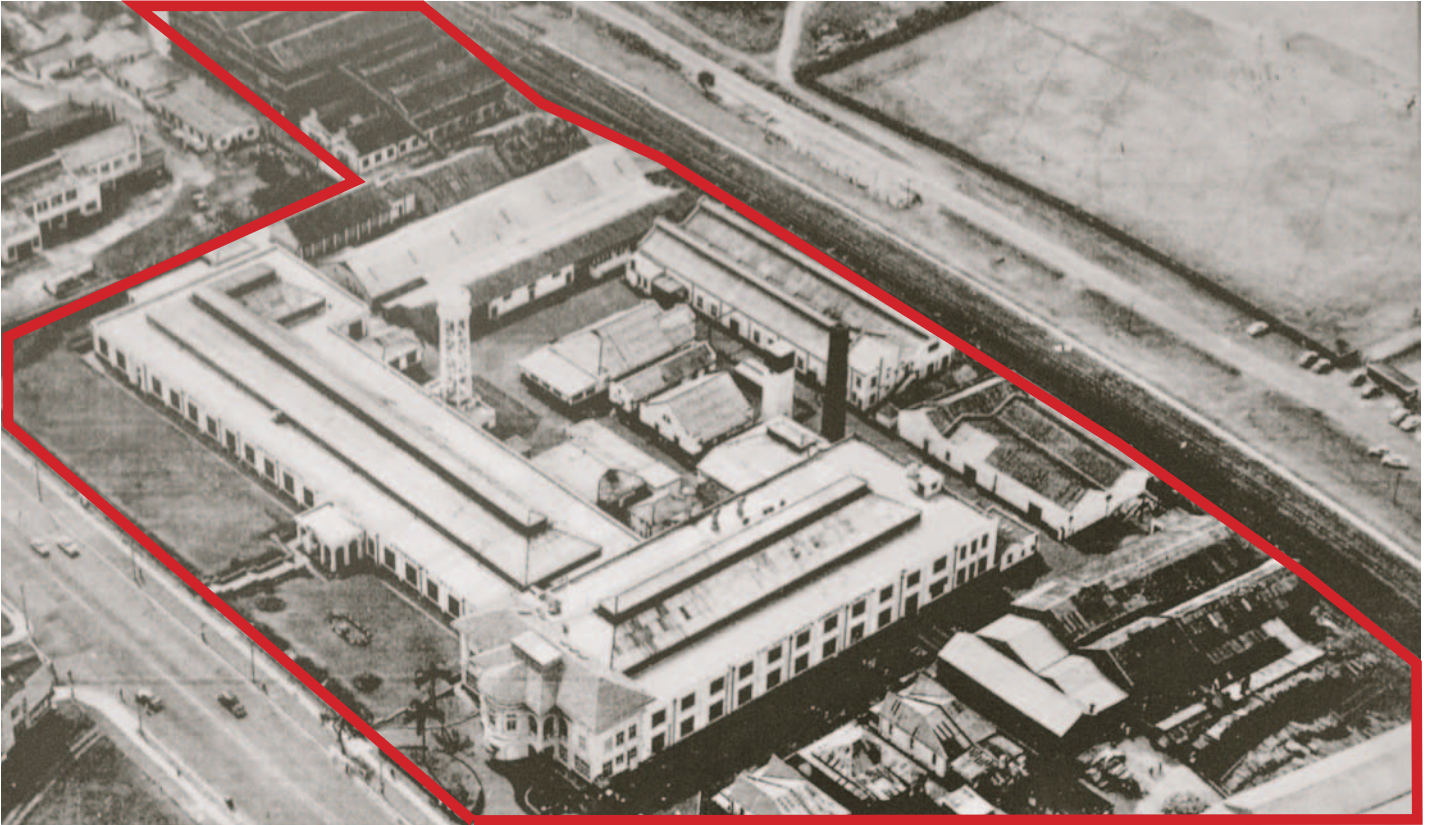


Zone 00 I existing site diagram



Zone 00 I aerial diagram of site

Zone 00 I introduction + historical documentation



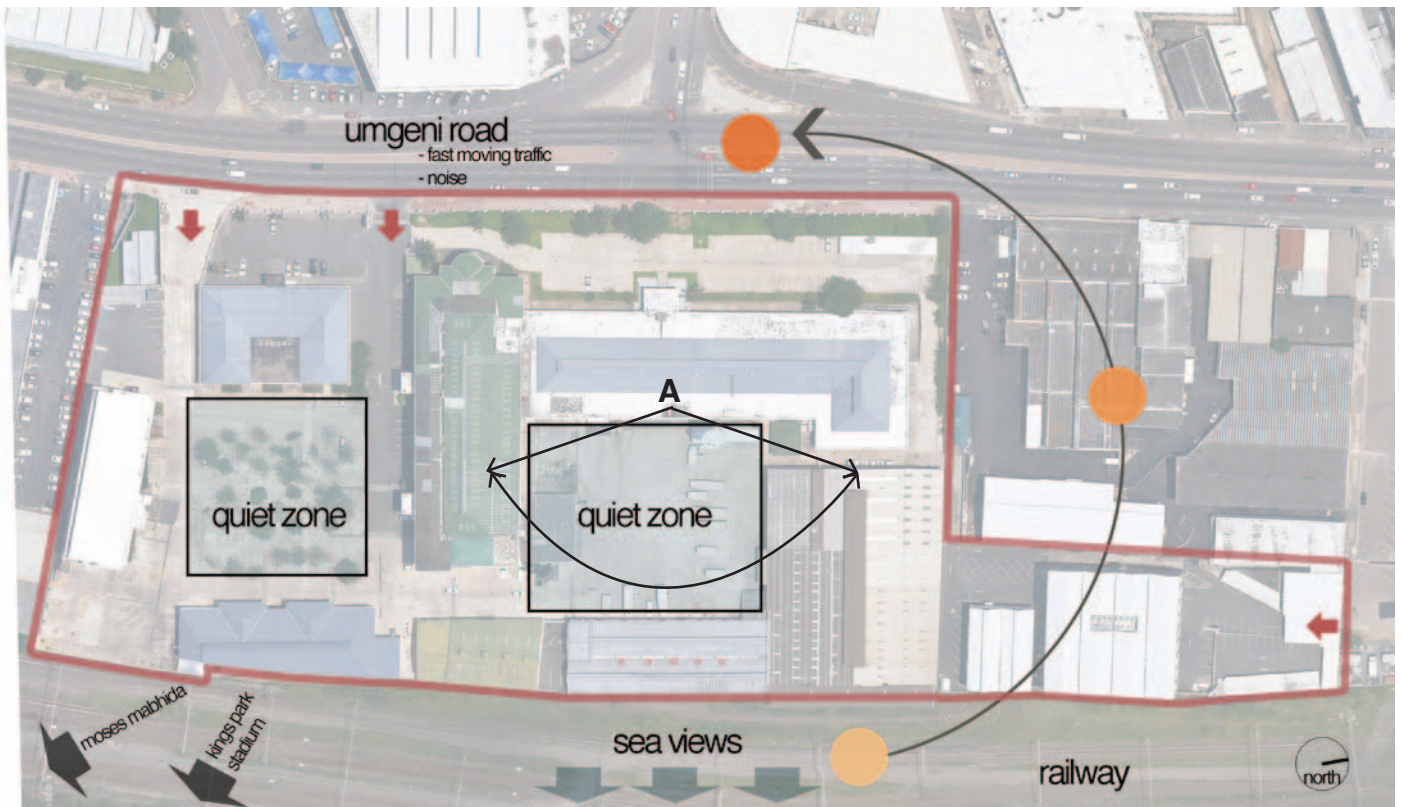
Zone 00 I aerial view of the lion match complex (circa 1945)

The original factory was built in 1925 and will be dealt with in more detail under Zone 01 + 02. The Lion Match Park was home to one of South Africa's best-known brands, the Lion Match Company, which had a family of products under its name. The list includes Lion safety matches which were made in the factory itself, and were used by South Africans for over 100 years, until the factory in Durban closed in 2001. In 2002, developers J.T.Ross bought the entire Lion Match site outright and proceeded to convert it into a commercial precinct by changing the zoning from industrial to general business 2.



historical significance I departure of the royal family from the Lion Match Park 1947 (zone 01 in the background)

Zone 00 I adjoining properties + urban setting



urban setting I site analysis

The site has a variety of building types within 100m of its boundary including residential, commercial, industrial, as well as the Absa Park rugby stadium and Moses Mabhida in close proximity. The site is nestled between Umgeni road on the west, a busy commercial and industrial avenue through Morningside, and the railway to the east. The site currently functions as a commercial entity and has offices and storage facilities dispersed over the site. Due to the park's previous zoning as Industrial, the building line was zero, which permitted buildings to be built up against the boundary line. Buildings within the park therefore circumscribe the site and range between 1 and 5 stories, some of which offer sea views. The image below indicates the view from the water tower in the middle of the site.



urban setting I photograph from position A above

Zone 00 I existing drawing of the Lion Match Park

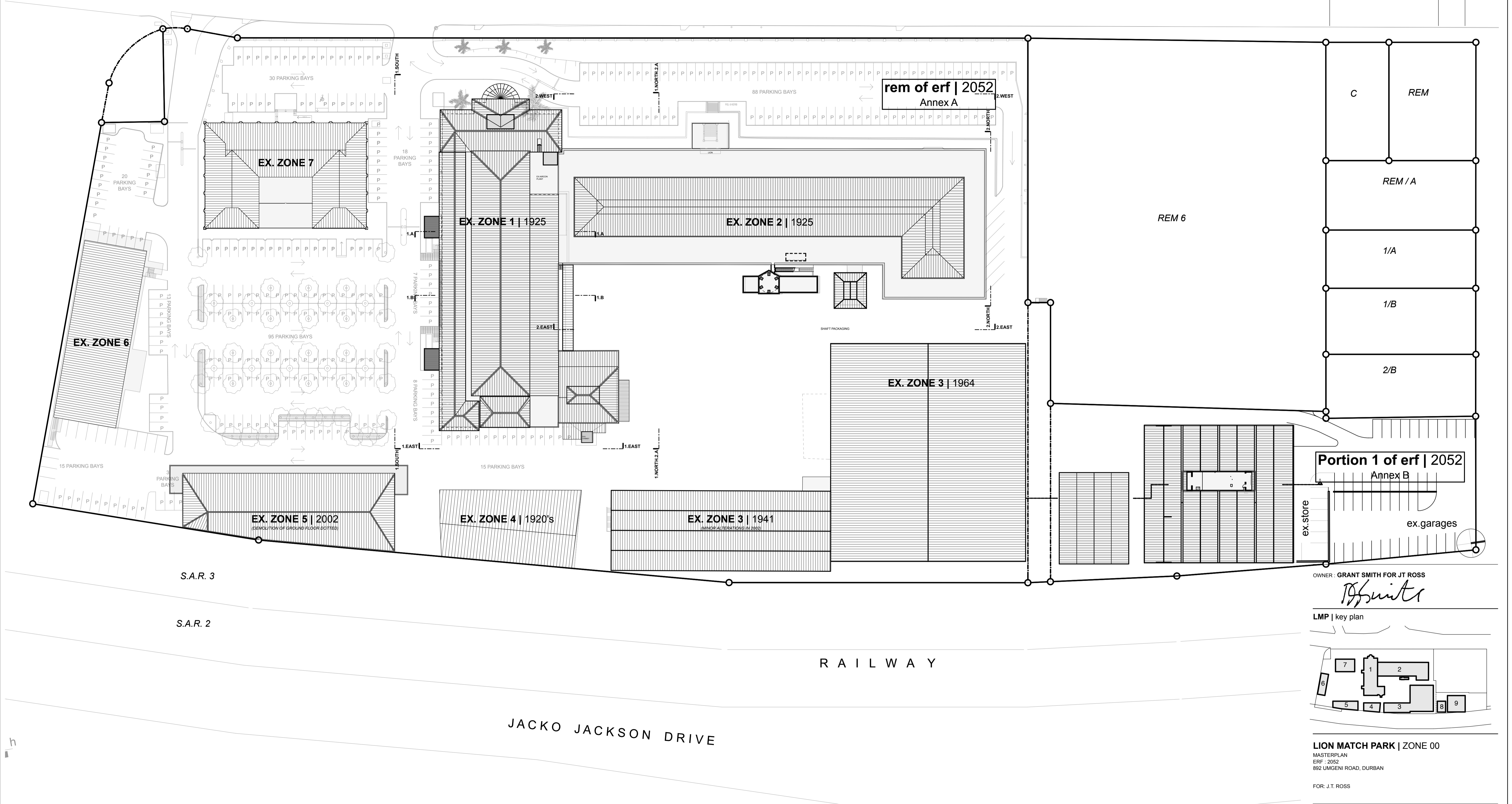
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NOTES

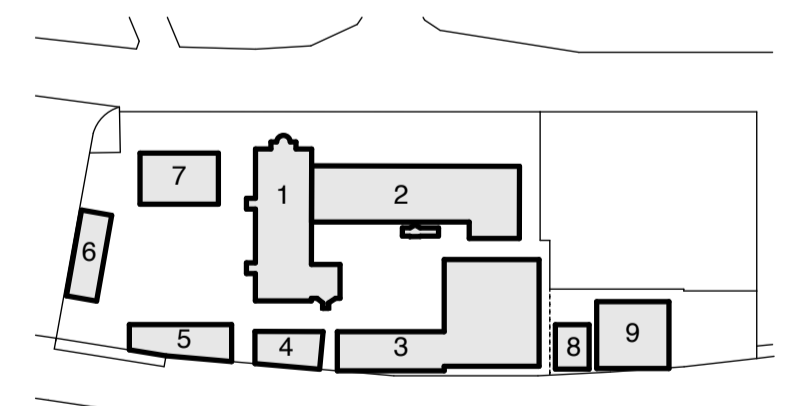
NO.	REVISION	DWN	DATE



OWNER: GRANT SMITH FOR JT ROSS

Signature

LMP | key plan



LION MATCH PARK | ZONE 00

MASTERPLAN
ERF - 2052
892 UMGENI ROAD, DURBAN

FOR: J.T. ROSS

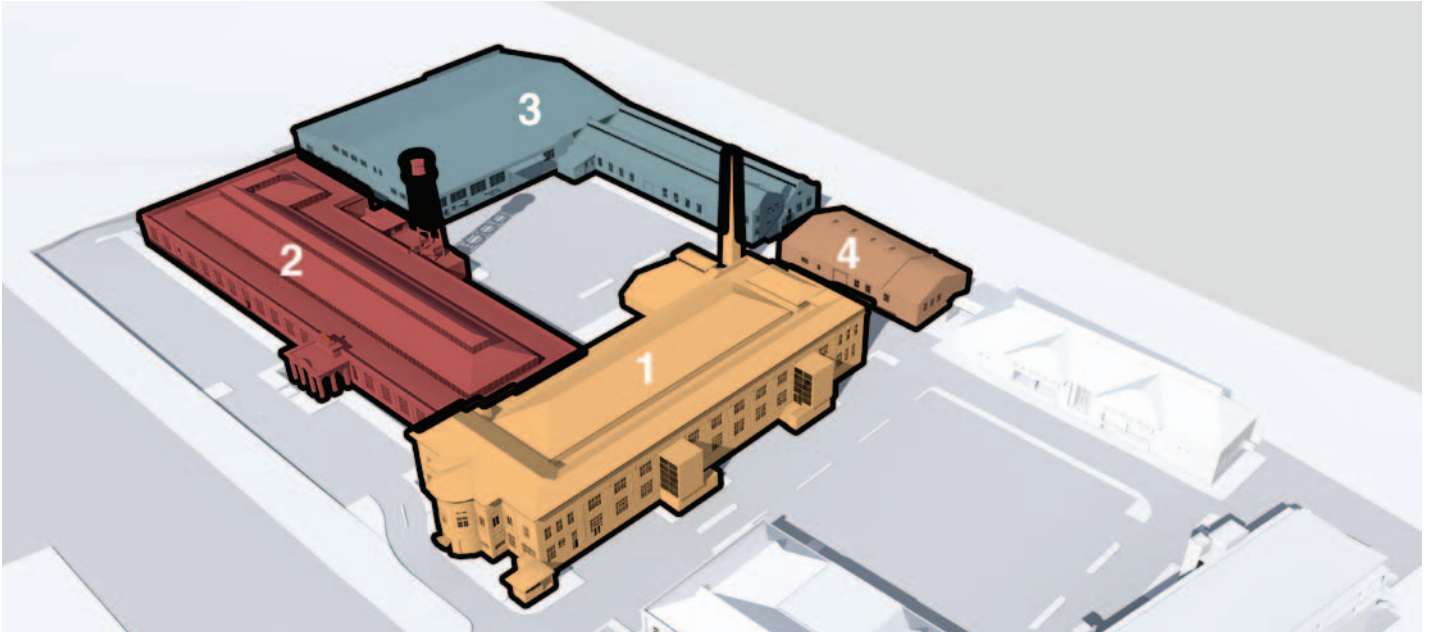
SITE PLAN

DRAWING NO.	DATE	DRAWN			
100	april 2013	cf			
PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	00	E	GA	100	0

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SITE PLAN
1:500

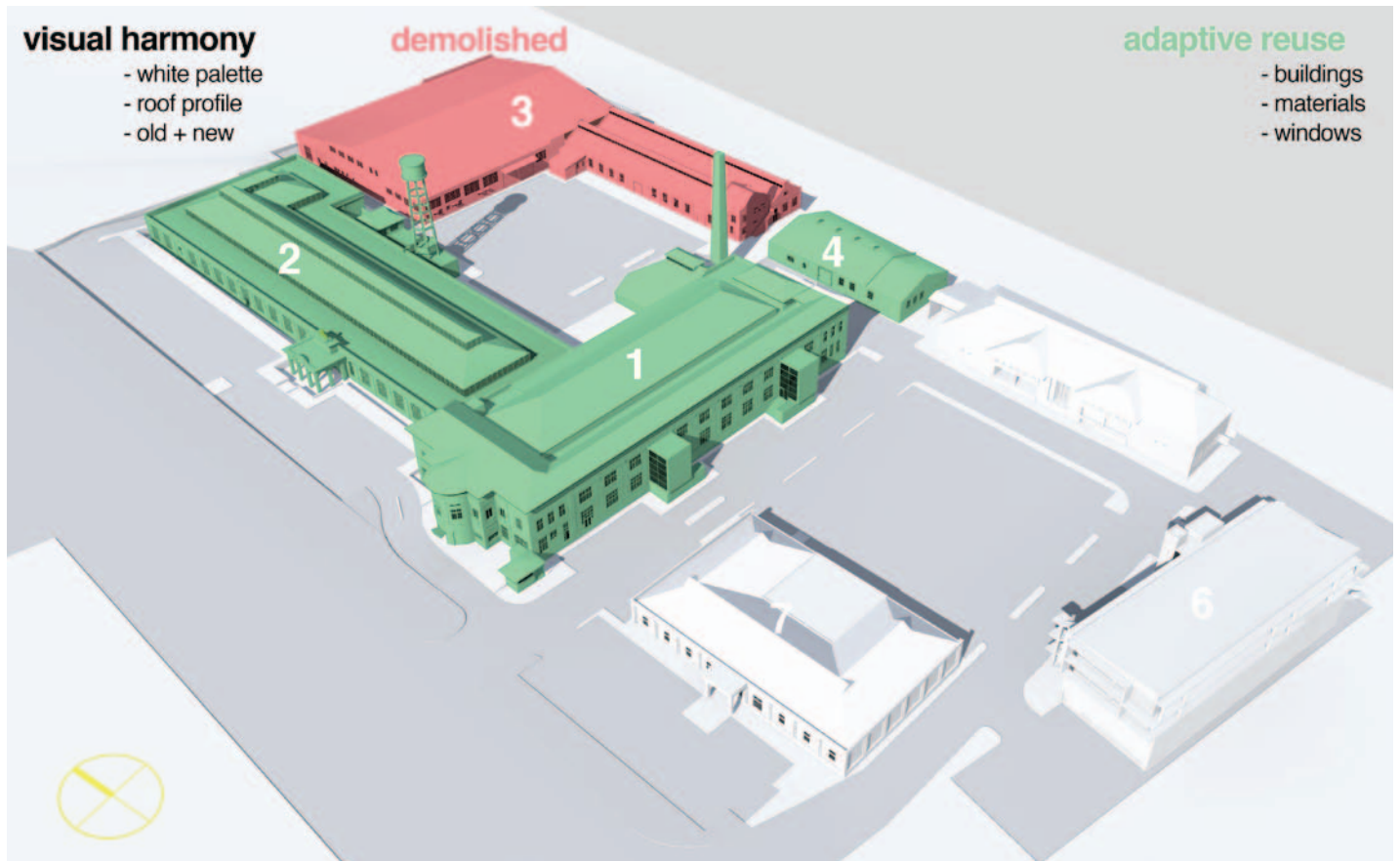


Zone 00 I proposal for the Lion Match Park

please refer to drawings to follow :

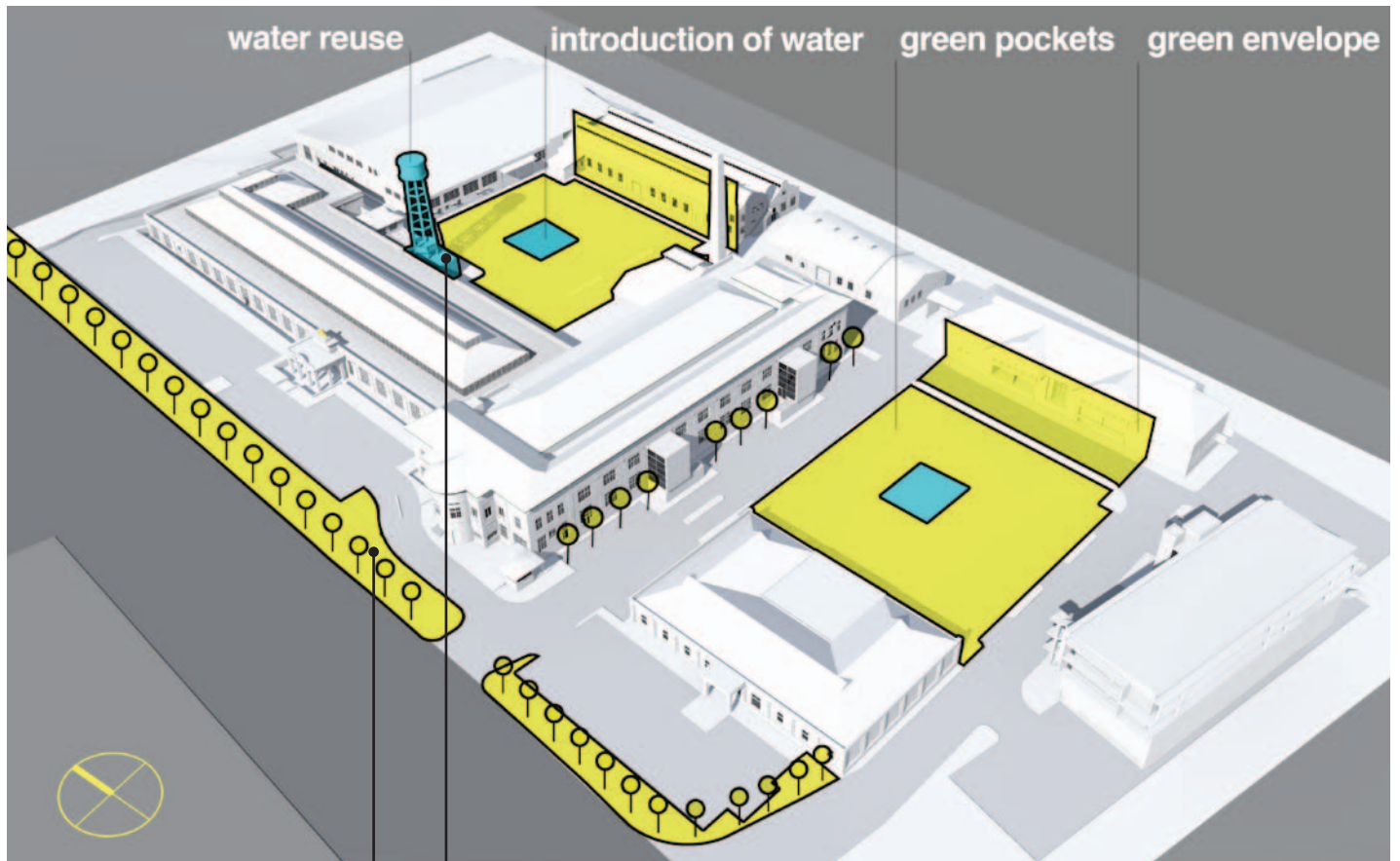
- ZONE 00_EXISTING SITE PLAN**
- ZONE 00_PROPOSED SITE PLAN**

zone 00 | park concepts

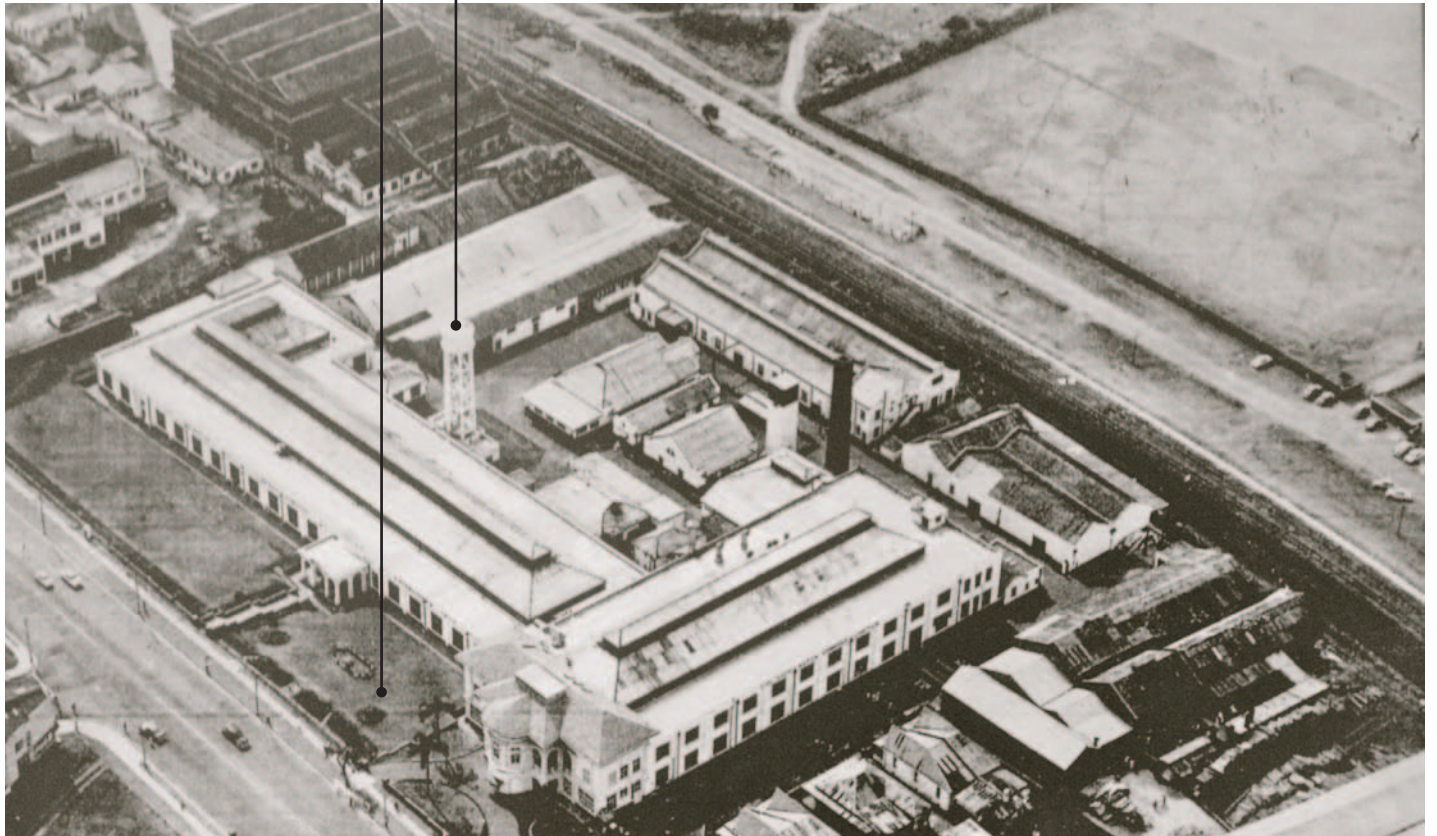


concept I | park continuity

zone 00 | park concepts

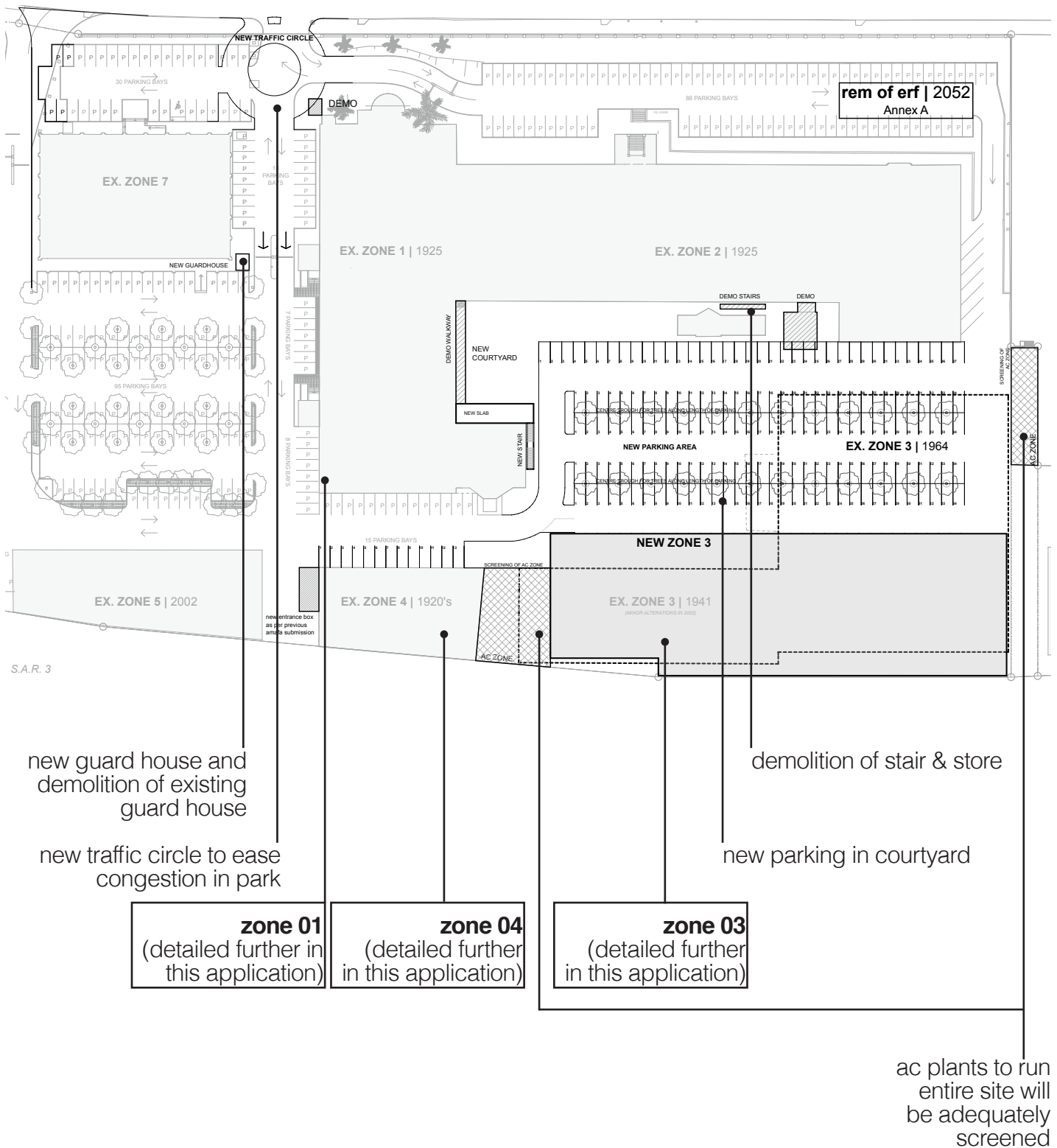


concept | deep greening



historical | clues taken for proposal

zone 00 I proposal



zone 01
(detailed further in this application)

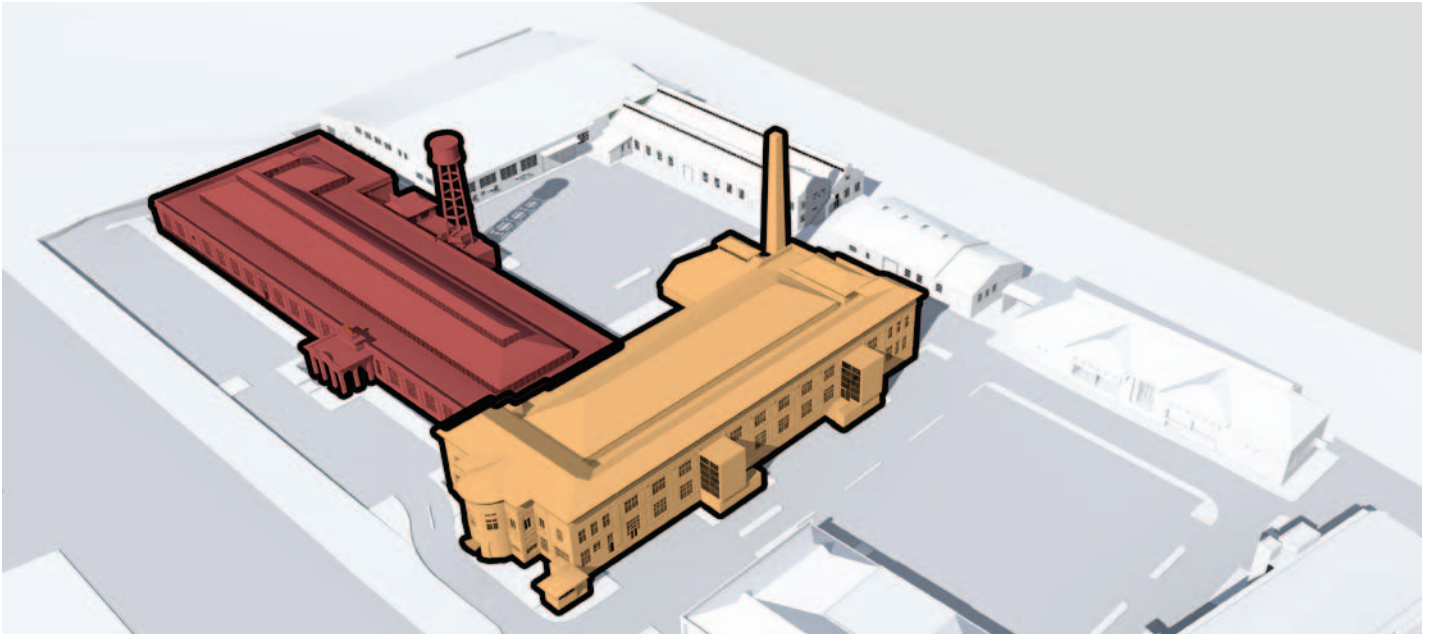
zone 04
(detailed further in this application)

zone 03
(detailed further in this application)

please note the full drawing of the above diagram will be sent out for public participation

proposed I site plan

Zone 00 I proposed drawing

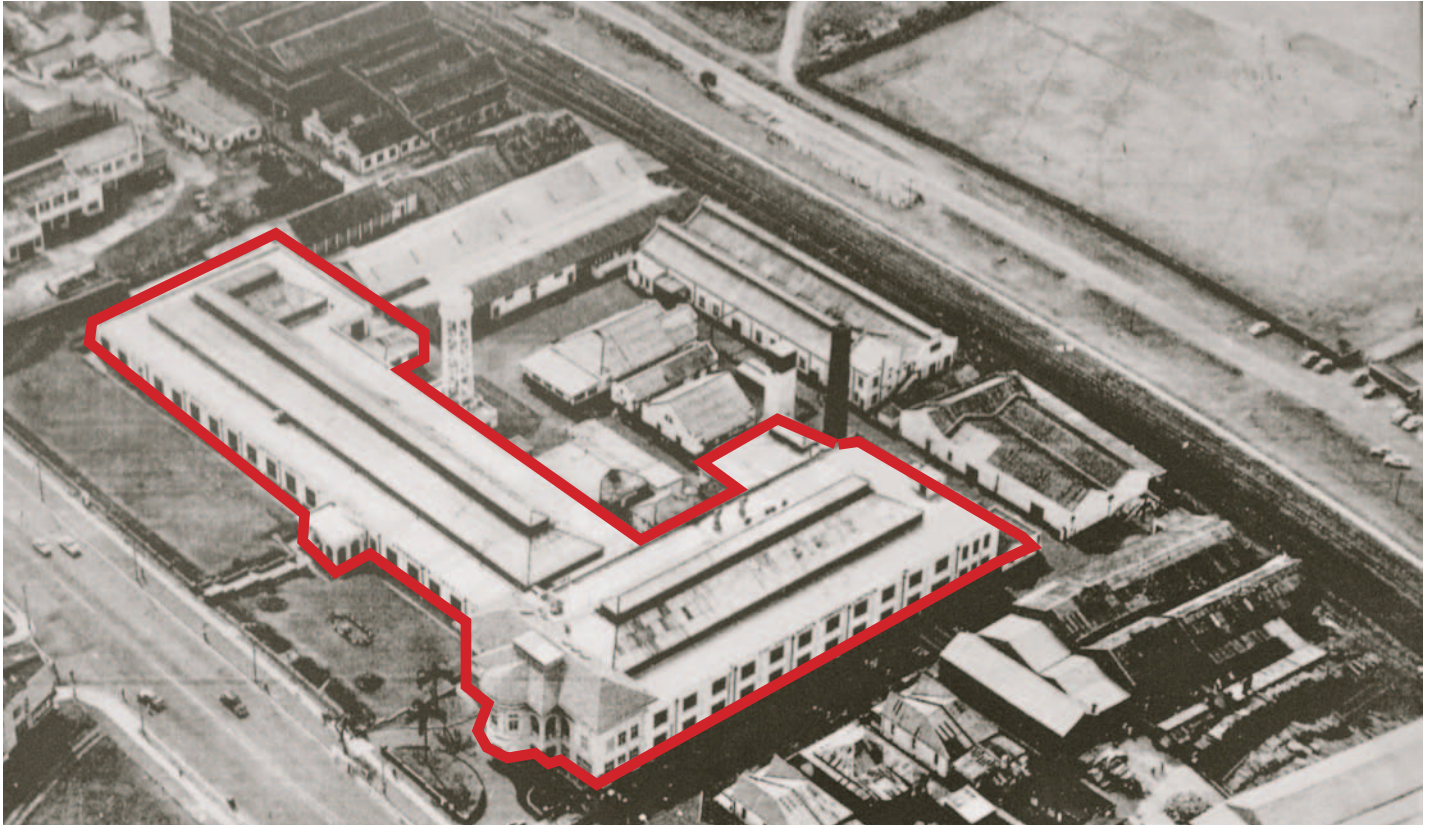


Zone 01 + 02 | proposal for the Old Lion Match Factory buildings

please refer to drawings to follow :

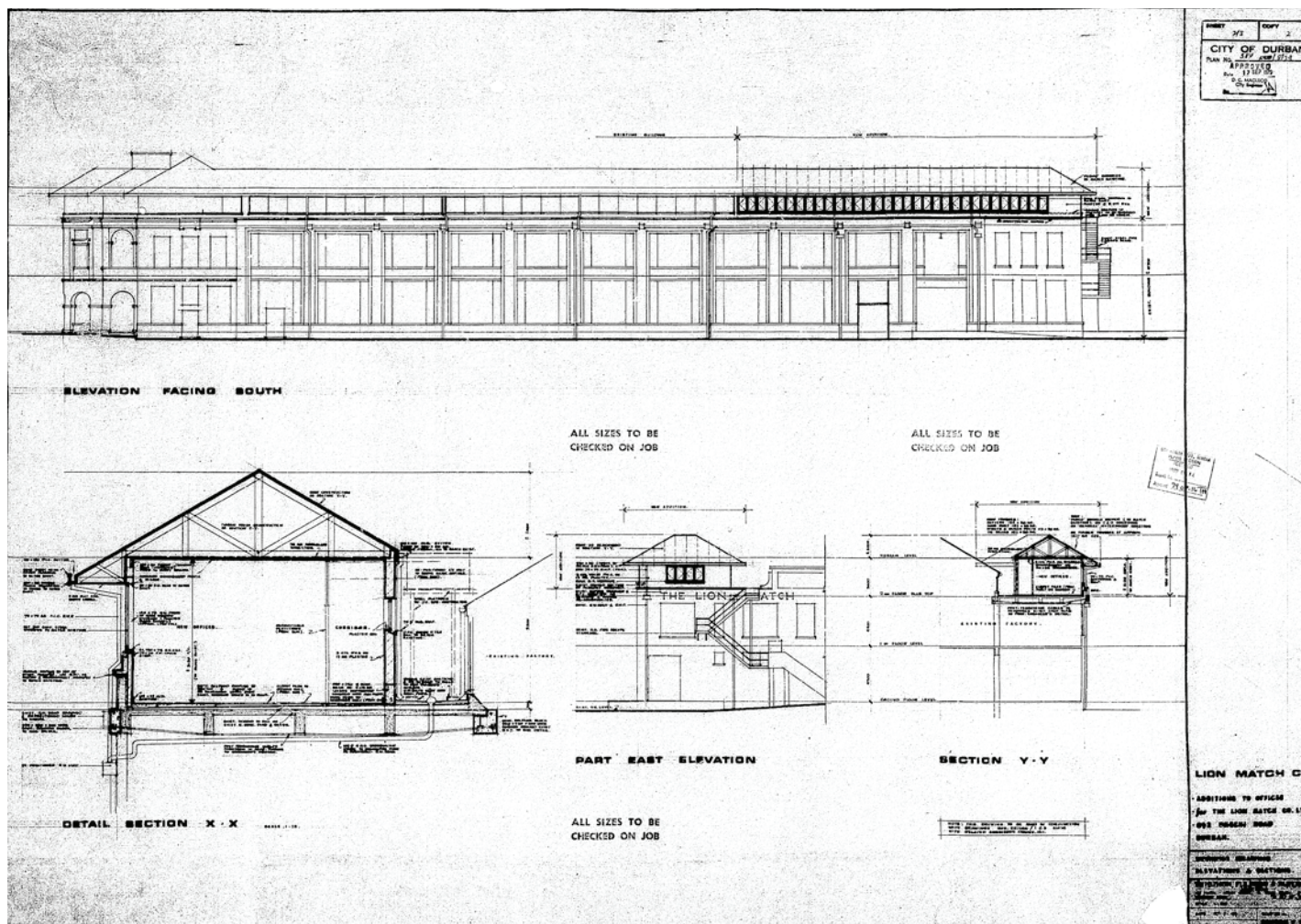
- ZONE 01+02 Existing**
- ZONE 01+02 Proposed**
- ZONE 01+02 Details**

zone 01 + 02 | historical documentation



zone 01 + 02 | original buildings

In 1925 the architectural firm Ing and Jackson prepared plans for a new factory and was established by a local firm of timber merchants, Hunt Leuchars and Hepburn limited. This is what is now known as the original Durban Lion Match Factory however, much of the new structure was largely rebuilt in 1926/7. The historic factory building is made up of one and three stories and is of the Union period style with rusticated bases, arches and pitched roofs, and once sat in a subtropical garden setting. The exterior envelope is plastered brickwork painted white and is decorated with ornate string cornices and arcuated veranda's including columns and balustrading. The corners are adorned by plastered quoins and the rusticated pilasters frame the white painted timber casement door and windows. The hipped roof is clad in slate and the steel truss construction enabled large unobstructed floor areas for industrial processes. These spaces were naturally lit by clerestory lighting, which improved the environment for factory workers.



historical significance | Fridjhon, Fulford and Partners addition to the roof in 1979

Various architects have worked in and around the park, where the main changes are as follows:

In 1979 and 1980 Fridjhon, Fulford and Partners made significant alterations to the main Lion Match Building, namely Zone 01. This included an additional floor to the main building, which was both applied for, and built, in various stages, and included parts of the original building to be reroofed.

More recent changes to zone 01 were made in 1993 HJ Nel architects were appointed to do internal alterations to zone 01, including toilets and changerooms on the ground floor.

Dave Cuthbert and Associates made changes to the main building where they designed a pine log steaming tanks enclosure in 1995.

zone 01 | existing building and phases of construction

Fridjhon, Fulford and Partners provided an additional floor designed by in 1980.

dean jay architects designed 2 modern interventions on the south facade in 2011



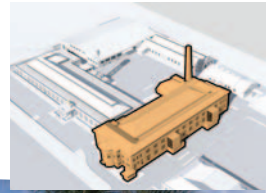
zone 01 | modern addition by Dean Jay Architects in 2011.

Due to its history and architectural significance, work proposed in the precinct required a sensitive architectural approach. Many architects have worked in the park over the years, however much of the alteration work was done by Pieter Ries Architects through 2000 - 2003.

In 2011 J.T. Ross commissioned Dean Jay Architects to convert the first floor of the main building into offices, which included the addition of two modern staircases to allow access for a mixed tenancy on the first floor. The architects were also involved in decluttering the east façade of the main building as well as demolition rights for unused buildings in the courtyard. Additionally, the architects have been involved in three other projects on site, including the adaptive reuse office conversion of an existing building into Milady's head office and existing stadium building residencies into offices in 2008, and a new building near the entrance of the site, into the style design Centre in 2002.

Today the factory bears evidence of a former working facility, industrial finishes, large open truss configurations and parquet flooring on the first floor help retain some of the factories charm.

zone 01 | existing



zone 01 | western facade and main entrance

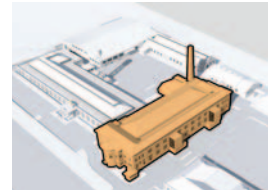


zone 01 | eastern facade



zone 01 + 02 | northern courtyard

zone 01 I existing and proposed



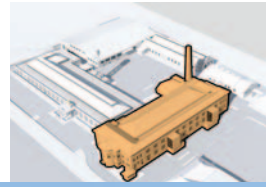
zone 01 I existing south west corner

demolition of office space to bring the building back to its original form



zone 01 I proposed south east corner

zone 01 + 02 | existing + proposed



zone 01 + 02 | existing northern courtyard

- new glazed shopfront
- new restaurant
- removal of AC ducts on facade
- new doors



zone 01 + 02 | proposed northern courtyard

Zone 01 + 02 | existing drawings

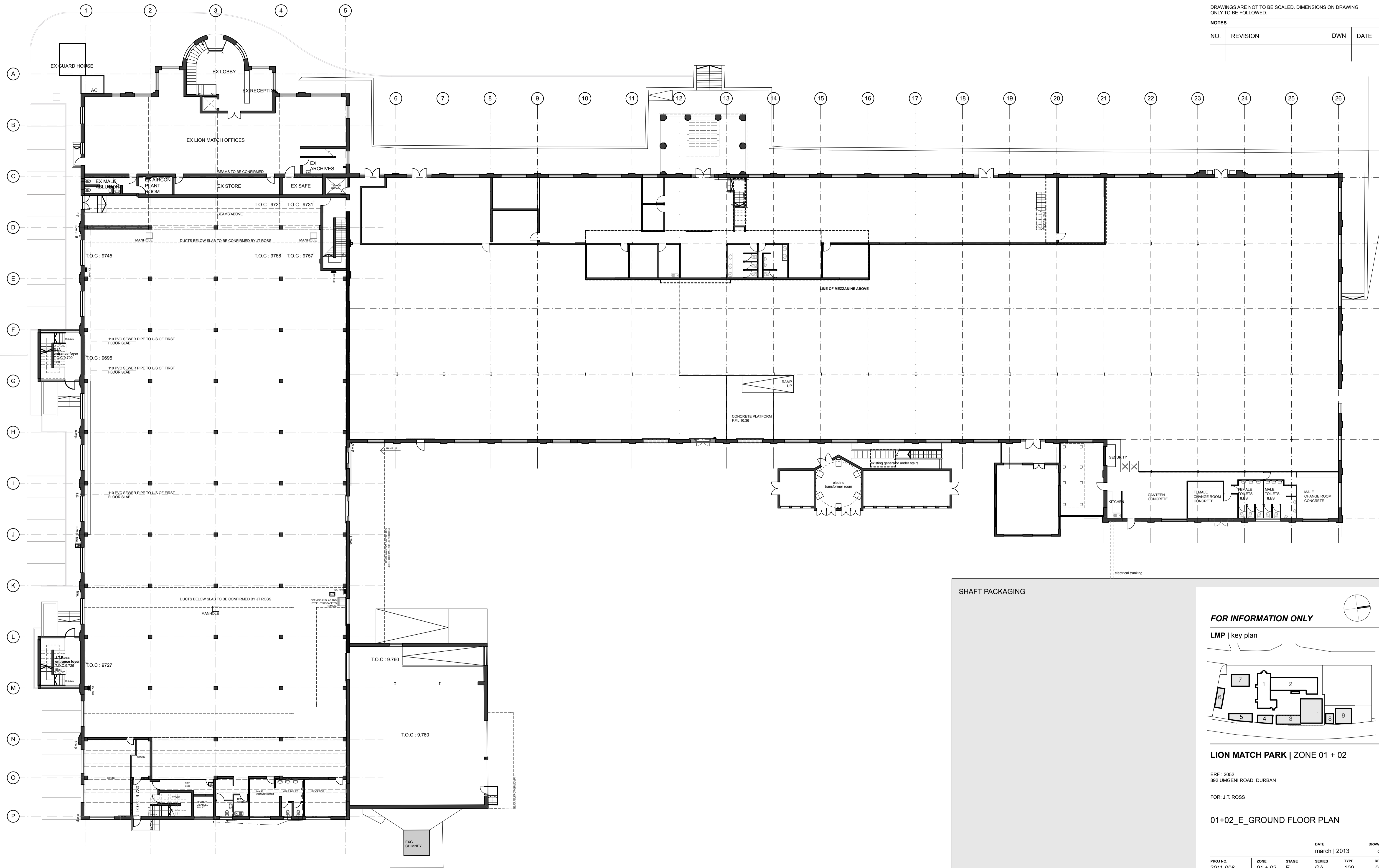
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NOTES

NO.	REVISION	DWN	DATE



GROUND FLOOR PLAN
SCALE 1:200

SHAFT PACKAGING

FOR INFORMATION ONLY

LMP | key plan

LION MATCH PARK | ZONE 01 + 02

ERF : 2052
892 UMGENI ROAD, DURBAN

FOR: J.T. ROSS

01+02_E_GROUND FLOOR PLAN

DATE	DRAWN
march 2013	cf

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01 + 02	E	GA	100	00

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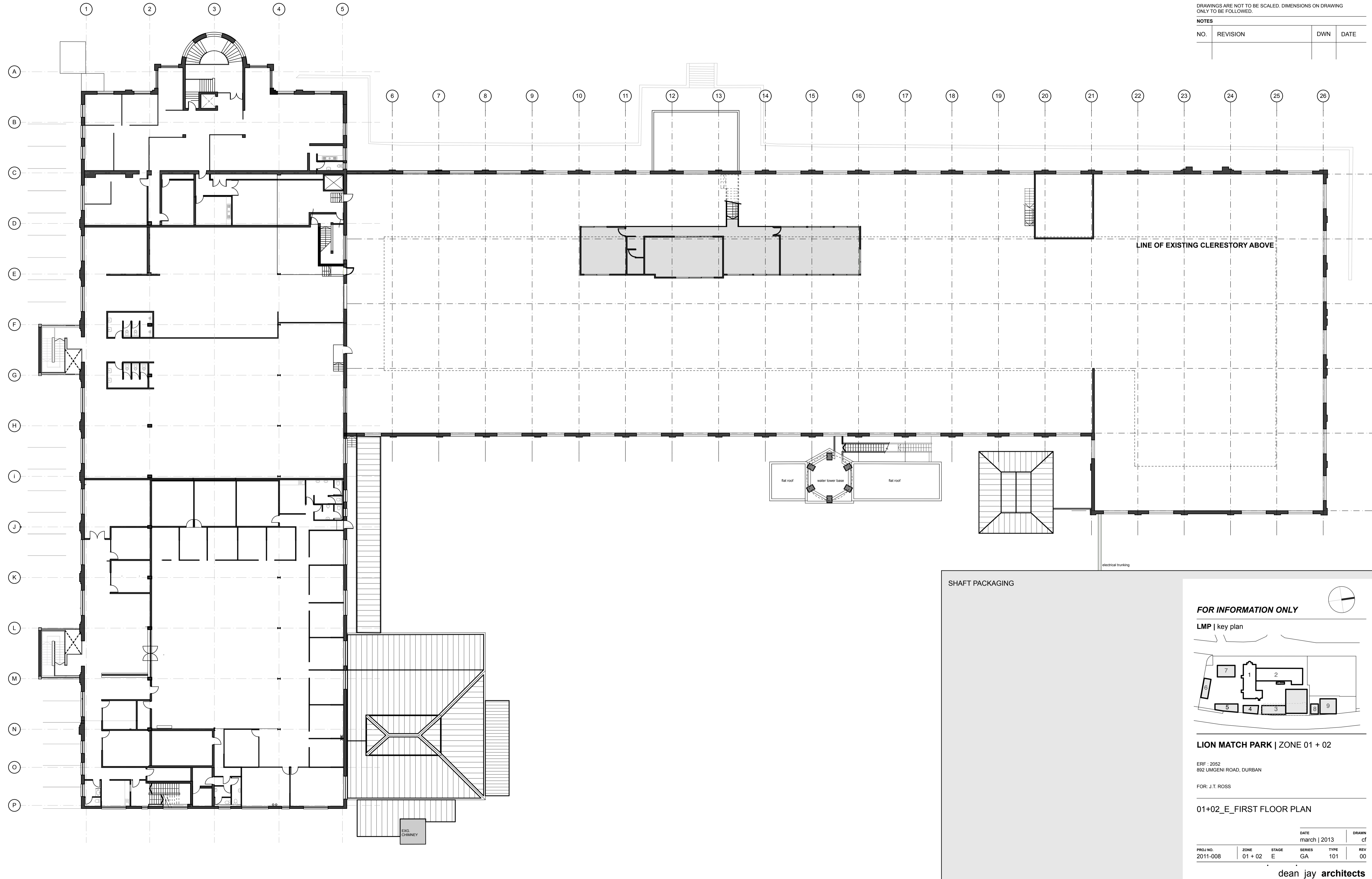
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FIRST FLOOR PLAN
SCALE 1 : 200

SHAFT PACKAGING

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LMP | key plan

LION MATCH PARK | ZONE 01 + 02

ERF : 2052
892 UMGENI ROAD, DURBAN

FOR: J.T. ROSS

01+02_E_FIRST FLOOR PLAN

DATE	DATE	DATE	DATE	DATE	DATE
PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
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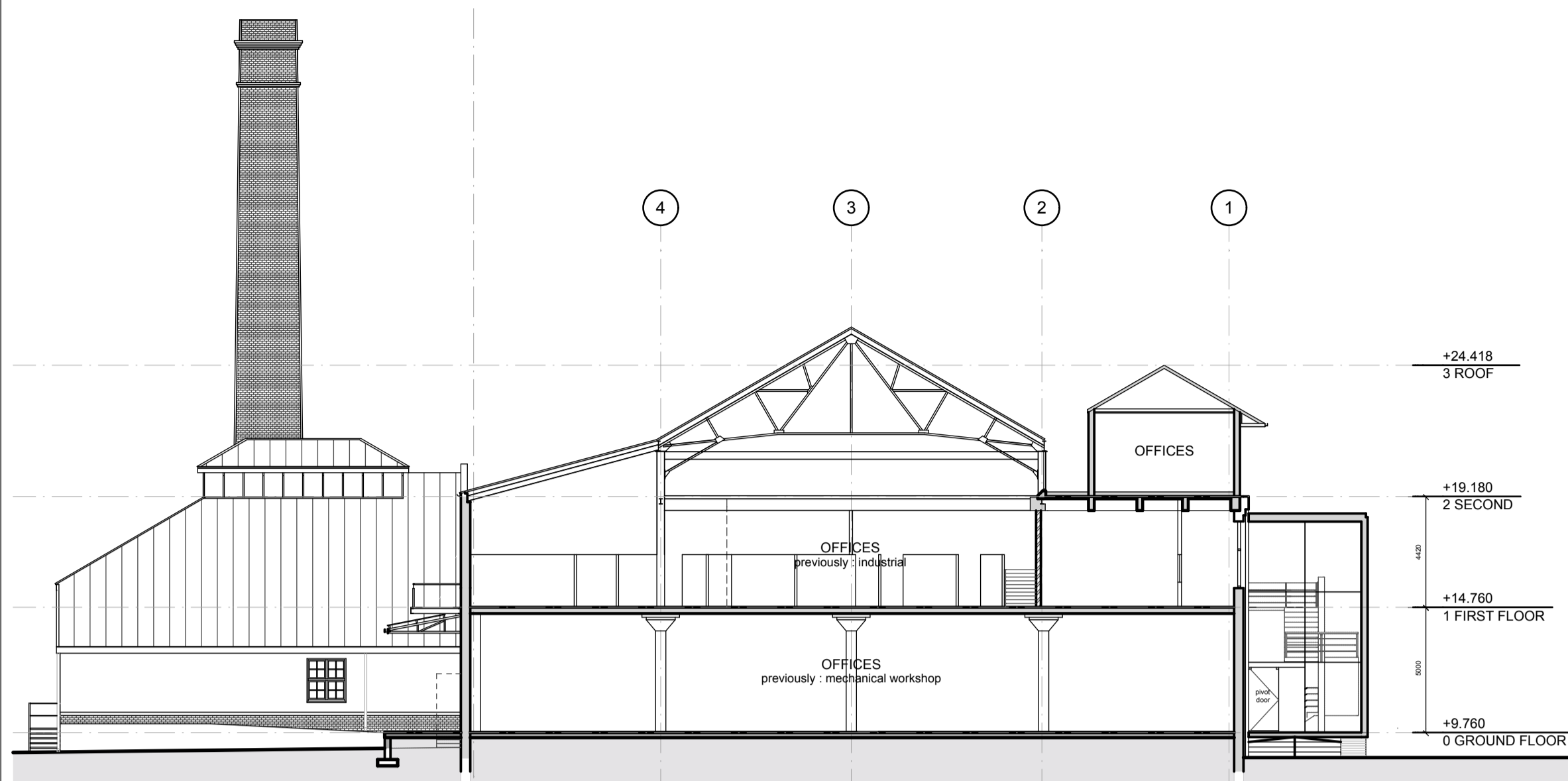
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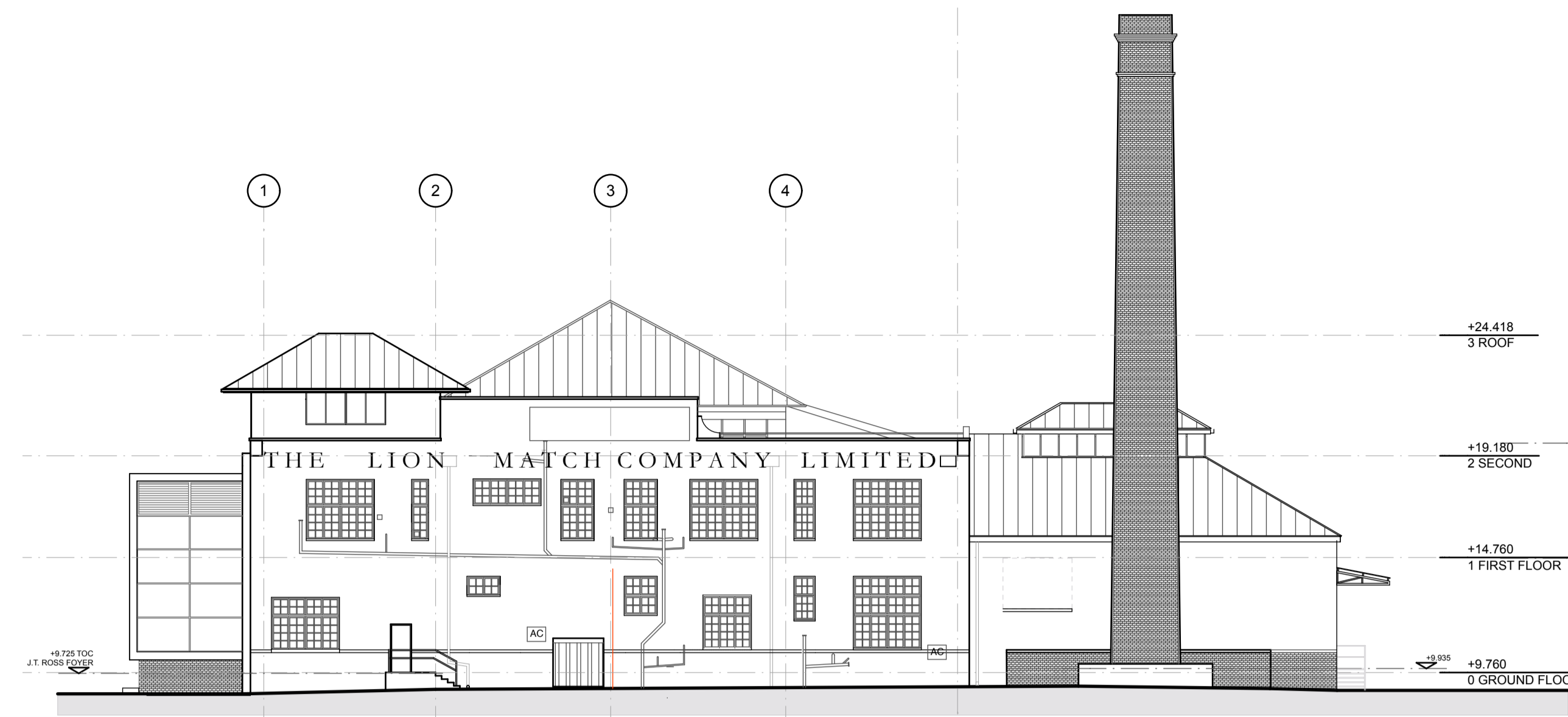
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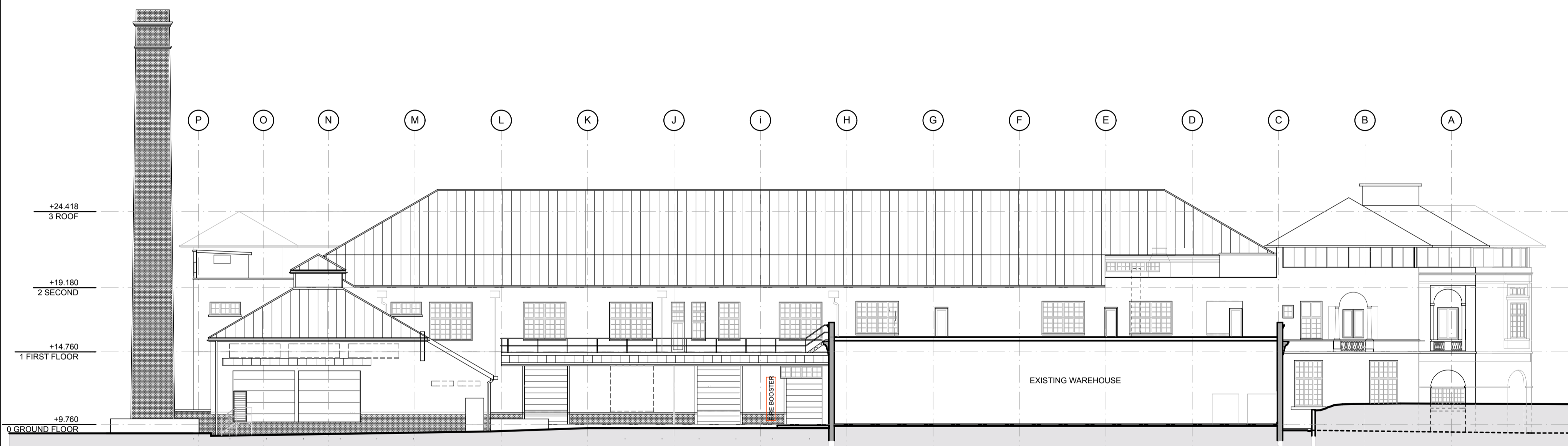
NO.	REVISION	DWN	DATE



WEST ELEVATION / PART SECTION
SCALE 1 : 200



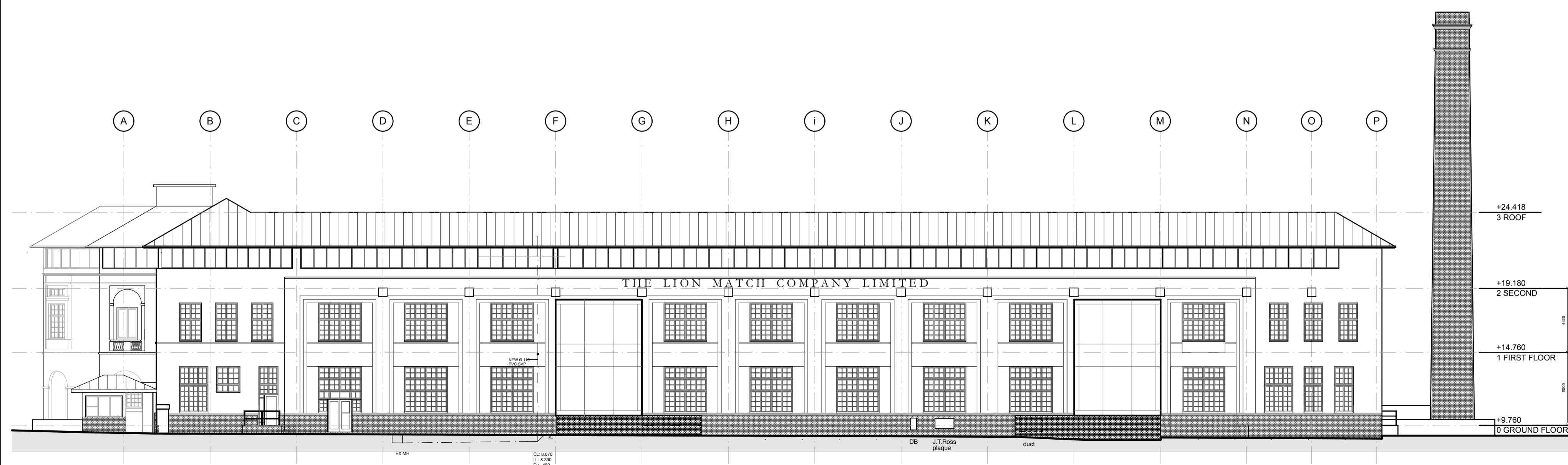
EAST ELEVATION
SCALE 1 : 200



NORTH ELEVATION
SCALE 1 : 200



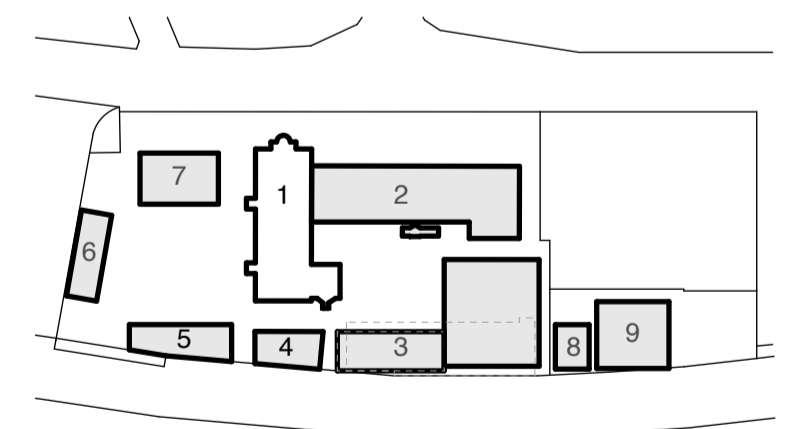
WEST ELEVATION
SCALE 1 : 200



SOUTH ELEVATION
SCALE 1 : 200

FOR INFORMATION ONLY

LMP | key plan



LION MATCH PARK | ZONE 01

ERF : 2052
892 UMGENI ROAD, DURBAN

FOR: J.T. ROSS

01_E_ELEVATIONS

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01	E	GA	200	00

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DATE
march | 2013
DRAWN
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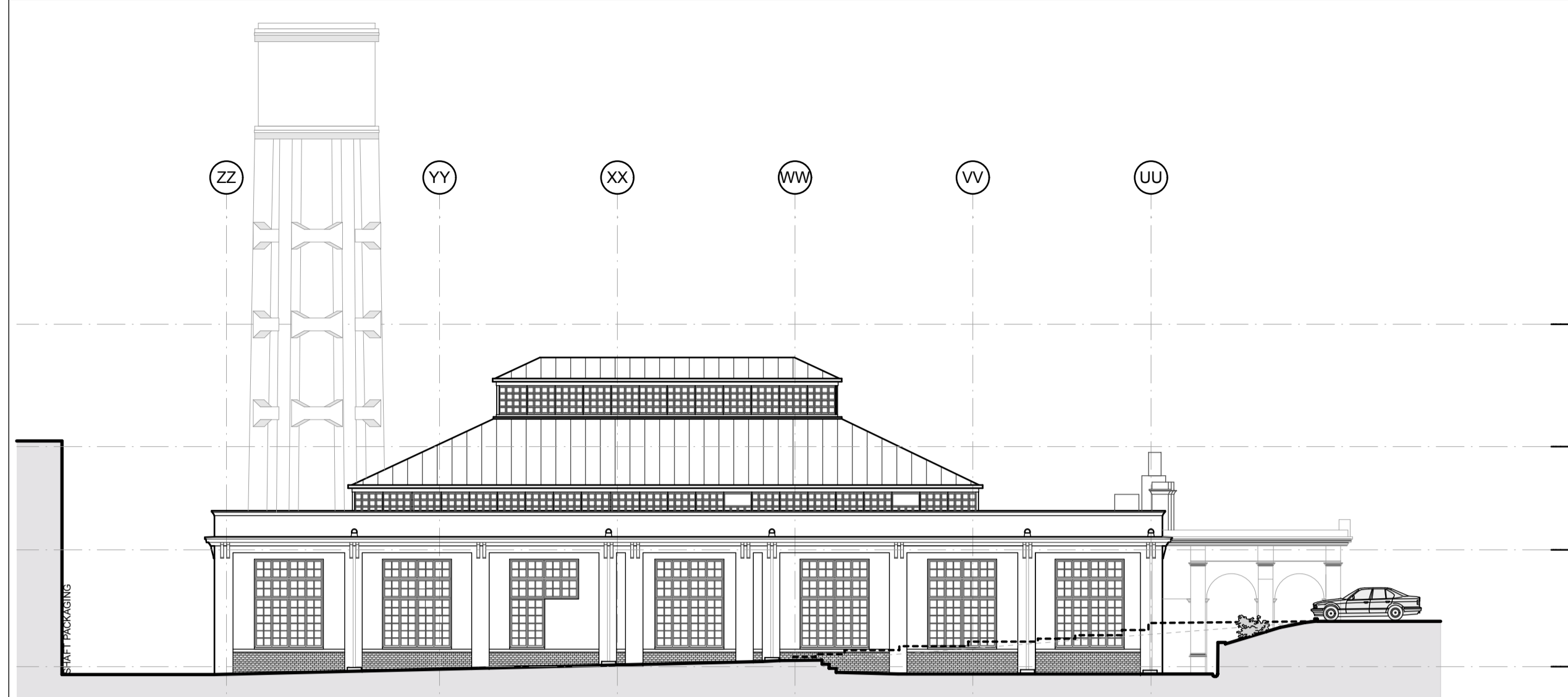
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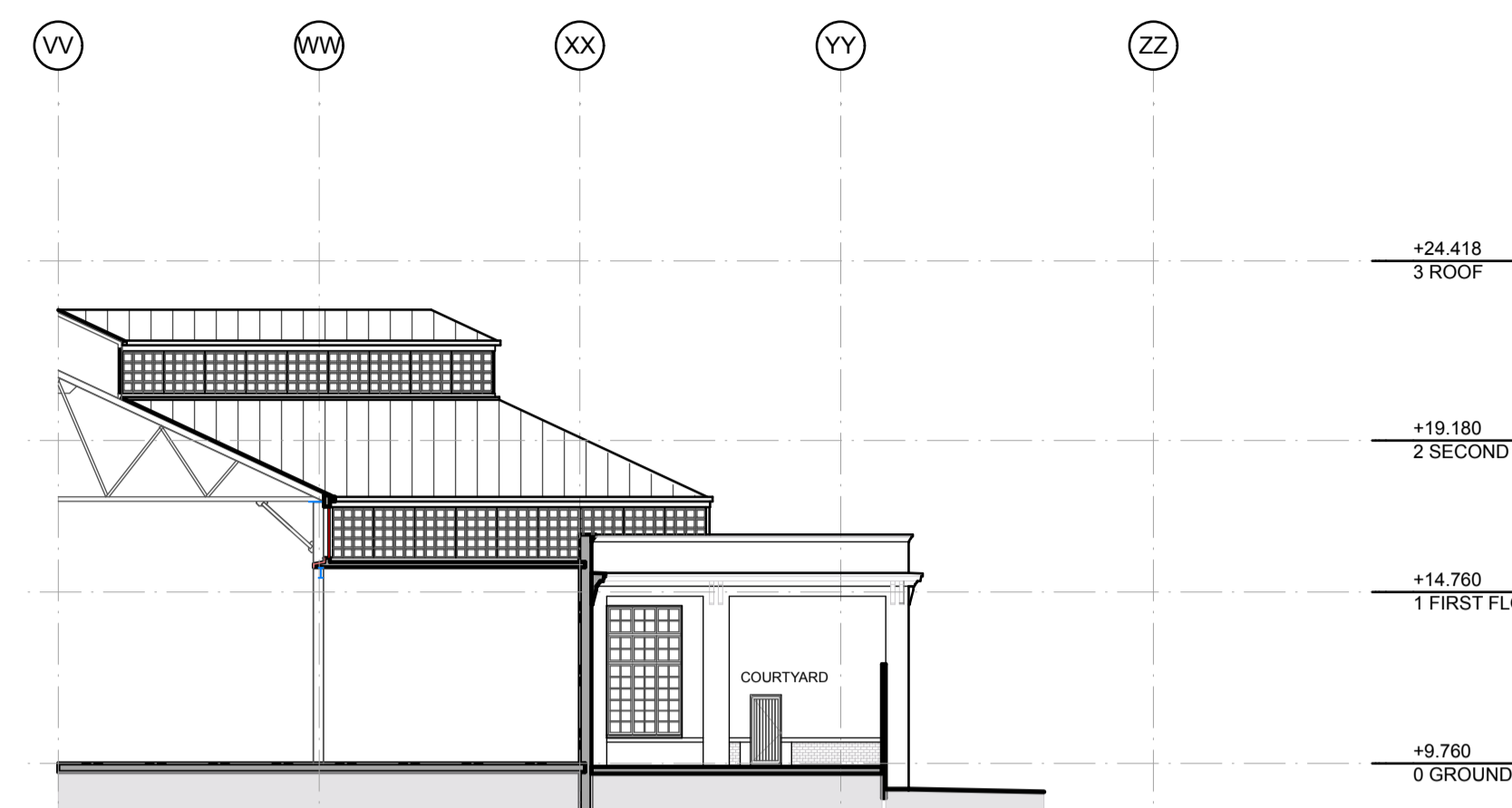
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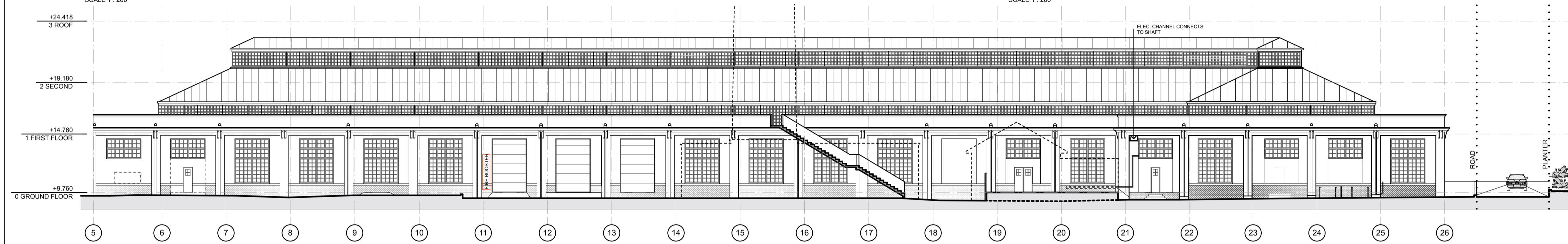
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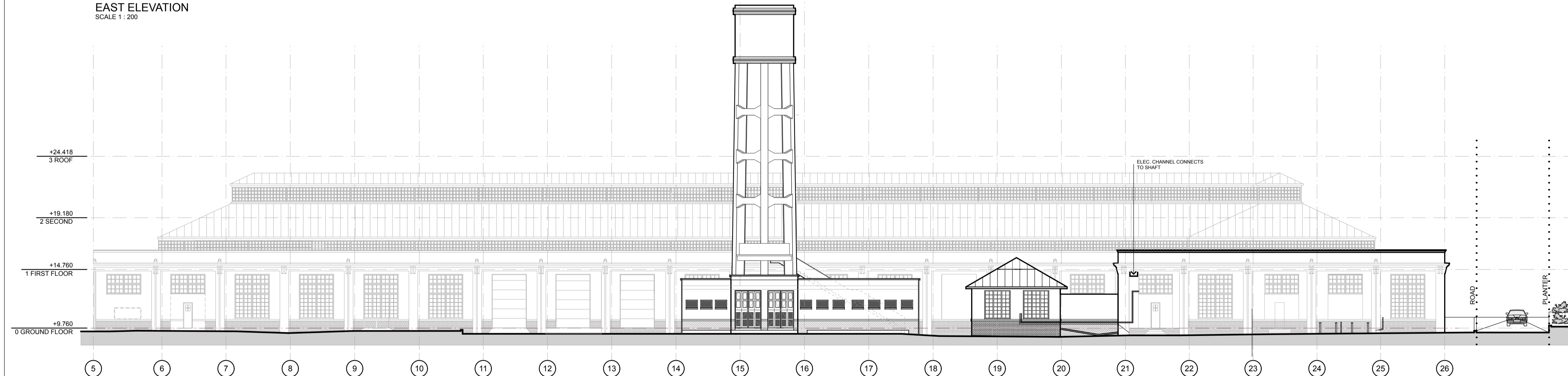
NORTH ELEVATION
SCALE 1 : 200



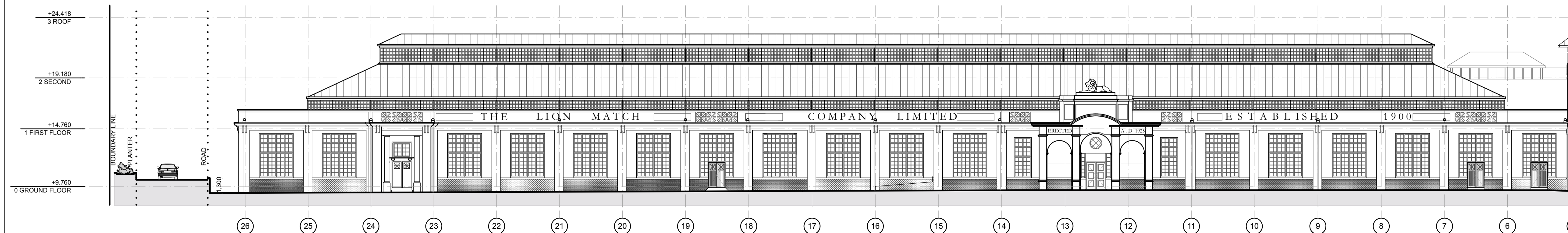
SOUTH SECTIONAL ELEVATION
SCALE 1 : 200



EAST ELEVATION
SCALE 1 : 200



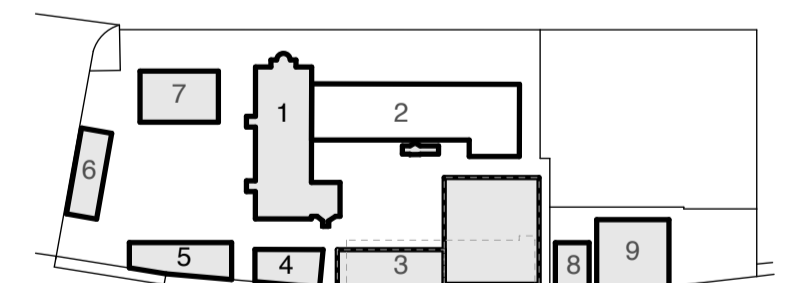
PARTIAL EAST ELEVATION
SCALE 1 : 200



WEST ELEVATION
SCALE 1 : 200

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LMP | key plan



LION MATCH PARK | ZONE 02

ERF : 2052
892 UMGENI ROAD, DURBAN

FOR: J.T. ROSS

02_E_ELEVATIONS

DATE	DATE	DATE	DATE	DATE	DATE
PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01	E	GA	200	00

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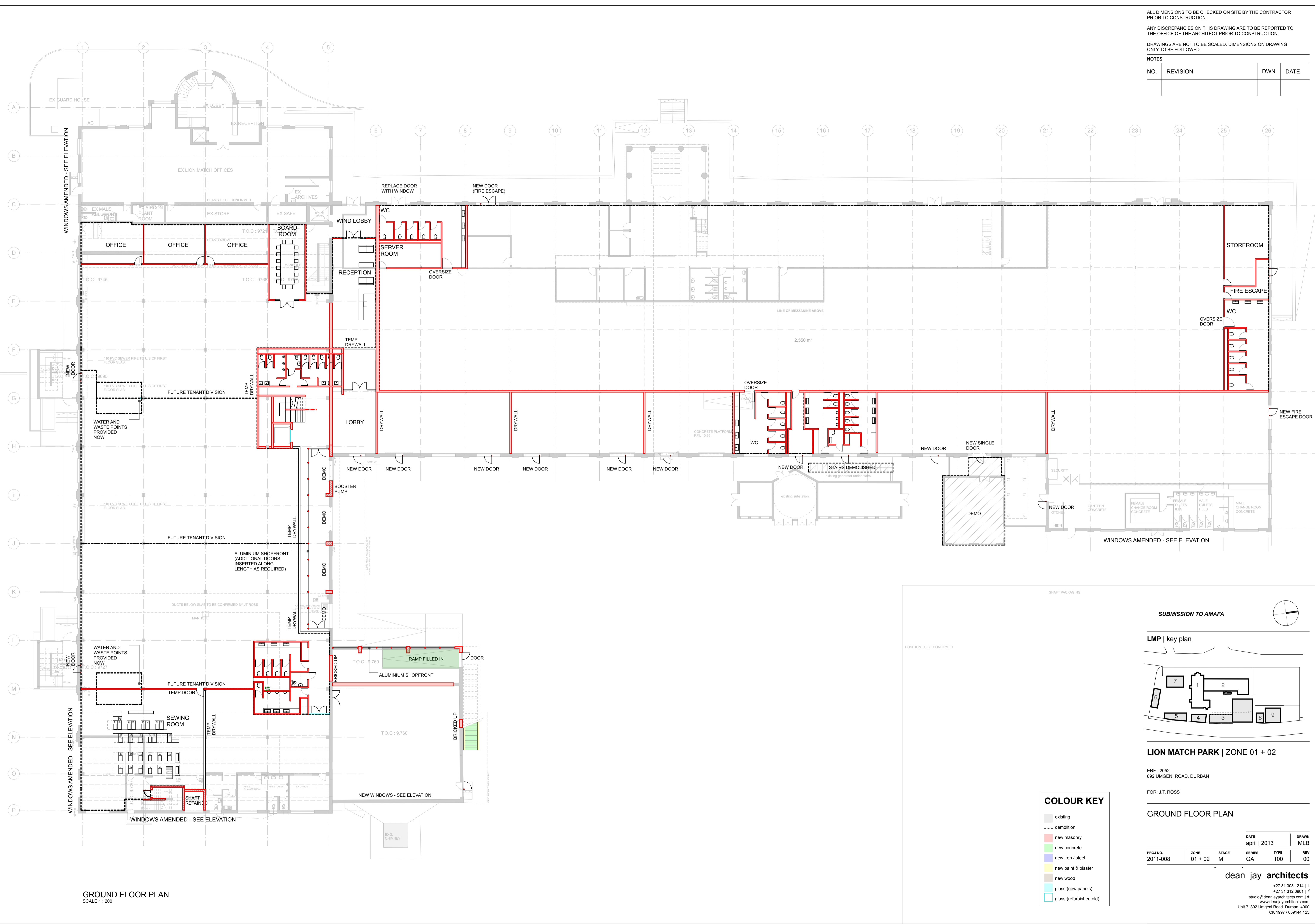
Zone 01 + 02 | proposed drawings

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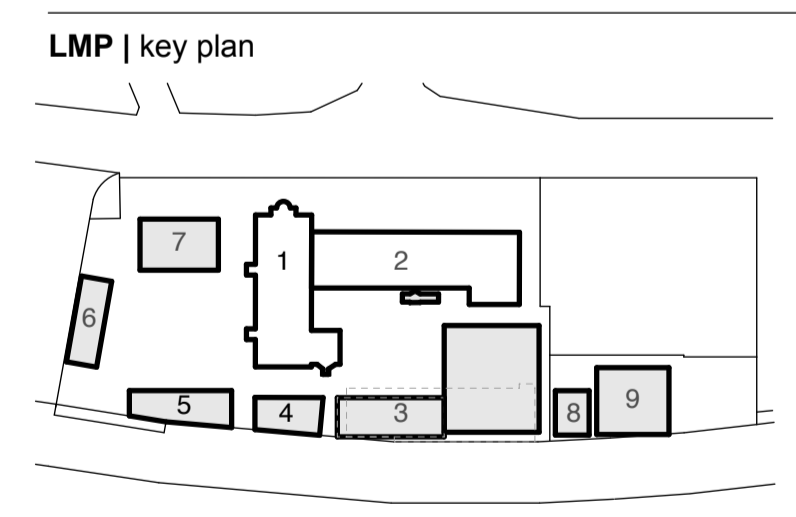


GROUND FLOOR PLAN
SCALE 1:200

COLOUR KEY

- existing
- demolition
- new masonry
- new concrete
- new iron / steel
- new paint & plaster
- new wood
- glass (new panels)
- glass (refurbished old)

SUBMISSION TO AMAFA



LION MATCH PARK | ZONE 01 + 02

ERF : 2052
802 UMGENI ROAD, DURBAN
FOR: J.T. ROSS

GROUND FLOOR PLAN

DATE	DRAWN
april 2013	MLB

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01 + 02	M	GA	100	00

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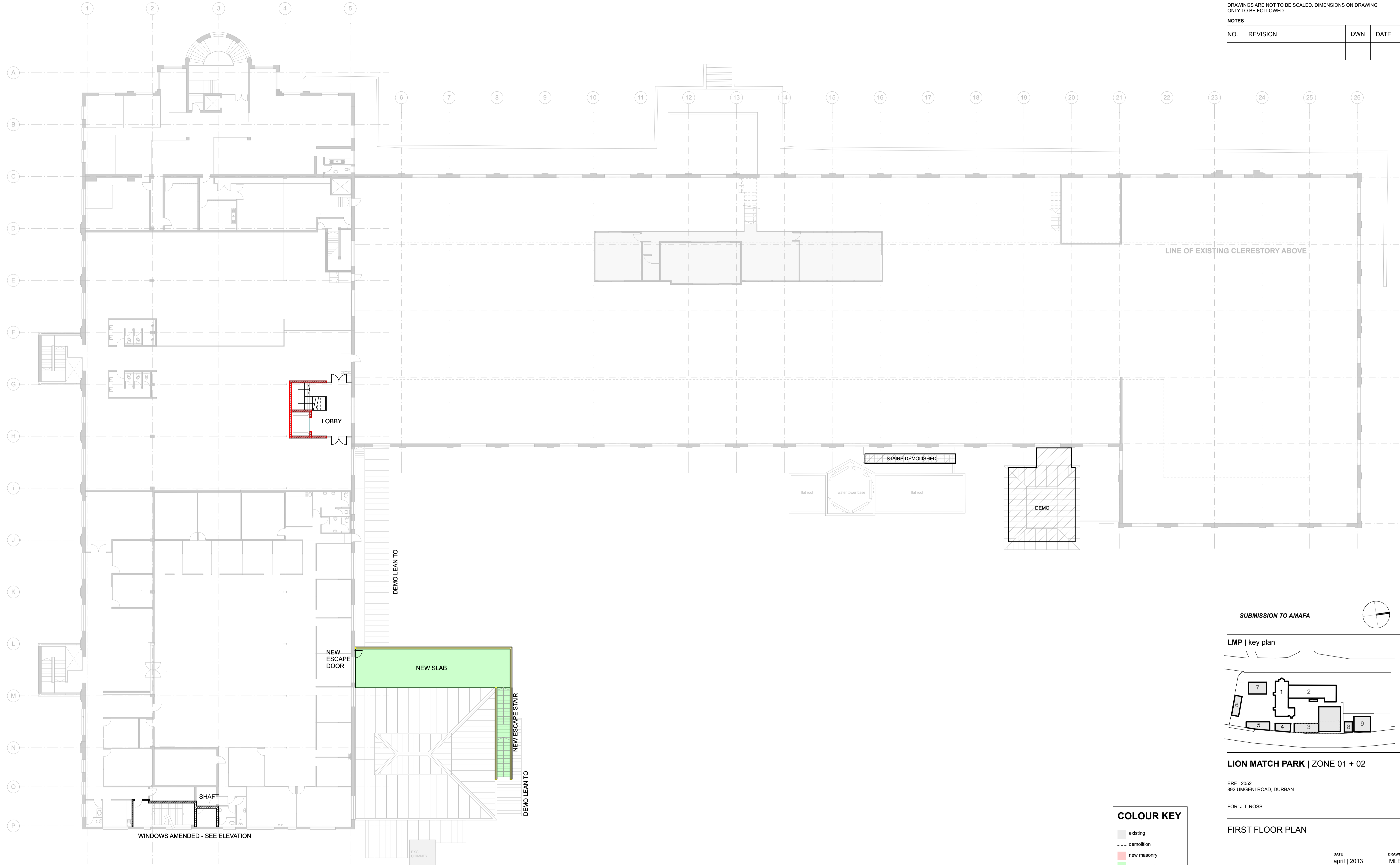
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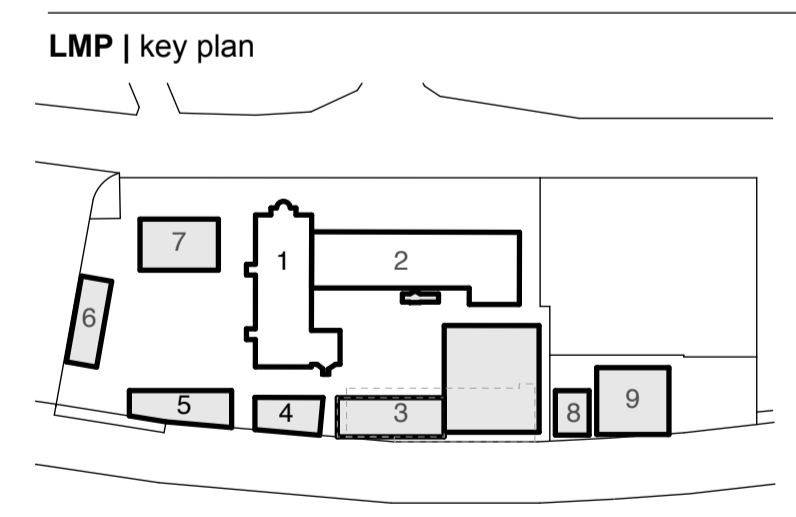


FIRST FLOOR PLAN
SCALE 1:200

COLOUR KEY

- existing
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LION MATCH PARK | ZONE 01 + 02

ERF : 2052
892 UMGENI ROAD, DURBAN

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FIRST FLOOR PLAN

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01 + 02	M	GA	101	00

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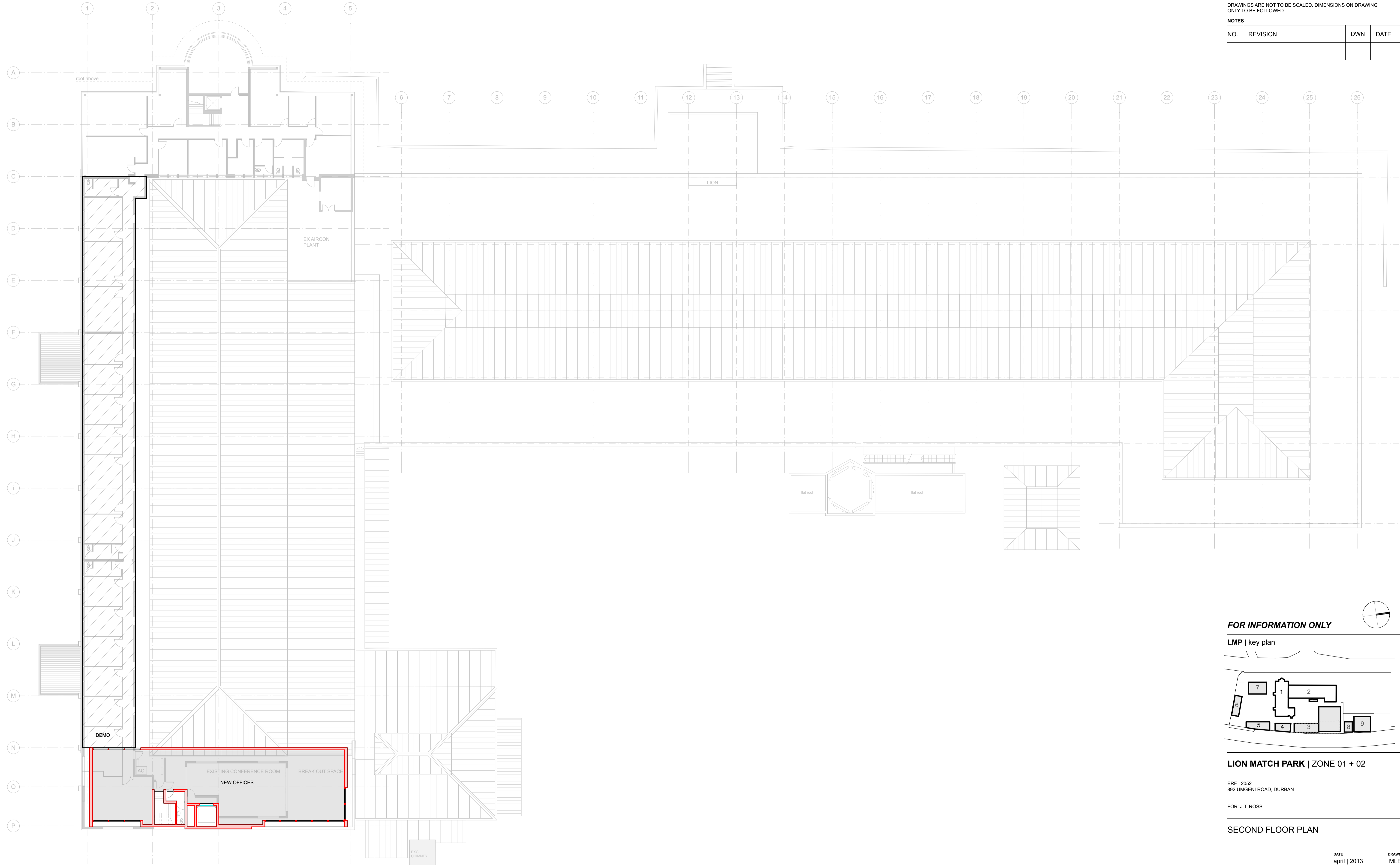
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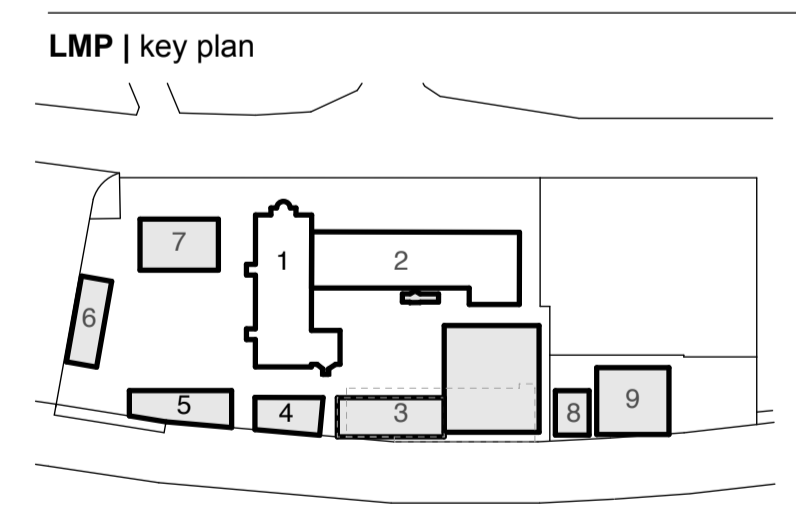
NOTES

NO.	REVISION	DWN	DATE



SECOND FLOOR PLAN
SCALE 1:200

FOR INFORMATION ONLY



LION MATCH PARK | ZONE 01 + 02

ERF : 2052
802 UMGENI ROAD, DURBAN
FOR: J.T. ROSS

SECOND FLOOR PLAN

DATE	DRAWN
april 2013	MLB

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01 + 02	M	GA	102	00

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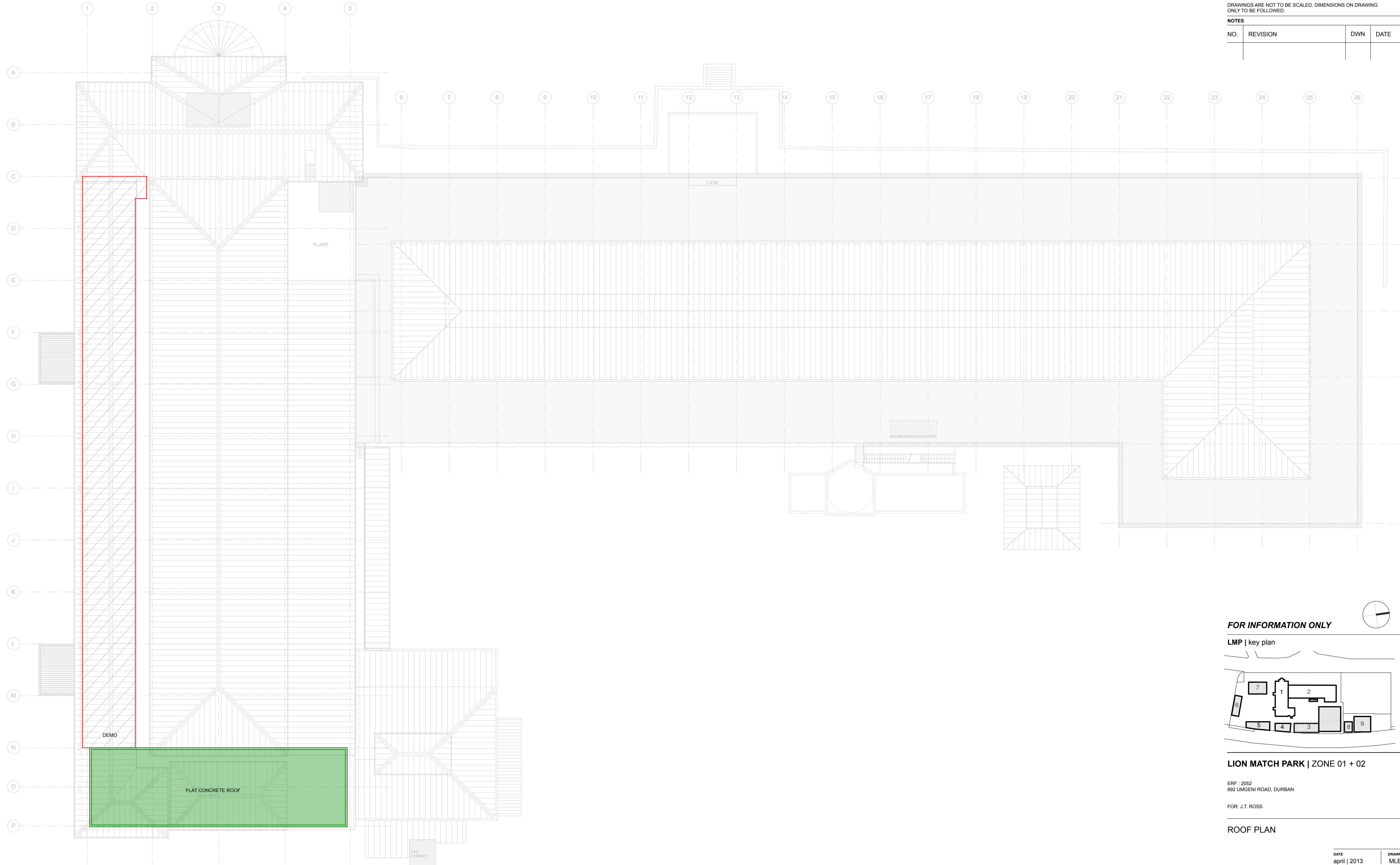
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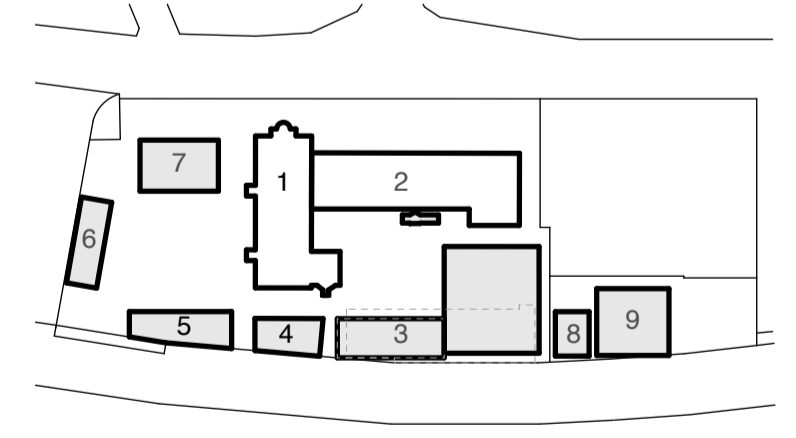
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LMP | key plan



LION MATCH PARK | ZONE 01 + 02

ERF : 2052
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FOR: J.T. ROSS

ROOF PLAN

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01 + 02	M	GA	103	00

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ROOF FLOOR PLAN
SCALE 1 : 200

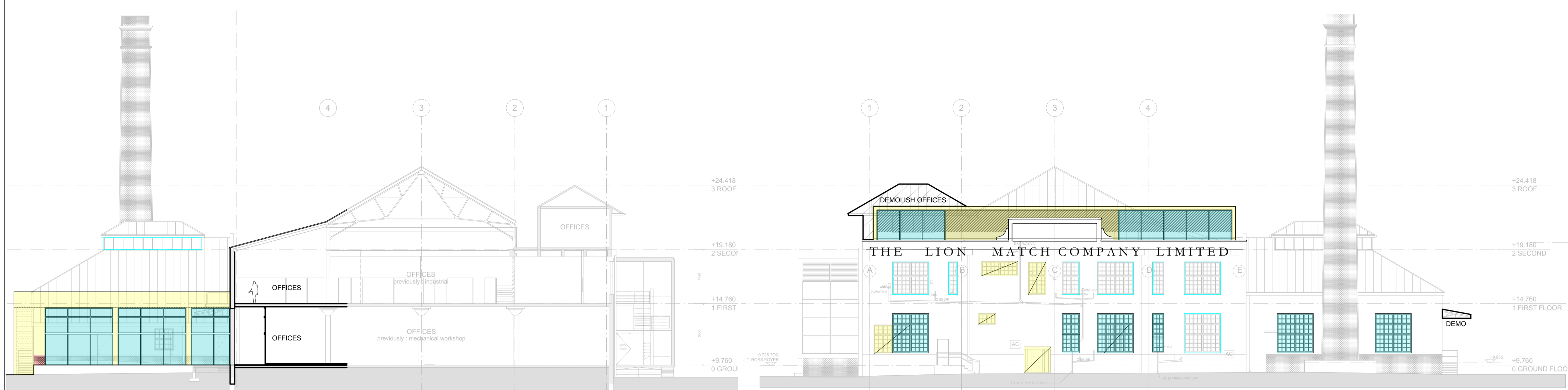
ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

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DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS ON DRAWING ONLY TO BE FOLLOWED.

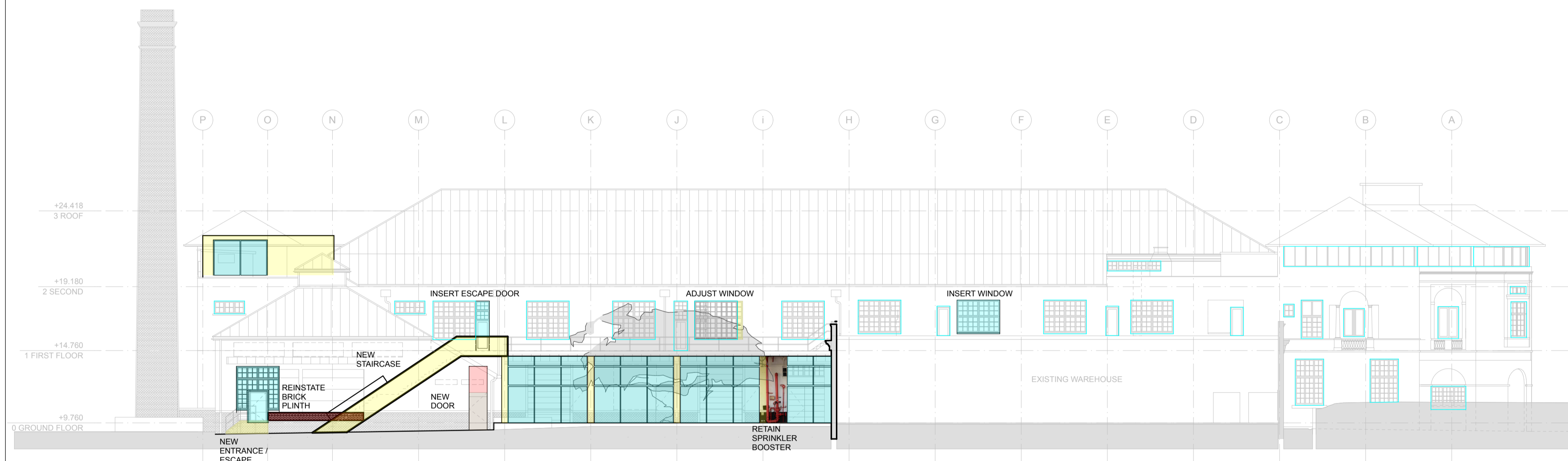
NOTES

NO.	REVISION	DWN	DATE



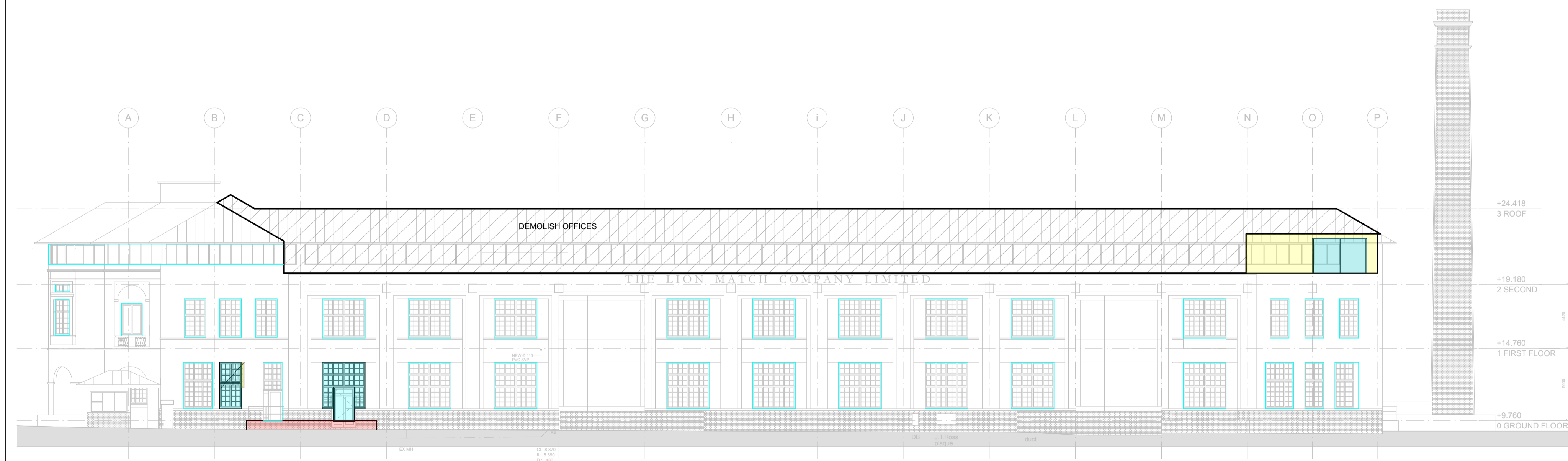
WEST ELEVATION / PART SECTION
SCALE 1 : 200

EAST ELEVATION
SCALE 1 : 200



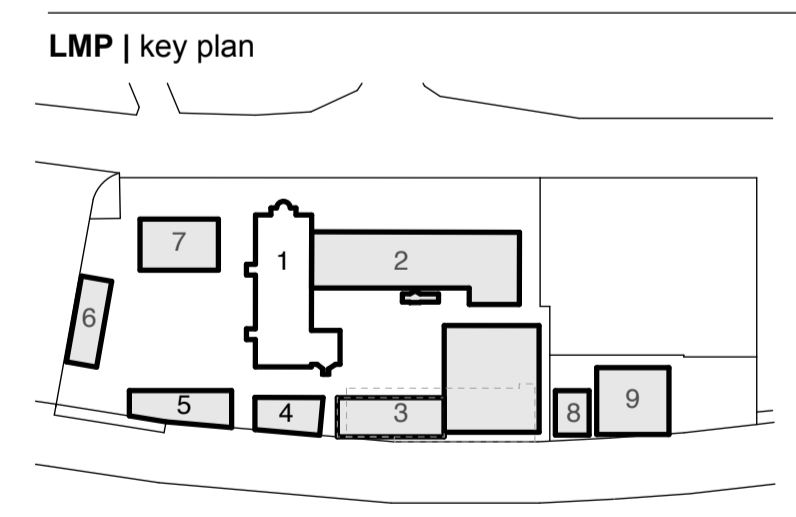
NORTH ELEVATION
SCALE 1 : 200

WEST ELEVATION
SCALE 1 : 200



SOUTH ELEVATION
SCALE 1 : 200

SUBMISSION TO AMAFA



LION MATCH PARK | ZONE 01

ERF : 2052
802 UMGENI ROAD, DURBAN
FOR: J.T. ROSS

Zone 01_ELEVATIONS

COLOUR KEY

- existing
- demolition
- new masonry
- new concrete
- new iron / steel
- new paint & plaster
- new wood
- glass (new panels)
- glass (refurbished old)

DATE	DRAWN
april 2013	MLB

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	01	M	GA	200	00

dean jay architects
+27 31 303 1214 | f
+27 31 312 0901 | f
studio@deanjayarchitects.com | e
www.deanjayarchitects.com
Unit 7 892 Umgeni Road Durban 4000
CK 1997 / 059144 / 23

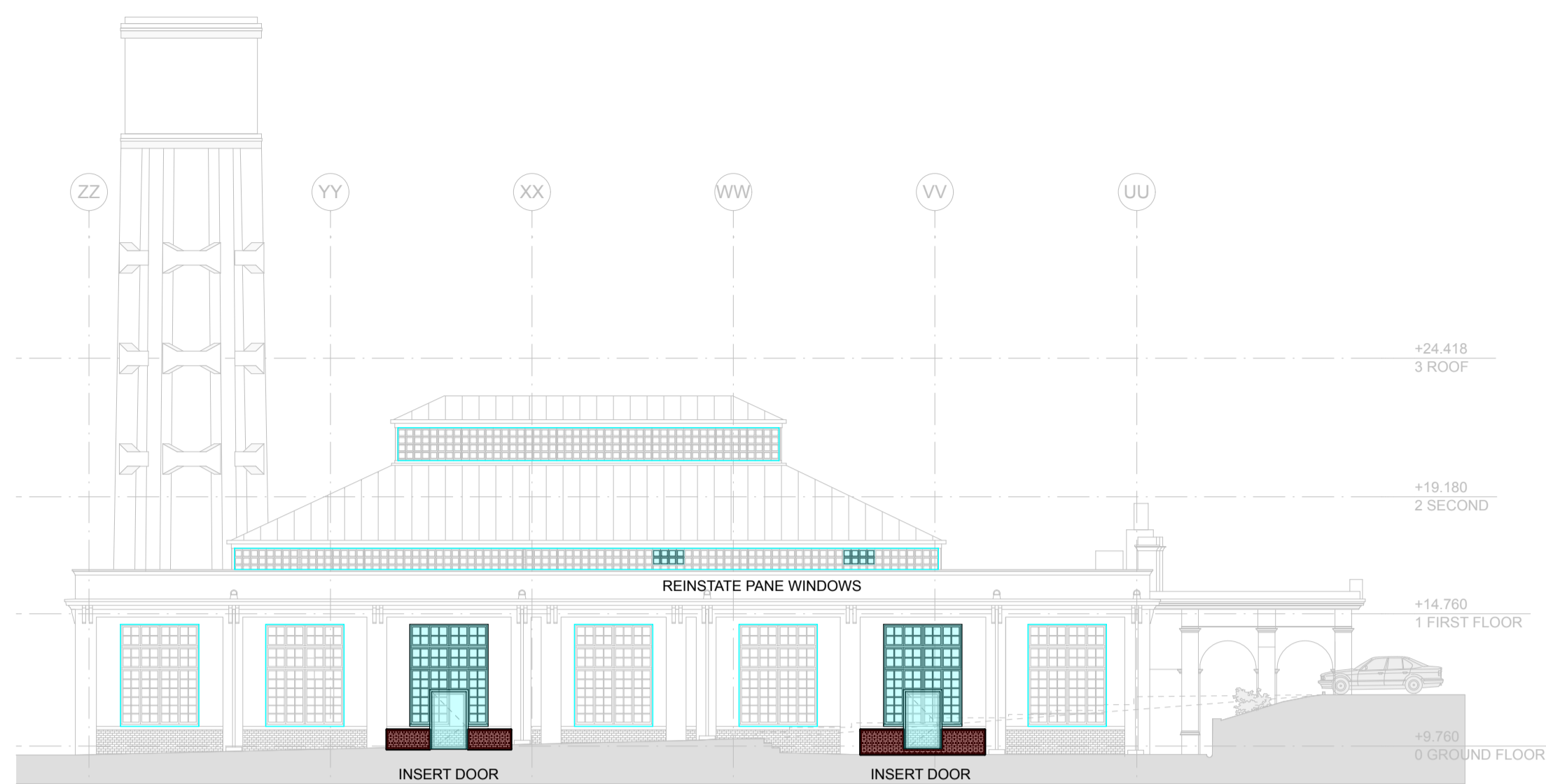
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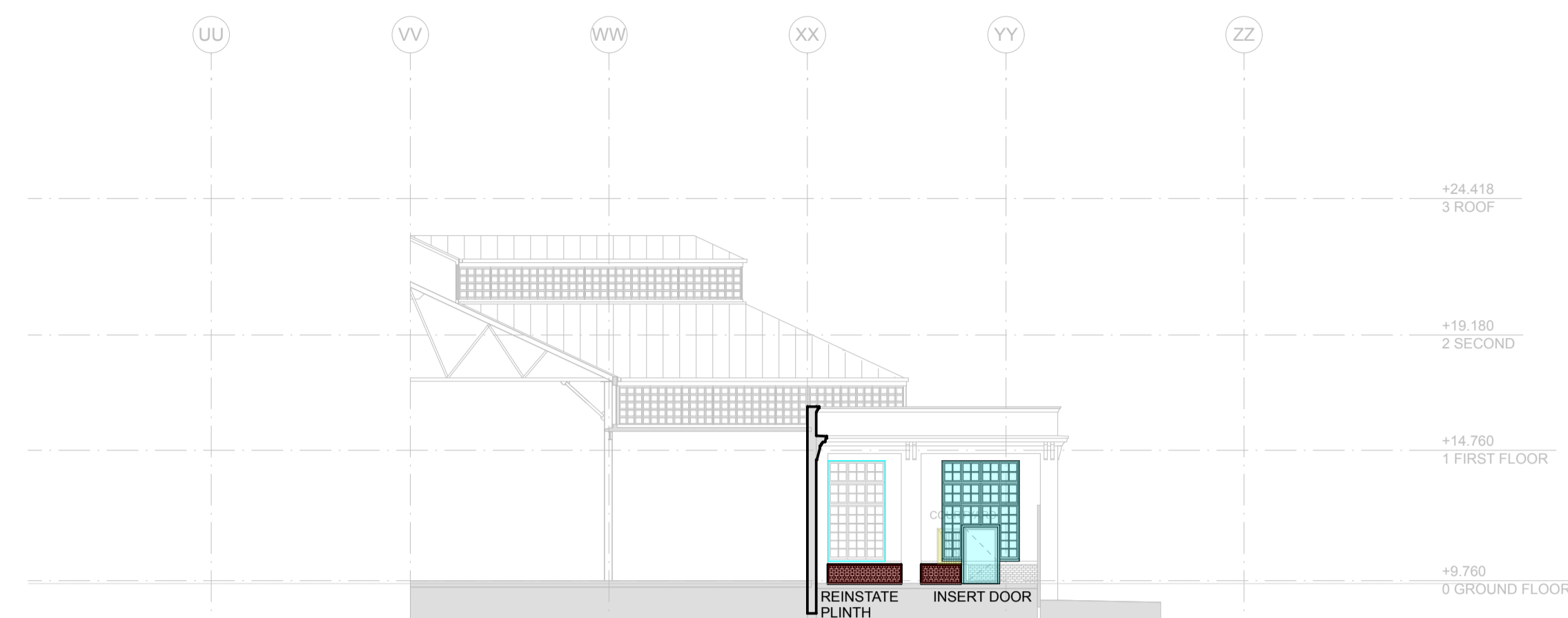
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NOTES

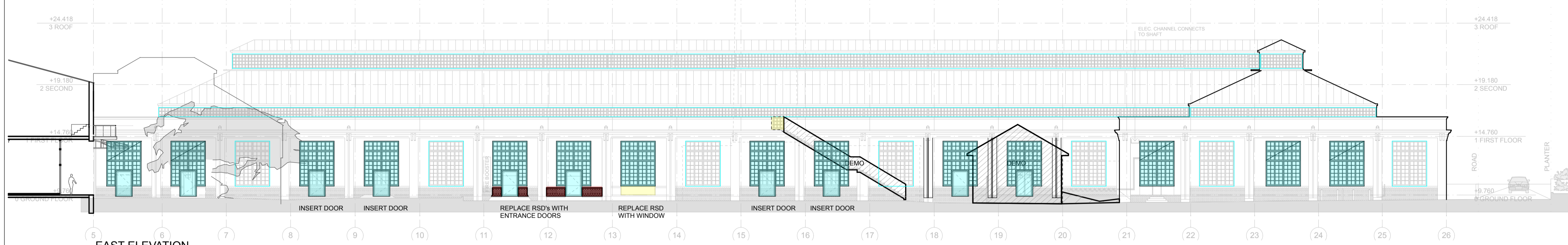
NO.	REVISION	DWN	DATE



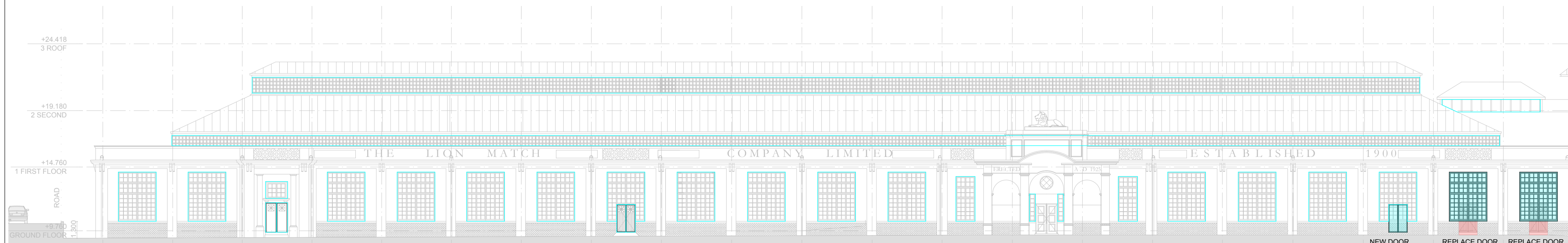
NORTH ELEVATION
SCALE 1:200



SOUTH SECTIONAL ELEVATION
SCALE 1:200



EAST ELEVATION
SCALE 1:200

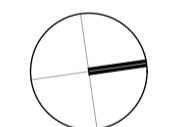


WEST ELEVATION
SCALE 1:200

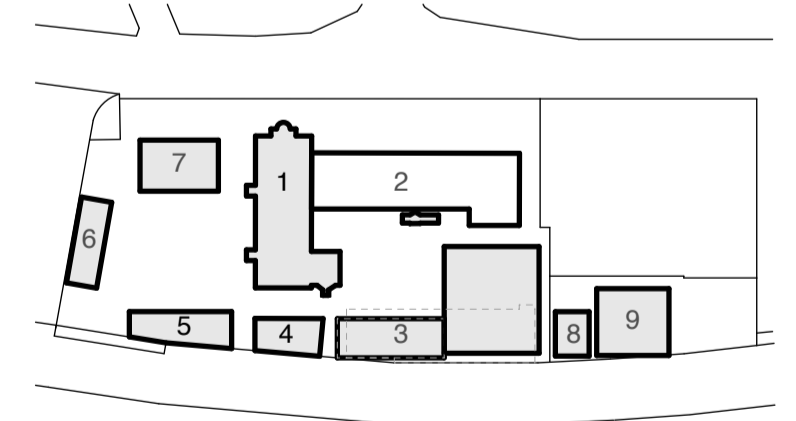
COLOUR KEY

- existing
- demolition
- new masonry
- new concrete
- new iron / steel
- new paint & plaster
- new wood
- glass (new panels)
- glass (refurbished old)

SUBMISSION TO AMAFA



LMP | key plan



LION MATCH PARK | ZONE 02

ERF : 2052
892 UMGENI ROAD, DURBAN

FOR: J.T. ROSS

Zone 02_ELEVATIONS

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011-008	02	M	GA	200	00

dean jay architects

+27 31 303 1214 | 1
+27 31 312 0901 | f
studio@deanjayarchitects.com | e
www.deanjayarchitects.com
Unit 7 892 Umgeni Road Durban 4000
CK 1997 / 059144 / 23

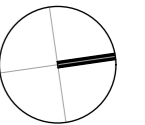
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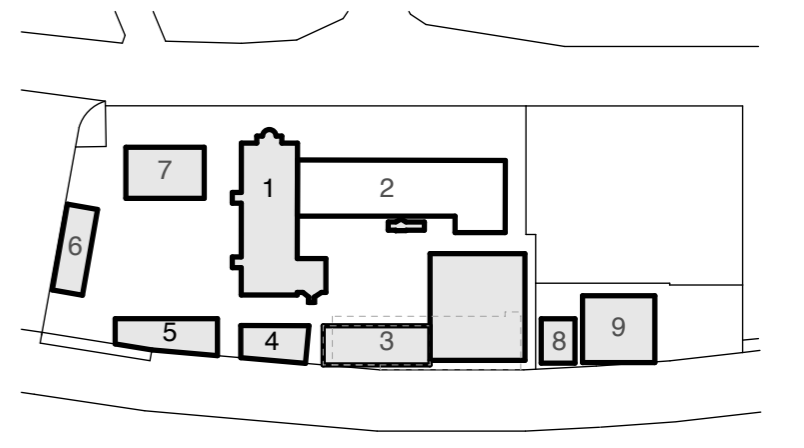
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NOTES

NO.	REVISION	DWN	DATE



LMP | key plan



LION MATCH PARK |

ERF : 2052
892 UMGENI ROAD, DURBAN

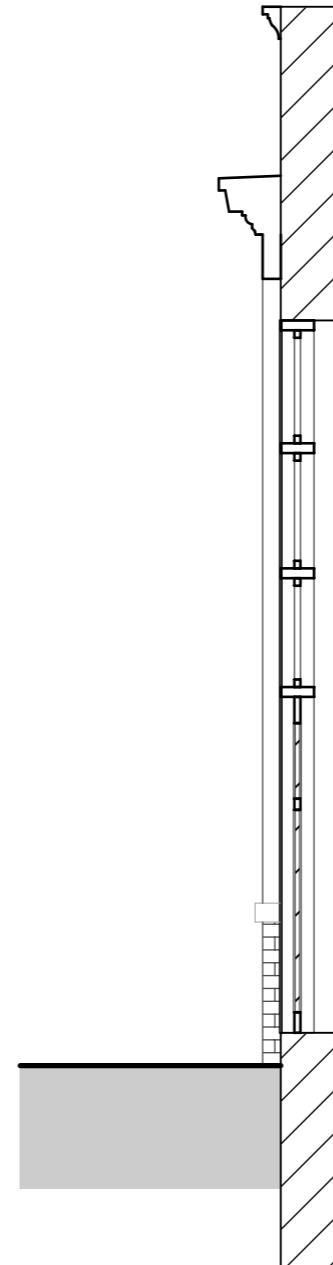
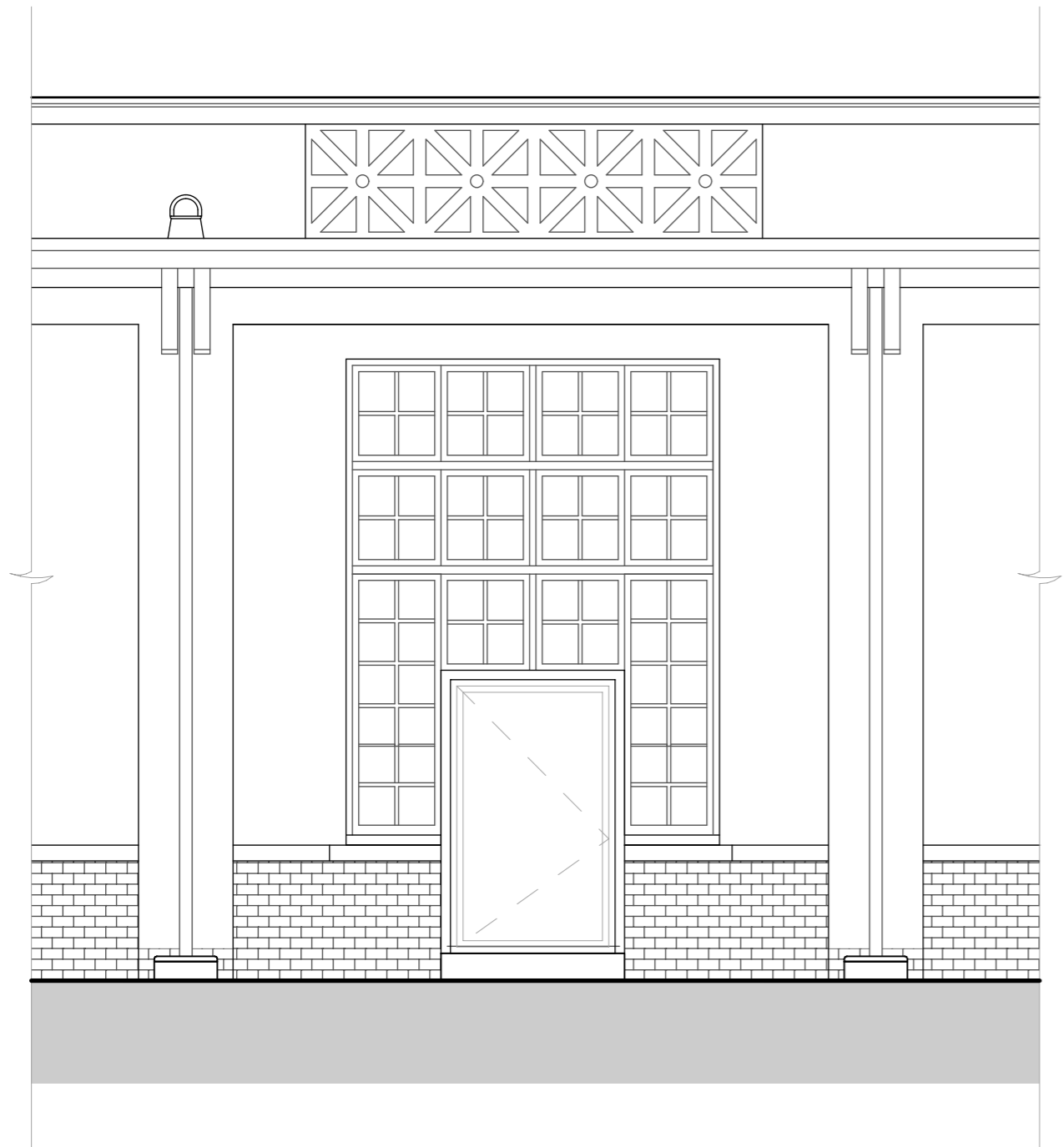
FOR: J.T. ROSS

PROPOSED DOOR TREATMENT DETAIL

PROJ NO.	ZONE	STAGE	SERIES	TYPE	REV	DATE	DRAWN
2011-008	02	M	DT	01		april 2013	GKS

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studio@deanjayarchitects.com | e
www.deanjayarchitects.com
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CK 1997 / 059144 / 23



TYPICAL DOOR TREATMENT DETAIL | PROPOSED
SCALE 1 : 50

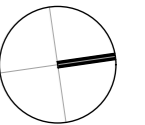
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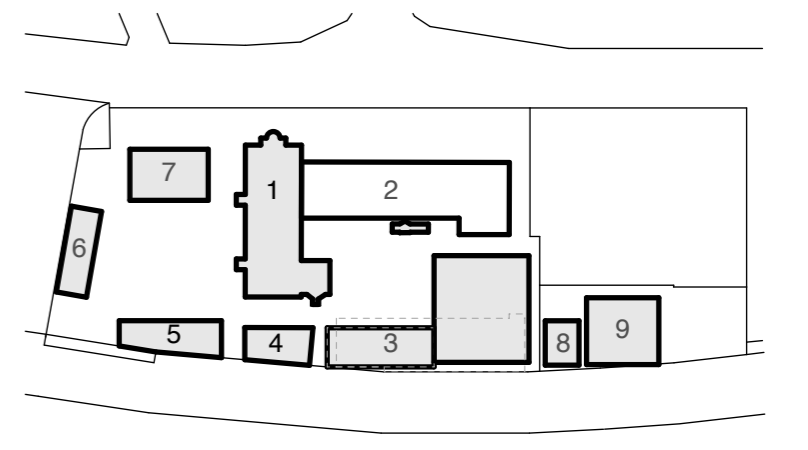
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NOTES

NO.	REVISION	DWN	DATE



LMP | key plan



LION MATCH PARK |

ERF : 2052
892 UMGENI ROAD, DURBAN

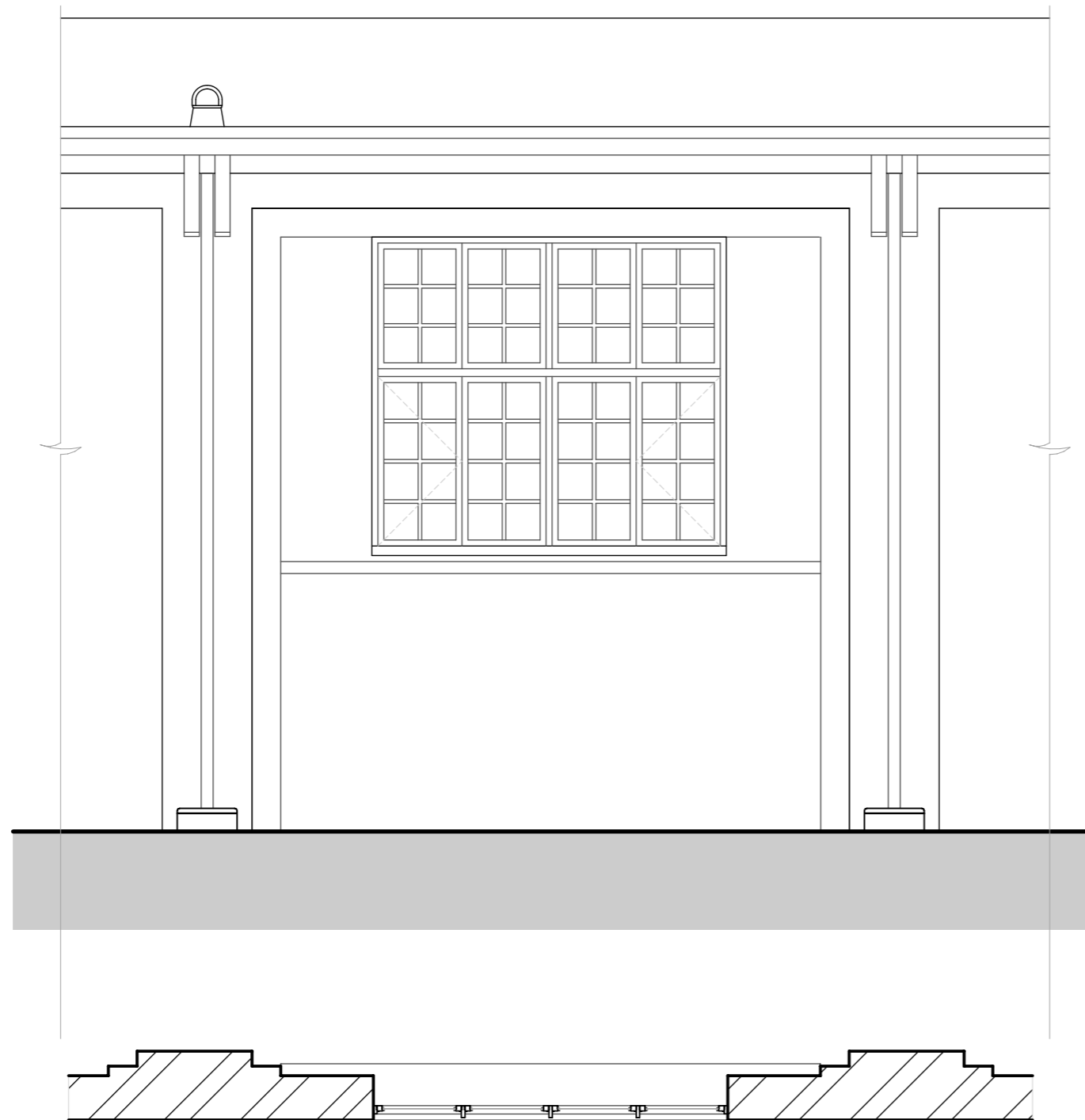
FOR: J.T. ROSS

EXISTING WINDOW TREATMENT DETAIL

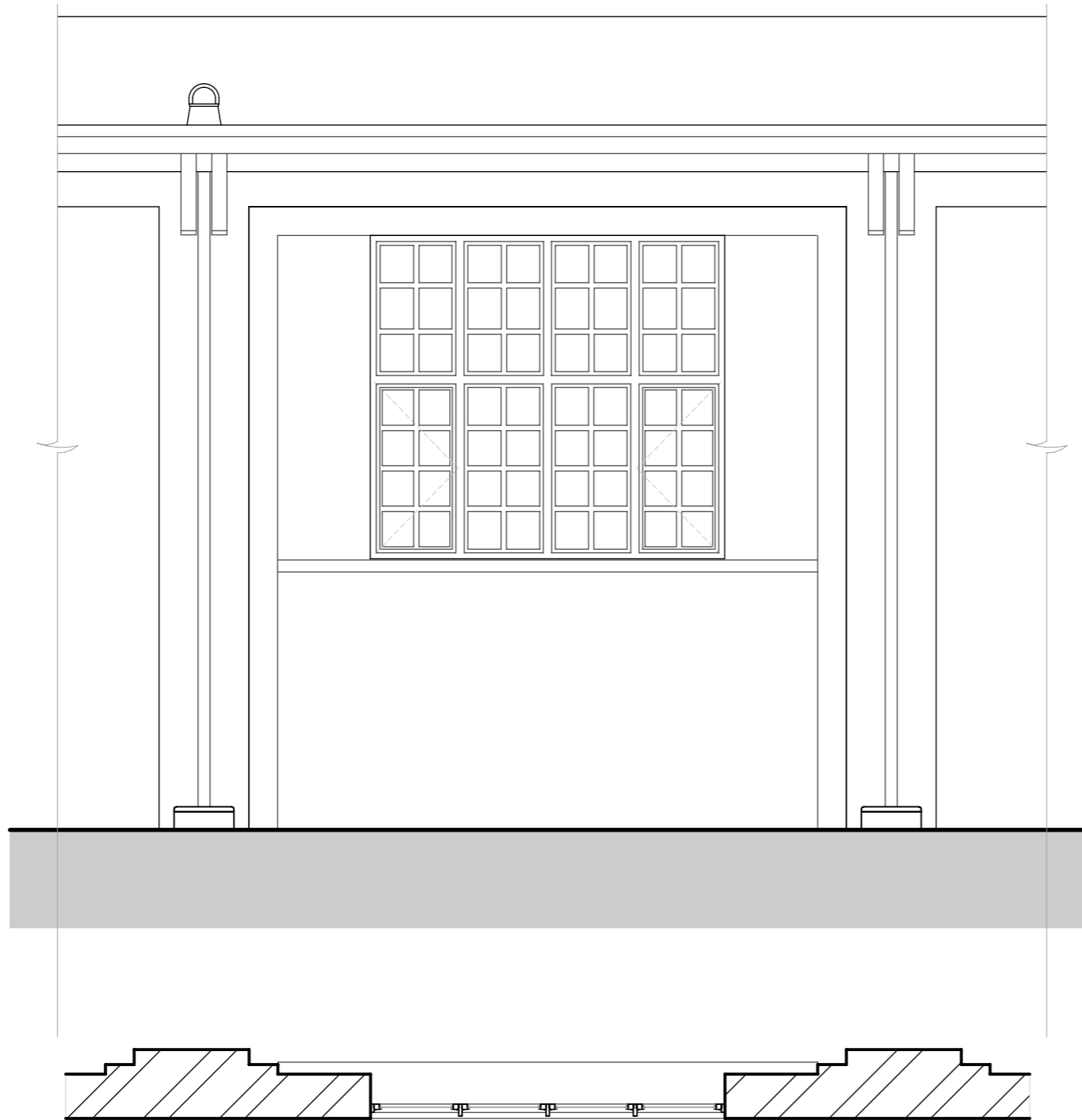
PROJ NO.	ZONE	STAGE	SERIES	TYPE	REV	DATE	DRAWN
2011-008	02	M	DT	02		april 2013	GKS

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studio@deanjayarchitects.com | e
www.deanjayarchitects.com
Unit 7 892 Umgeni Road Durban 4000
CK 1997 / 059144 / 23



TYPICAL TIMBER WINDOW ELEVATION | EXISTING
SCALE 1 : 50



TYPICAL ALUMINIUM WINDOW ELEVATION | PROPOSED
SCALE 1 : 50

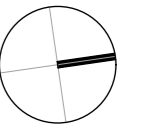
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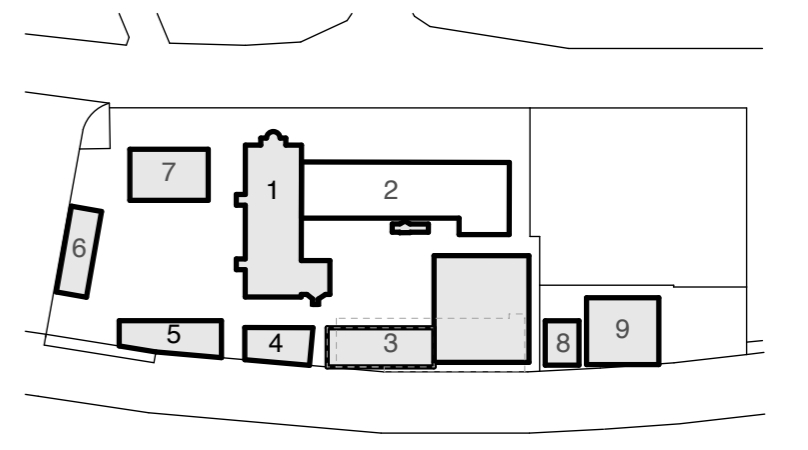
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NOTES

NO.	REVISION	DWN	DATE



LMP | key plan



LION MATCH PARK |

ERF : 2052
892 UMGENI ROAD, DURBAN

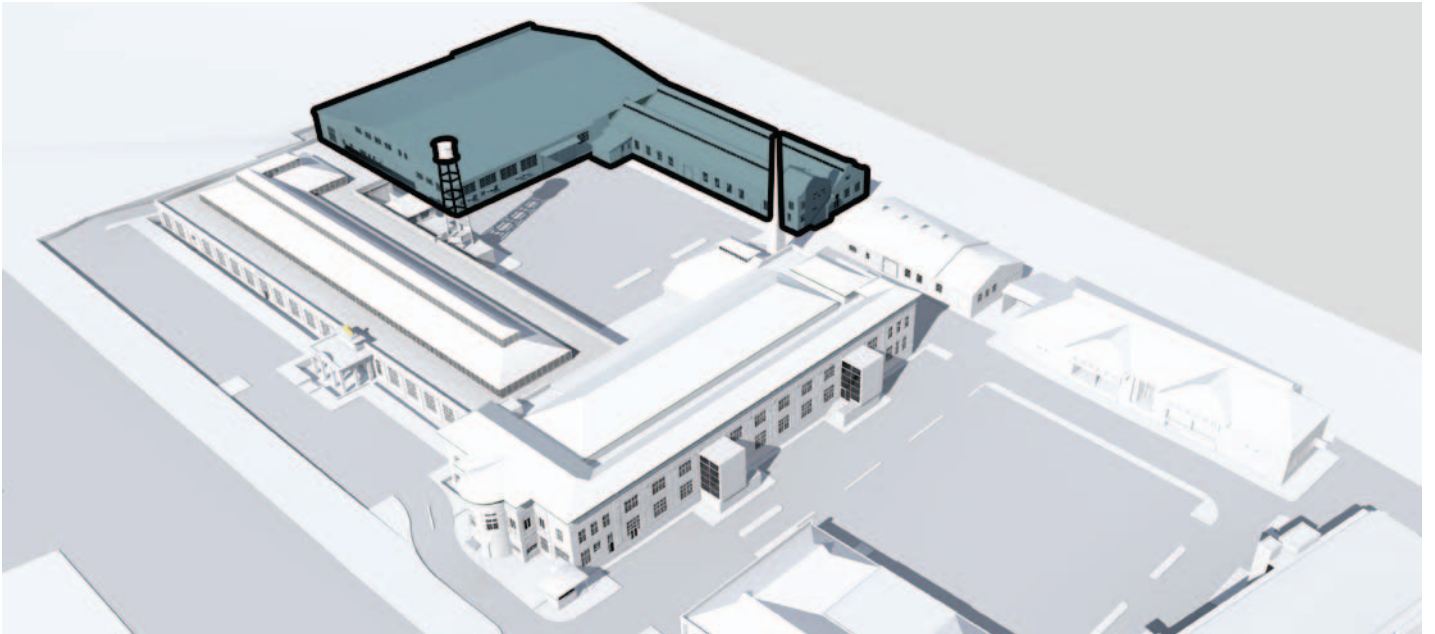
FOR: J.T. ROSS

PROPOSED WINDOW TREATMENT DETAIL

PROJ NO.	ZONE	STAGE	SERIES	TYPE	REV	DATE	DRAWN
2011-008	02	M	DT	03		april 2013	GKS

dean jay architects

+27 31 303 1214 | t
+27 31 312 0901 | f
studio@deanjayarchitects.com | e
www.deanjayarchitects.com
Unit 7 892 Umgeni Road Durban 4000
CK 1997 / 059144 / 23

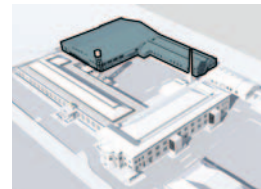


Zone 03 I proposed demolition of Shaft Packaging building

please refer to drawings to follow :

ZONE 03 Existing
ZONE 03 Proposed

zone 03 | existing



zone 03 | northern neighbour

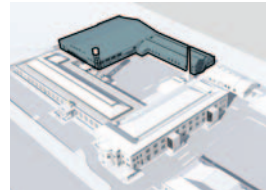


zone 03 | west elevation



zone 03 | southern neighbour

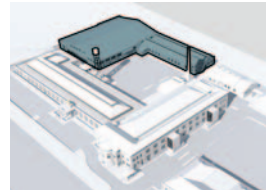
zone 03 | existing



zone 03 | south west corner



zone 03 | warehouse interiors

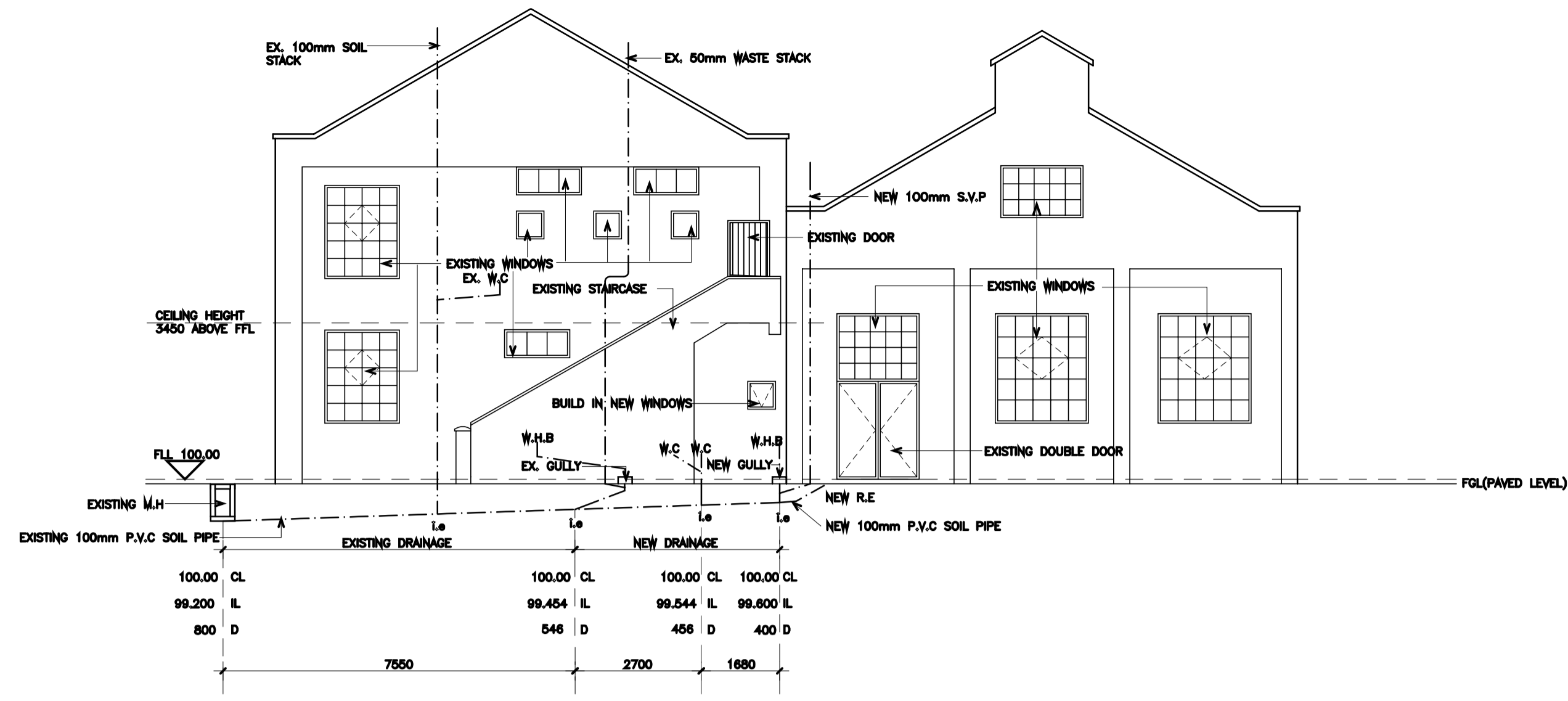


zone 03 | trusses showing borer holes

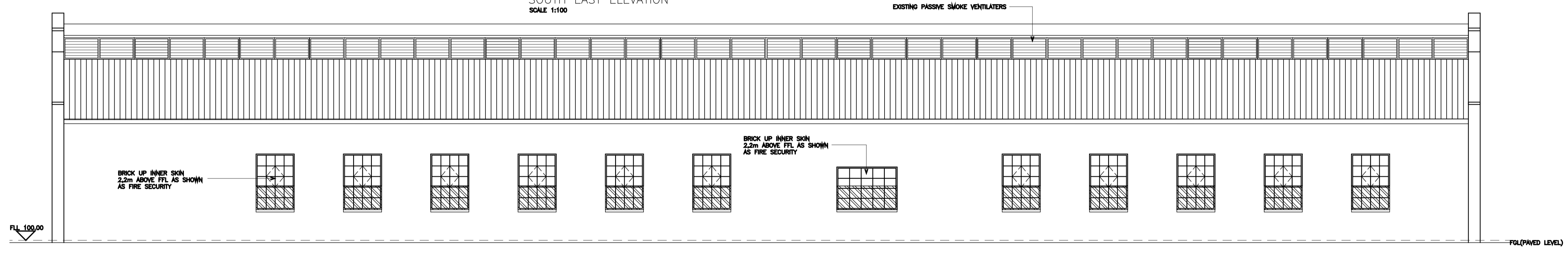


zone 03 | structural cracks and borer infestation

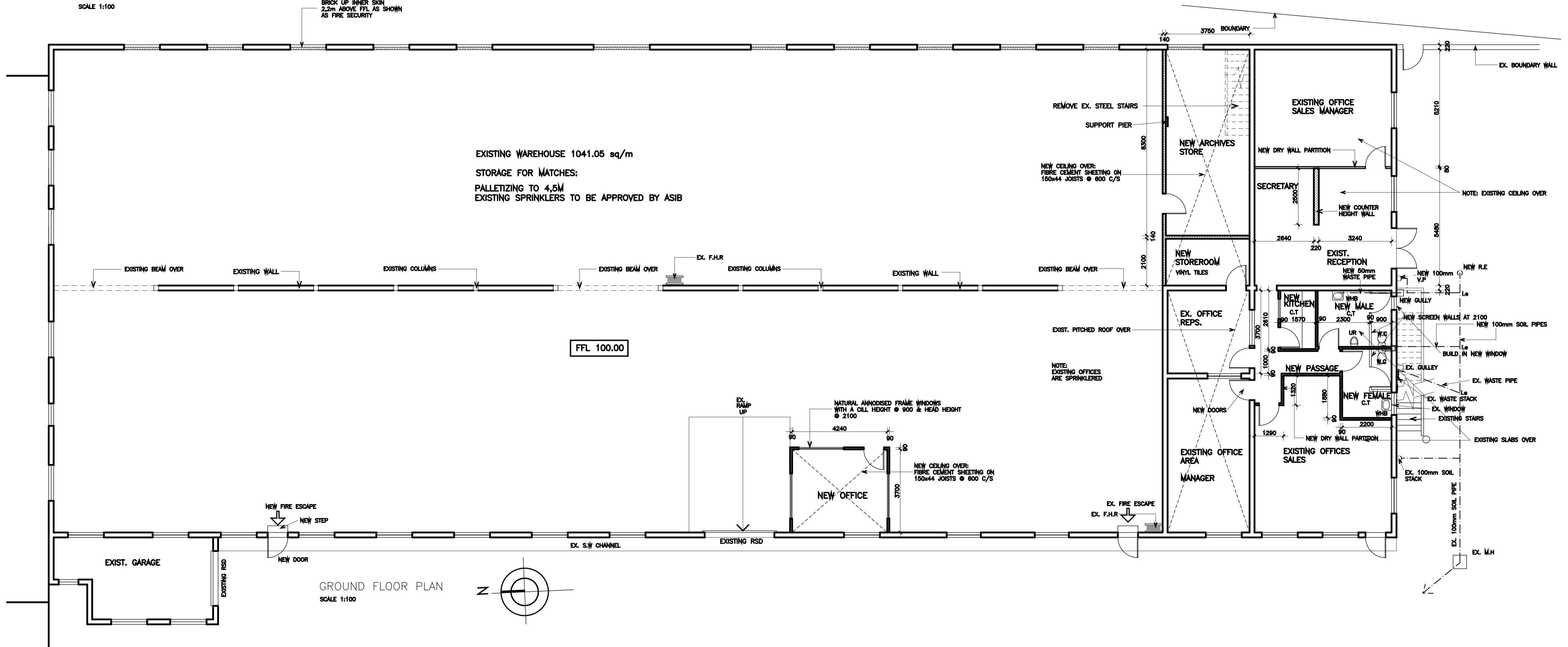
Zone 03 I existing drawings



SOUTH EAST ELEVATION
SCALE 1:100

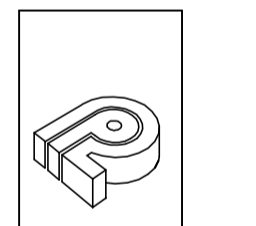


SOUTH EAST ELEVATION
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100

GENERAL NOTE:
ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE THE COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.



PETER RIES ARCHITECTS

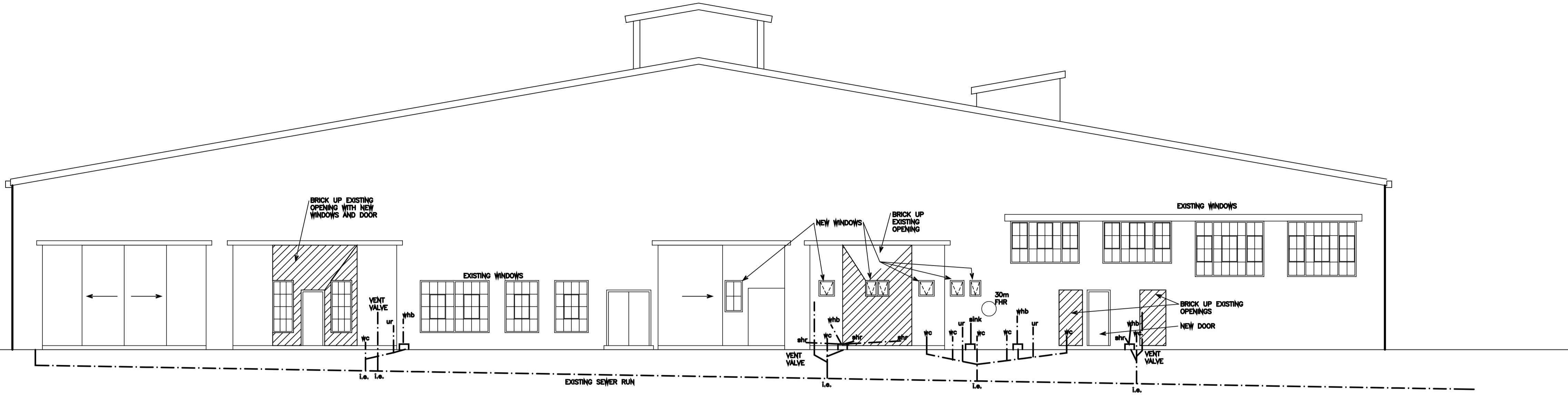
SUITE 3 VILLAGE OFFICE PARK, 2 INKONKA ROAD, KLOOF.
TEL/FAX (031)7645072, PO BOX 998 KLOOF 3640.
PETER RY RIES B. ARCH. (NATAL) ARCH. S.A. M I A.

PROJECT
ALTERATIONS & ADDITIONS
FOR FASIC AFRICA (PTY) LTD
ON THE LION MATCH PREMISES
BEING ERF 2052 AT
892 UMGENI ROAD
DURBAN

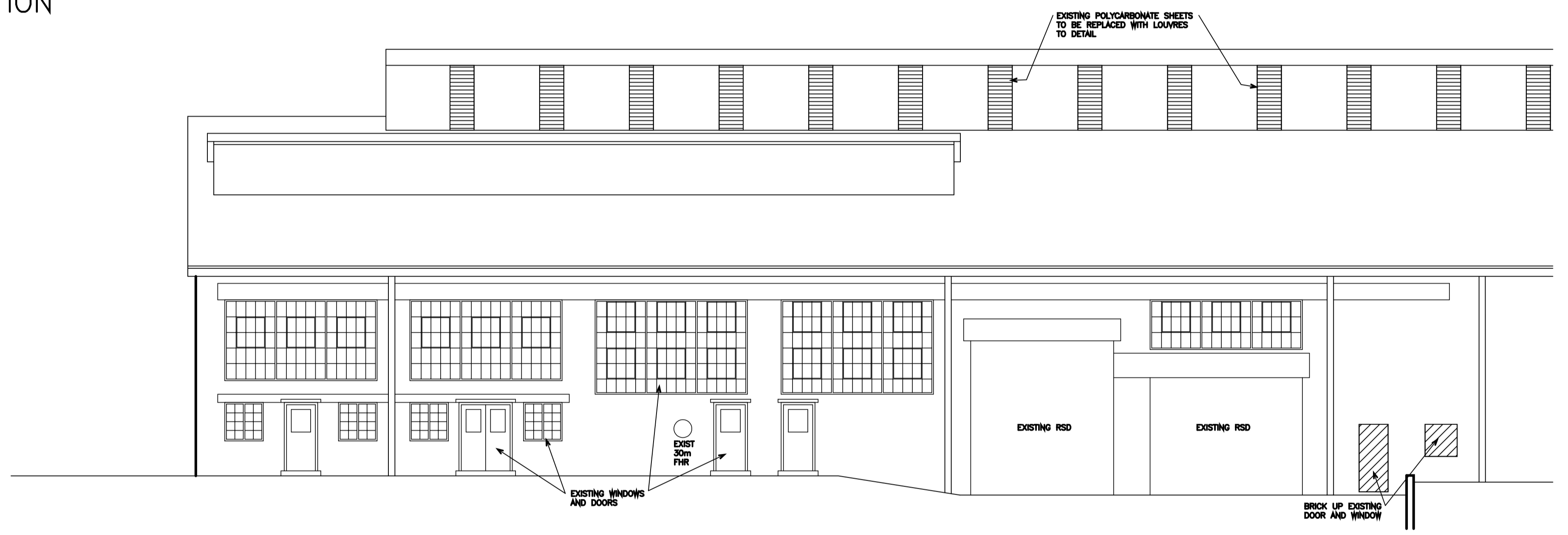
DRAWING
SUBMISSION DRAWING

SCALE 1:100	DATE 03/06/2002	DRAWN G.B.P.K
PROJECT 390	DRAWING 03	REV. ○

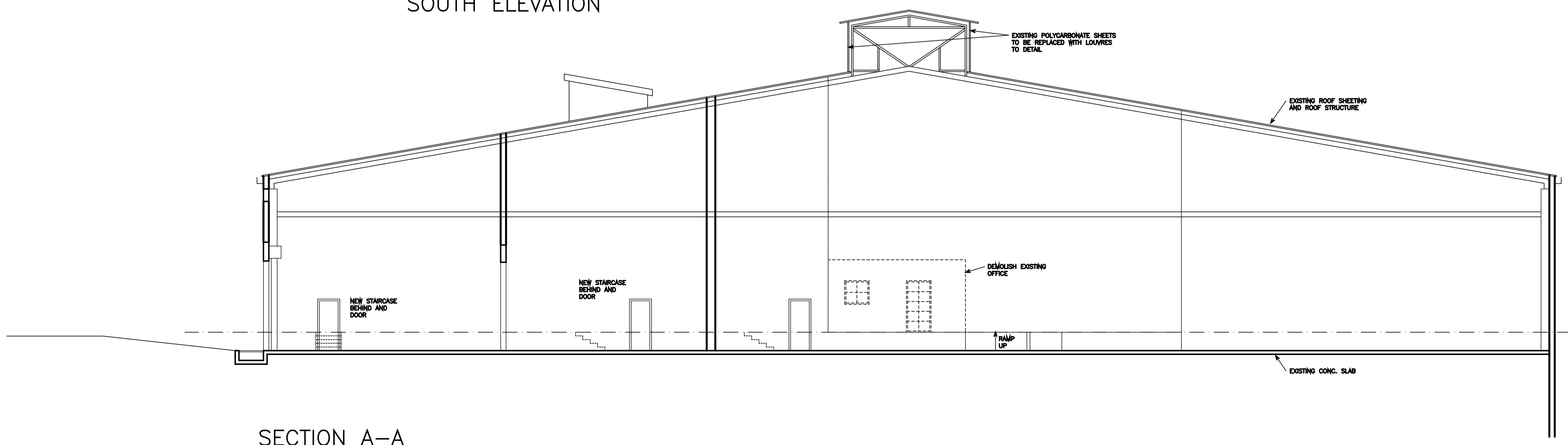
GENERAL NOTE:
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WEST ELEVATION

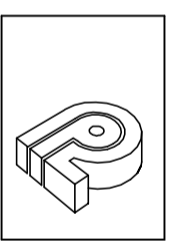


SOUTH ELEVATION



SECTION A-A

OWNER



PETER RIES ARCHITECTS

SUITE 3 VILLAGE OFFICE PARK, 2 INKONKA ROAD, KLOOF.
 TEL/FAX (031)7645072, PO BOX 998 KLOOF 3640.
 PETER ROY RIES B. ARCH. (NATAL) ARCH. S.A. M I A.

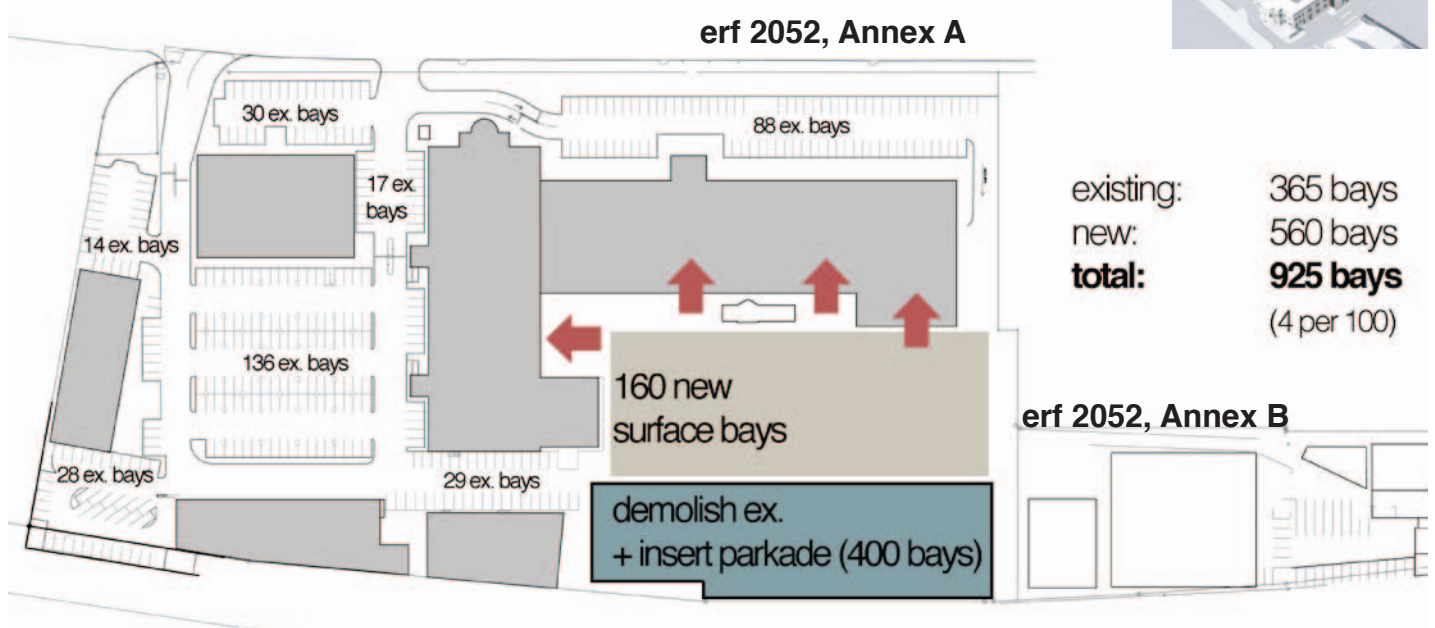
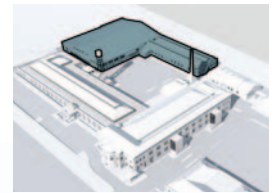
PROJECT
 INTERNAL ALTERATIONS TO EXISTING WAREHOUSE FOR J.T. ROSS AND SHAFT PACKAGING ON THE LION MATCH PREMISES BEING ERF 2052 AT 892 UMGENI ROAD DURBAN

DRAWING
 SOUTH AND WEST ELEVATIONS AND SECTION A-A

SCALE 1:100	DATE 01/2003	DRAWN J.E.F.
-----------------------	------------------------	------------------------

PROJECT 402	DRAWING 03	REV. ○
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zone 03 I proposal



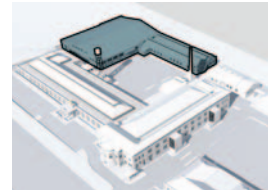
Zone 03 I diagram indicating the proposed parking intervention for the park

The original building was constructed in 1941 and was originally used as a cardboard storage facility for the lion match company. It later became an engineers workshop and is currently it is used as storage with a small office component. Architecturally the building is of Union Period style. In 1964 a storage facility was built perpendicular to the building and both buildings had minor alterations in 2002 and 2003 by Peter Ries architects. The buildings are up against the railway to the east, milady;s head office to the north (annex B) and are adjacent to the main Lion Match Park building (zone 02).

The building has since fallen into a dilapidated condition as a combination of rain entering through the vents and severe borer has deteriorated the trusses of the asbestos roof, which has inevitably created health and safety issues.

This application seeks for a demolition permit for these 2 buildings in order to achieve the following :

1. To free up the park in terms of low-rise bulk – which will then allow the main Lion Match Park buildings (zone 01 + 02) to stand out in their site.
2. The demolition of these buildings will allow the neighbouring site, erf 2052 Annex B, to once again be a part of the site.
3. To create tree lined yet formalised parking area (160) in the courtyard. The trees will help combat the heat island the site finds itself in.
4. The overall vision for the park is to increase the number of commercial entities in the precinct, which will then lead to an increase in numbers of parking needed. Sub-terranean parking was not an option due to the water table being too high in this area. In addition, basement parking would not allow for the substantial vegetation proposed for the park. By creating a multi storey parking lot (400) in this zone, the aim is to keep the majority of cars in one area. This will aid in the overall vision of the park to operate better as a pedestrian-orientated precinct.



Amafa AkwaZulu-Natali
Heritage KwaZulu-Natal
Erfenis KwaZulu-Natal



PO Box 2685
Pietermaritzburg 3200

Tel: 033 394 6543

Fax: 033 394 6552

Email: built.enviro@amafapmb.co.za

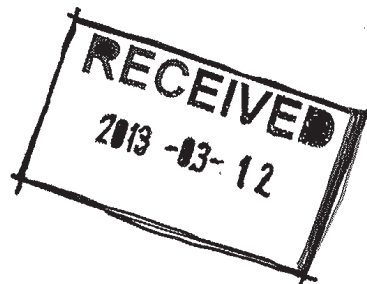
Website: www.heritagekzn.co.za

Ref: 10/3Dbn/02 12/514L

08 February 2013

JOHN ROSS
J T ROSS PROPERTIES (PTY) LTD
BOX 47174,
GREYVILLE, 4023

BY FAX: 031-303 1122
DEAN JAY ARCHITECTS 031-312 0901



Dear JOHN ROSS,

**DEMOLITION OF BUILDING 3 (STORAGE BUILDING AND SHAFT PACKAGING WAREHOUSE);
ALTERATIONS & ADDITIONS TO BUILDINGS 4 & 5: LION MATCH FACTORY, 892 UMGENI
ROAD, DURBAN**

The permit application in respect of the above, received on the 25 February 2013, reviewed by the Amafa Built Environment Committee on the 5 March 2013 refers. Please be advised as follows:

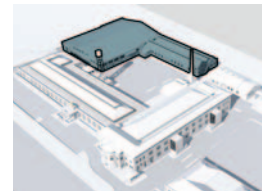
1. The application for Buildings 4 & 5 has been approved.
2. The application for the demolition of Building 3 must be subjected to a public participation process required in terms of the Heritage Act Regulations:
 - a. the application has been advertised in the Government Gazette.
 - b. You are required to consult the owners and occupiers of buildings/sites adjoining the property and across the road (within 100m of the site).
 - c. Contact this office if you require the standard forms and guidelines for this process. Alternatively retrieve them from the above website.
3. If you want approval on the other two buildings without going through the above process, building 3 must be excluded from this application.
4. With regard to future alterations to the Main Building, the committee stated that it would have no objection in principle to the removal of the wall on the ground floor to open the area out into the courtyard or to the removal of the later additions on the roof but reserved all rights of refusal pending the submission of drawings showing details of the proposals.

Six months from the date of the original submission is allowed for the submission of revised drawings or additional information required.

THIS LETTER DOES NOT CONSTITUTE FORMAL APPROVAL OF THE PROPOSAL SUBMITTED.

Yours faithfully,


ROS DEVEREUX
Head: Built Environment Section



09-SEP-2011(FRI) 08:20

P. 001/001

Amafa AkwaZulu-Natali

Heritage KwaZulu-Natal

Erfenis KwaZulu-Natal



PO Box 2685
Pietermaritzburg 3200

Tel: 033 394 6543

Fax: 033 394 6552

Email: built.enviro@amafapmb.co.za

Website: www.heritagekzn.co.za

Ref: 10/3Dbn/02 11/277

08 September 2011

GRANT SMITH
JT ROSS PROPERTIES (Pty) Ltd
P.O.BOX 47174,
GREYVILLE, 4023

BY FAX: JT ROSS 031-303 1122
DEAN JAY 031-312 0901

Dear GRANT SMITH,

DEMOLITION OF STORAGE BUILDING AND SHAFT PACKAGING WAREHOUSE: LION MATCH FACTORY 892 UMGENI ROAD, DURBAN

The permit application in respect of the above, received on the 18 August 2011, was reviewed by the Amafa Built Environment Committee on the 30 August 2011. Please be advised as follows:

1. The Built Environment Committee has no objection to the demolition of the buildings at the rear of the site and accepted the concept proposed.
2. However, it was noted that there were some changes to the main building and a full set of submission drawings for the new building and the changes to the main building is required for review prior to the demolition permit being issued.

Faxed/posted (not telephonic/e-mailed) written responses/requests for reviews of decisions must be received within 30 days of the date of this letter or the decision will be considered final. Six months from the date of the original submission is allowed for the submission of revised drawings.

~~THIS LETTER DOES NOT CONSTITUTE FORMAL APPROVAL OF THE PROPOSAL SUBMITTED TO AMAFA AKWAZULU-NATALI. UNAUTHORISED WORK CARRIED OUT ON THE ABOVE SITE WILL BE IN CONTRAVENTION OF THE KWAZULU-NATAL HERITAGE ACT (4 of 2008).~~

Yours faithfully,

ROS DEVEREUX

Head: Built Environment Section

Zone 03 | proposed drawings

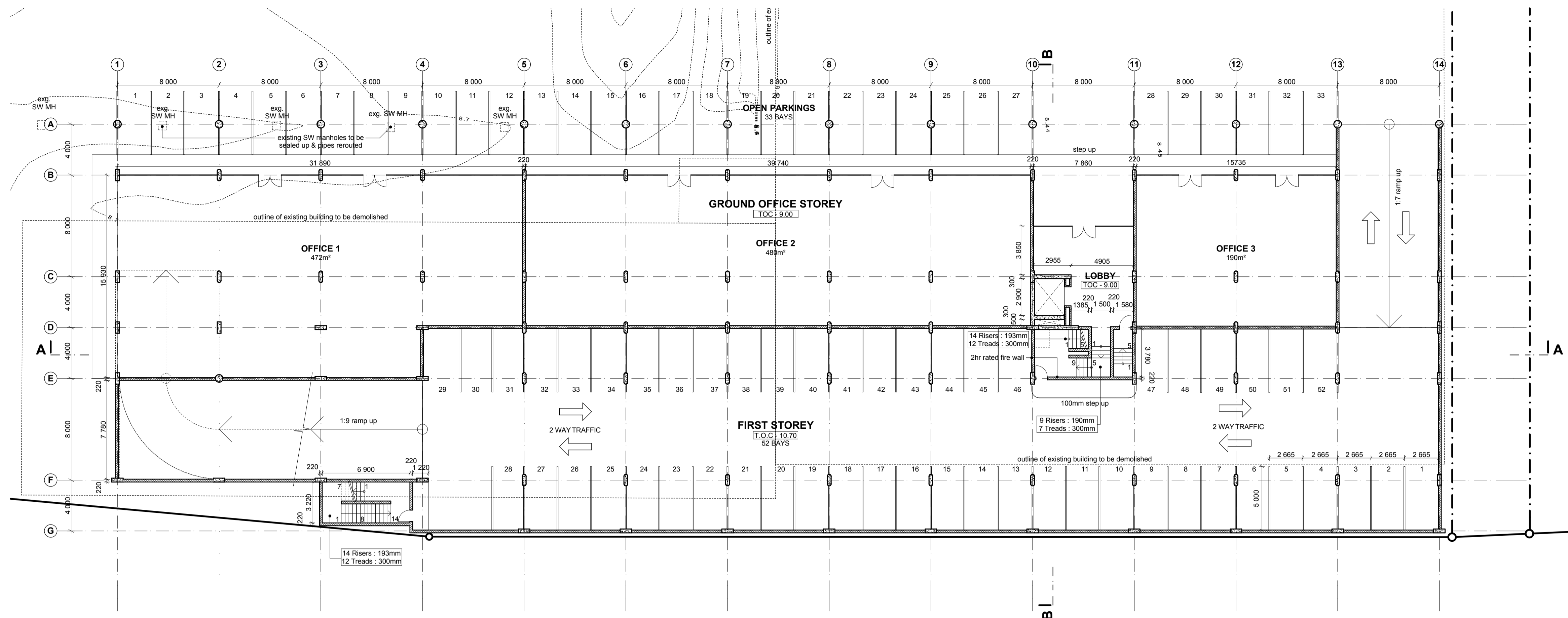
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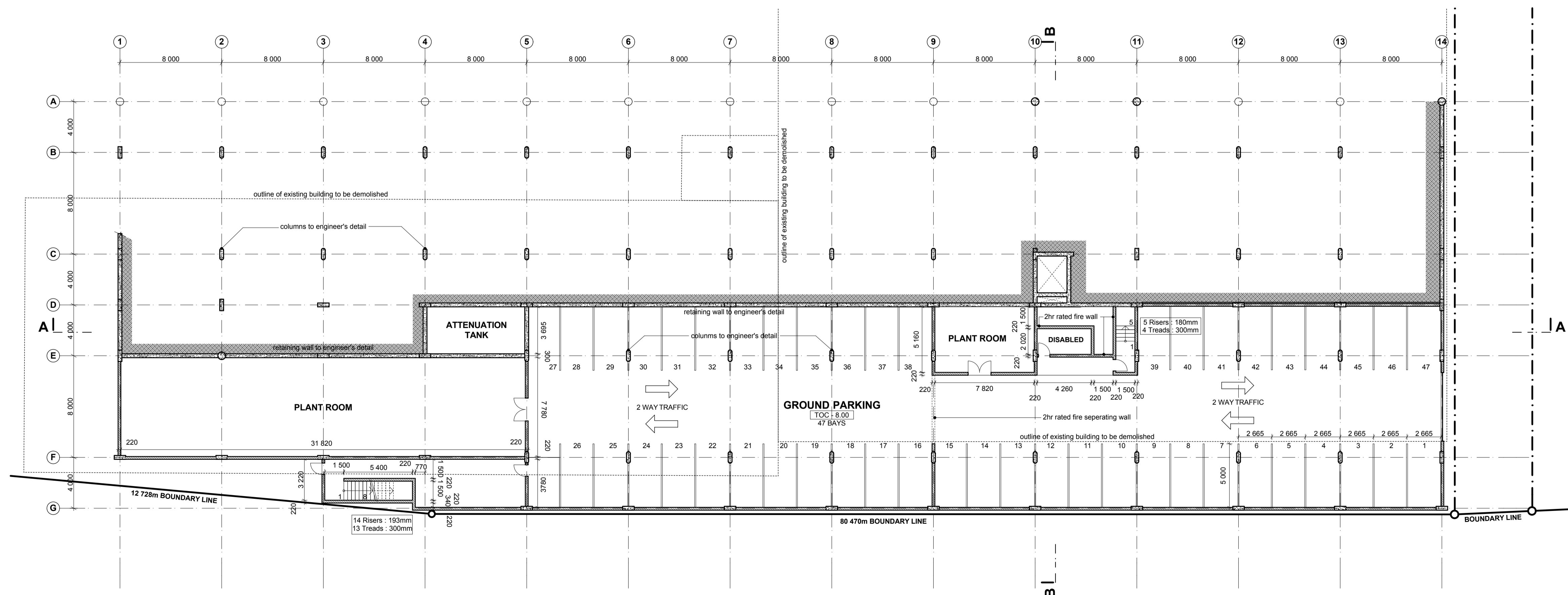
DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS ON DRAWING ONLY TO BE FOLLOWED.

NOTES

NO.	REVISION	DWN	DATE



GROUND OFFICE & FIRST STOREY PLAN
SCALE 1 : 200



GROUND PARKING PLAN
SCALE 1 : 200

OWNER: J.T. ROSS PROPERTIES (PTY) LTD
REPRESENTED BY:

ARCHITECT: DEAN JAY REG NO: 4504

THE SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION

LION MATCH OFFICE PARK
BUILDING 3

PROPOSED NEW PARKING BUILDING
ERF 2952, DURBAN
892 UMGENI ROAD, STAMFORD HILL, DURBAN, 4000

FOR: J.T. ROSS PROPERTIES (PTY) LTD
892 UMGENI ROAD, STAMFORD HILL, DURBAN

SUBMISSION DRAWINGS
GROUND PARKING & GROUND OFFICE &
FIRST STOREY PLANS

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011.008_03	03	M	GA	100	00

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+27 31 312 0901 | f
studio@deanjayarchitects.com | e
www.deanjayarchitects.com
Unit 7 892 Umgeni Road Durban 4000
CK 1997 / 059144 / 23

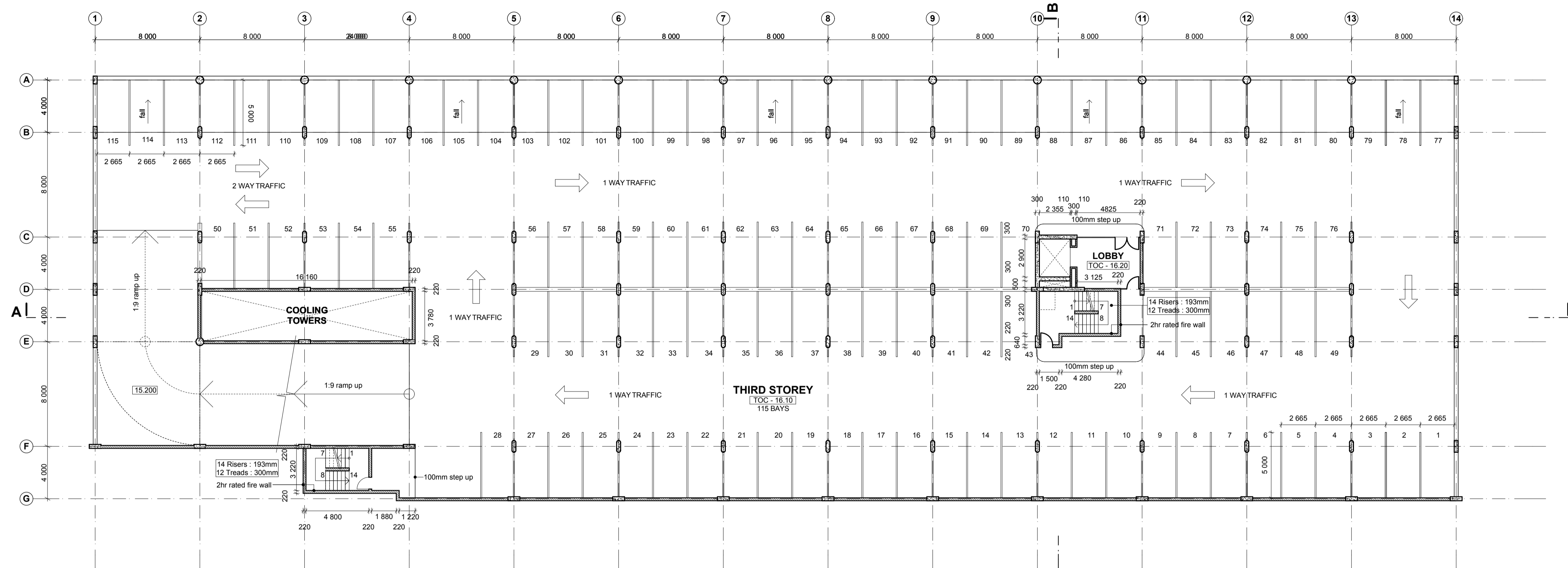
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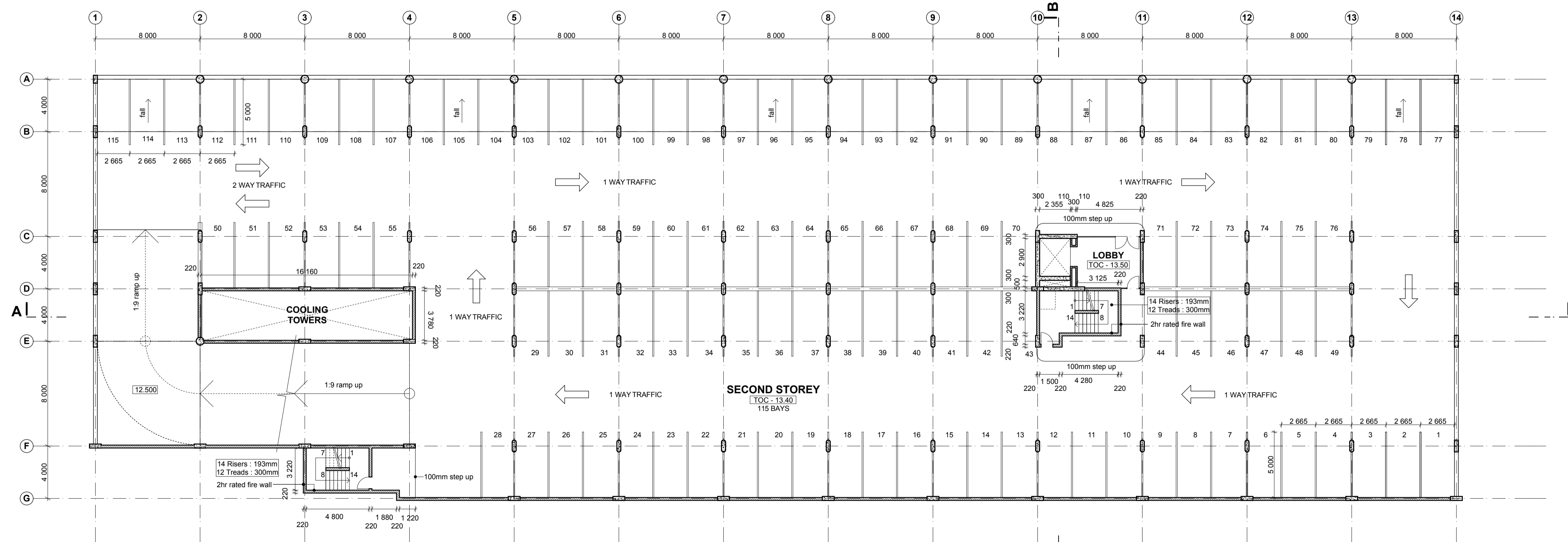
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NOTES

NO.	REVISION	DWN	DATE



THIRD STOREY PLAN
SCALE 1 : 200



SECOND STOREY PLAN
SCALE 1 : 200

OWNER: J.T. ROSS PROPERTIES (PTY) LTD
REPRESENTED BY:

ARCHITECT: DEAN JAY REG NO: 4504

THE SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION

LION MATCH OFFICE PARK
BUILDING 3

PROPOSED NEW PARKING BUILDING
ERF 2952, DURBAN
892 UMGENI ROAD, STAMFORD HILL, DURBAN, 4000

FOR: J.T. ROSS PROPERTIES (PTY) LTD
892 UMGENI ROAD, STAMFORD HILL, DURBAN

SUBMISSION DRAWINGS
SECOND & THIRD STOREY PLANS

DATE	ZONE	STAGE	SERIES	TYPE	REV
feb 2012	03	M	GA	100	00

dean jay architects

+27 31 303 1214 | 1
+27 31 312 0901 | 1
studio@deanjayarchitects.com | e
www.deanjayarchitects.com
Unit 7 892 Umgeni Road Durban 4000
CK 1997 / 059144 / 23

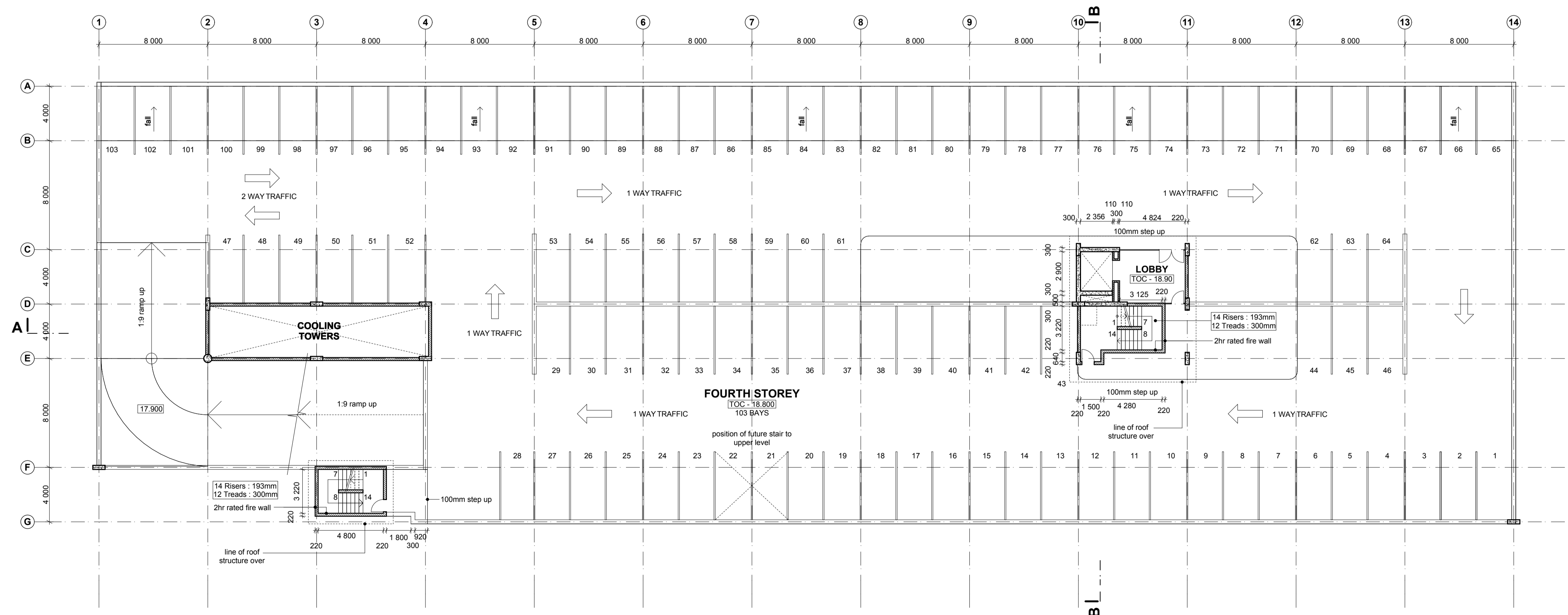
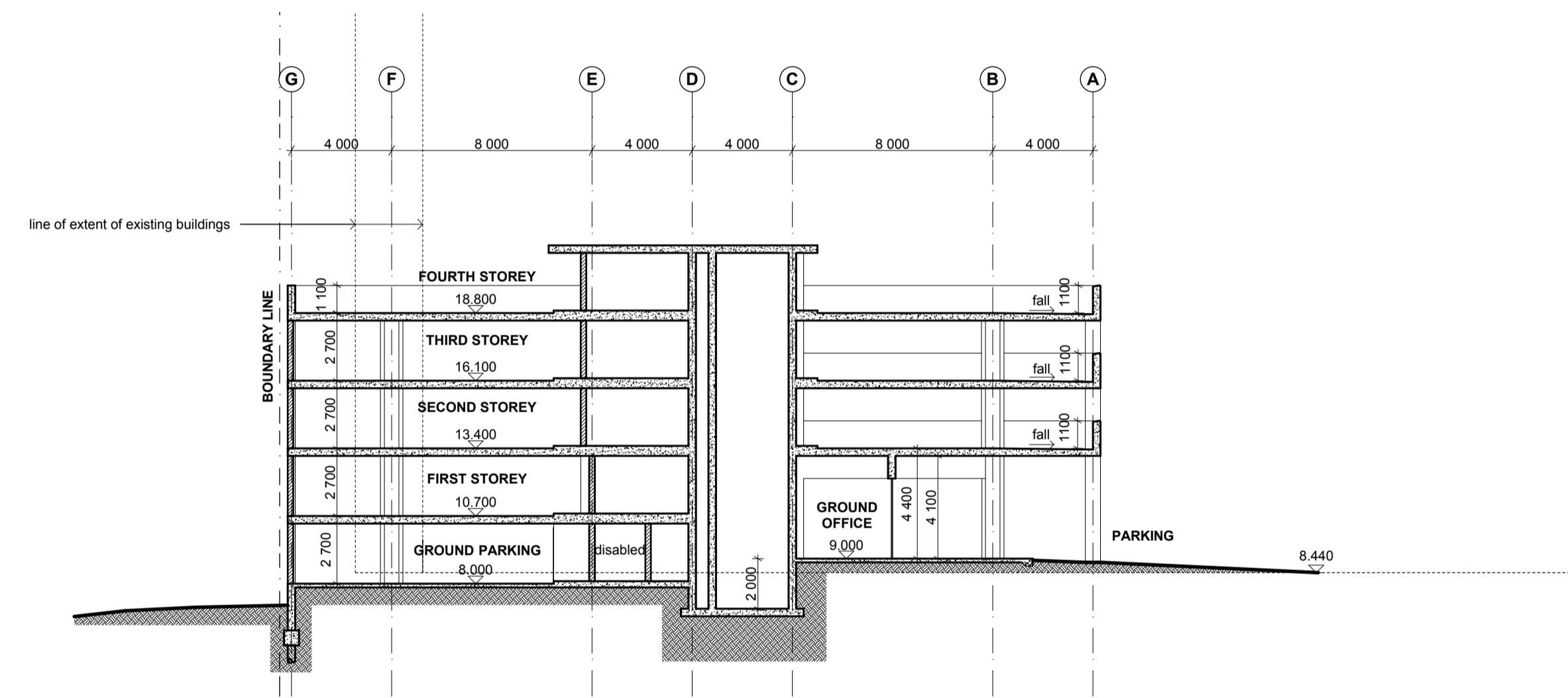
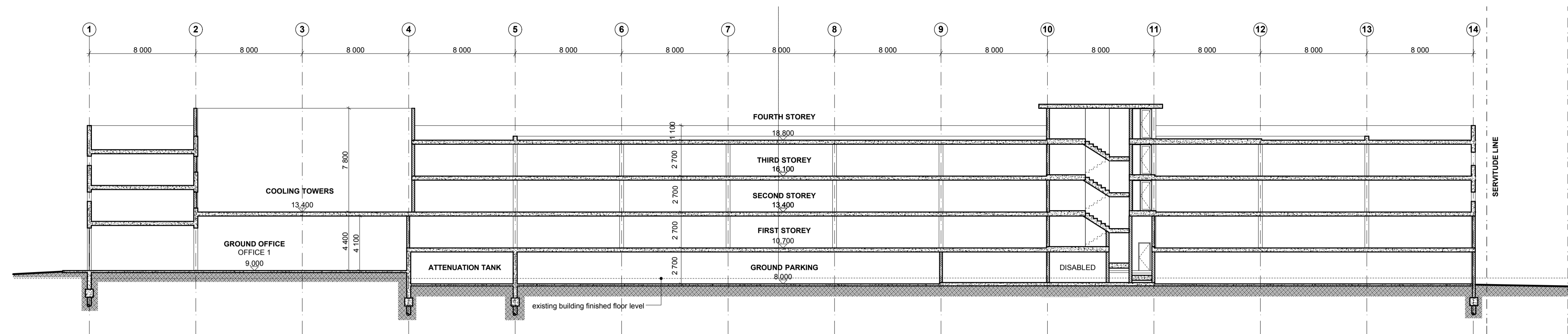
ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

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DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS ON DRAWING ONLY TO BE FOLLOWED.

NOTES

NO.	REVISION	DWN	DATE



OWNER: J.T. ROSS PROPERTIES (PTY) LTD
REPRESENTED BY:

ARCHITECT: DEAN JAY REG NO: 4504

THE SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION

LION MATCH OFFICE PARK
BUILDING 3

PROPOSED NEW PARKING BUILDING
ERF 2052, DURBAN
892 UMGENI ROAD, STAMFORD HILL, DURBAN, 4000

FOR: J.T. ROSS PROPERTIES (PTY) LTD
892 UMGENI ROAD, STAMFORD HILL, DURBAN

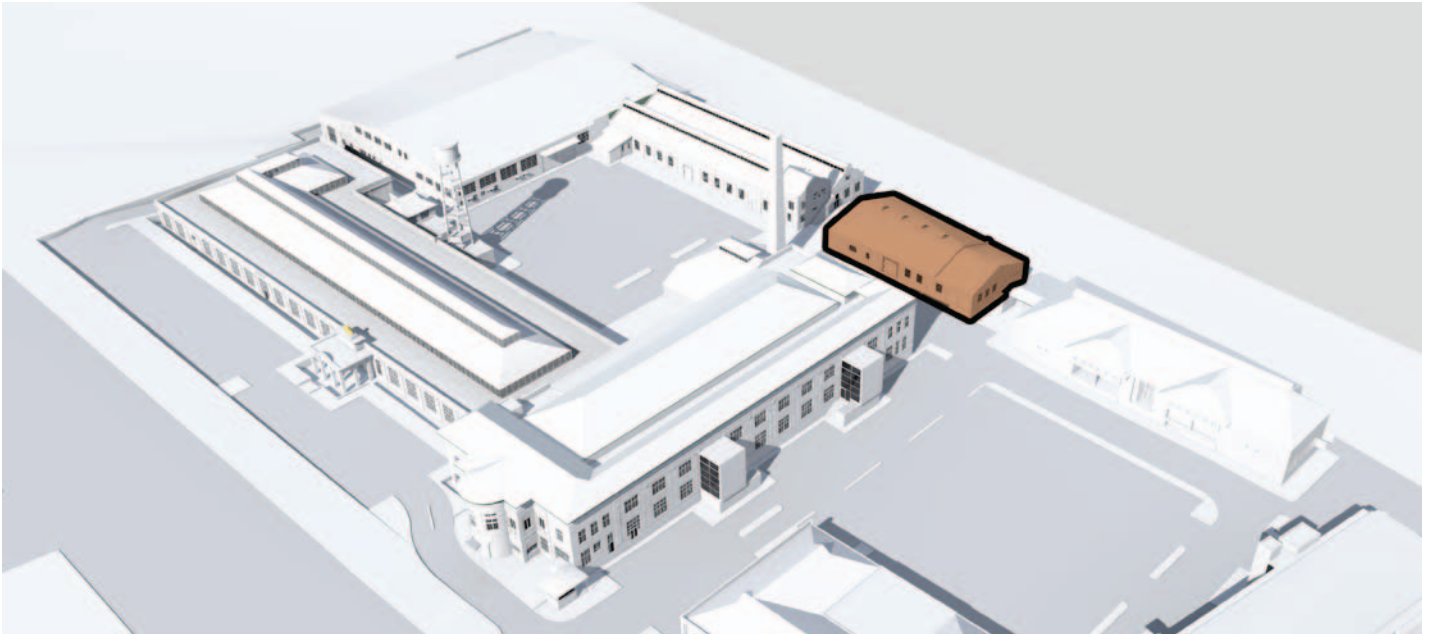
SUBMISSION DRAWINGS
FOURTH STOREY PLAN & SECTION A-A
& B-B

DATE	DRAWN
feb 2012	KGS

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011.008_03	03	M	GA	100 - 200	00

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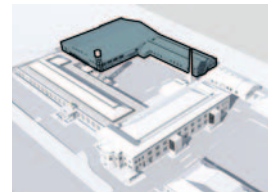


Zone 04 I proposal for the Old Lion Match Factory's mechanic workshop

please refer to drawings to follow :

ZONE 04 Previous Amafa Submission
ZONE 04 Amendments to previous submission

zone 04 I proposal

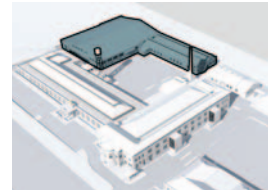


An application for Zone 04 was made to Amafa on the 22nd February 2013.

Approval was given on the 3rd of March 2013.

The reason for the re-application for zone 04 is due to airconditioning restraints within the entire Lion Match Park.

Space assigned for the lobby on the northern facade has now been given over to the Mechanical engineers room for an Airconditioning plant. There has therefore been a small change made to the building to accomodate this, mainly the removal of the northern lobby box. The windows, roof and spatial quality has remained the same.



Amafa AkwaZulu-Natali
Heritage KwaZulu-Natal
Erfenis KwaZulu-Natal



PO Box 2685
Pietermaritzburg 3200

Tel: 033 394 6543
Fax: 033 394 6552

Email: built.enviro@amafapmb.co.za
Website: www.heritagekzn.co.za

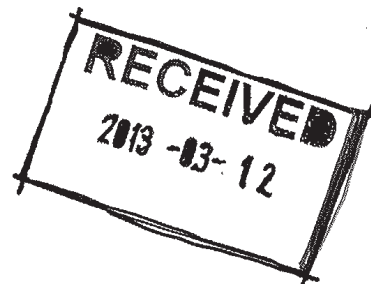
Ref: 10/3Dbn/02 12/514L

08 February 2013

JOHN ROSS
J T ROSS PROPERTIES (PTY) LTD
BOX 47174,
GREYVILLE, 4023

BY FAX: 031-303 1122
DEAN JAY ARCHITECTS 031-312 0901

Dear JOHN ROSS,



**DEMOLITION OF BUILDING 3 (STORAGE BUILDING AND SHAFT PACKAGING WAREHOUSE);
ALTERATIONS & ADDITIONS TO BUILDINGS 4 & 5: LION MATCH FACTORY, 892 UMGENI
ROAD, DURBAN**

The permit application in respect of the above, received on the 25 February 2013, reviewed by the Amafa Built Environment Committee on the 5 March 2013 refers. Please be advised as follows:

1. The application for Buildings 4 & 5 has been approved.
2. The application for the demolition of Building 3 must be subjected to a public participation process required in terms of the Heritage Act Regulations:
 - a. the application has been advertised in the Government Gazette.
 - b. You are required to consult the owners and occupiers of buildings/sites adjoining the property and across the road (within 100m of the site).
 - c. Contact this office if you require the standard forms and guidelines for this process. Alternatively retrieve them from the above website.
3. If you want approval on the other two buildings without going through the above process, building 3 must be excluded from this application.
4. With regard to future alterations to the Main Building, the committee stated that it would have no objection in principle to the removal of the wall on the ground floor to open the area out into the courtyard or to the removal of the later additions on the roof but reserved all rights of refusal pending the submission of drawings showing details of the proposals.

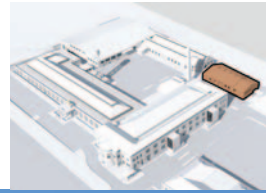
Six months from the date of the original submission is allowed for the submission of revised drawings or additional information required.

THIS LETTER DOES NOT CONSTITUTE FORMAL APPROVAL OF THE PROPOSAL SUBMITTED.

Yours faithfully,


ROS DEVEREUX
Head: Built Environment Section

zone 04 | existing



zone 04 | south west corner

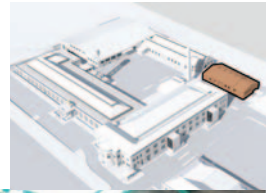


zone 04 | north west corner



zone 04 | aerial view

zone 04 | existing



zone 04 | existing trusses and spatial quality

windows bricked in

Zone 04 I former application to amafa



APPLICATION FORM A (STRUCTURES)

Ref: _____
Date received _____
Application No _____
Application approved ___ not approved ___
Date of permit/notification _____
Permit No _____

PERMIT APPLICATION IN TERMS OF THE KZN HERITAGE ACT (SECTION 33(1)(A) FOR THE DEMOLITION, ALTERATION OR ADDITION TO A STRUCTURE WHICH IS, OR WHICH MAY REASONABLY BE EXPECTED TO BE OLDER THAN 60 YEARS

(Application form H must be used for alteration to structures permanently protected in terms of Section 37, 38, & 39 (Heritage Landmarks))

PLEASE NOTE

IT IS AN OFFENCE IN TERMS OF THE KWAZULU-NATAL HERITAGE ACT, 2008 TO MAKE ANY FALSE STATEMENT OR FAIL TO PROVIDE REQUIRED INFORMATION IN THIS APPLICATION (Detach and Consult the attached guidelines before completing this form)

THE ONUS IS ON THE APPLICANT TO ENSURE THAT THE CURRENT APPLICATION FORM IS USED. APPLICATIONS ON NON-COMPLIANT FORMS WILL NOT BE PROCESSED

ALL APPLICATION FORMS, DEVELOPMENT PROPOSALS, PHOTOGRAPHS, MOTIVATION, AND PROOF OF PAYMENT ARE TO BE DELIVERED TO: Amafa aKwaZulu-Natali, 195 LANGALIBALELE (LONGMARKET) STREET, PIETERMARITZBURG, 3201 OR POSTED TO: BOX 2685 PIETERMARITZBURG 3200. Enquiries 033-394 6543 or Fax 033-394 6552 (For proof of payment not applications)

A. DECLARATION BY OWNER

I, John Ross

(full names of owner/person authorized to sign) undertake strictly to observe the terms, conditions, restrictions, by-laws and directions under which Amafa aKwaZulu-Natali may issue the permit to me.

Signature [Signature]

Place Durban

Date _____

(The owner of the property must fill in these details and those in Section E: 3 and sign this document and any plans or other documents submitted in support of this application)

B. PROPERTY DESCRIPTION:

1. Name of property: 404 MATCH Title Deed No. 36292/02

2. Erf/Lot/Farm No: ERF 2052 DURBAN, KWAZULU-NATAL

Street Address: 892 UMBENI ROAD, STAMFORD HILL, DURBAN

Local Municipality ETHEKWENI MUNICIPALITY CENTRAL

District Municipality ETHEKWENI MUNICIPALITY CENTRAL

3. Current zoning GENERAL BUSINESS Present use OFFICE & STORAGE

C. SIGNIFICANCE:

1. Original date of construction 1920's

2. Historical Significance: _____

THE BUILDING WAS ORIGINALLY USED AS A MECHANICAL WORKSHOP FOR THE LION MATCH COMPANY. CONSEQUENTLY IT HAS BEEN USED AS A STORAGE FACILITY, WITH A SMALL WORKSHOP FOR THE LION MATCH COMPANY.

References _____

3. Architectural Significance: THIS UNION PERIOD STYLE BUILDING WAS

CONSTRUCTED IN THE 1920'S AND IS MADE UP OF LOAD BEARING BRICK WALLS WITH A DOUBLE PITCH ROOF RUNNING ITS ENTIRE LENGTH. THE BUILDING HAS HAD MINOR ALTERATIONS SUCH AS THE WINDOWS ON THE EASTERN FAÇADE BEING BRICKED UP, INTERNAL DRYWALLING AND BRICKWORK, AND THE INCLUSION OF A TOILET BLOCK AND REPLACING EXISTING WINDOWS WITH NEW.

References _____

4. Urban Setting & Adjoining Properties: _____

THE BUILDING FORMS PART OF THE LION MATCH FACTORY COMPLEX. IT IS BORDERED BY RAILWAY TO THE EAST AND LIES BETWEEN TWO STORAGE FACILITIES ON ITS NORTHERN AND SOUTHERN EDGES.

D. PROPOSED WORK

1. Purpose of Application (Indicate the reason by marking the relevant box)

DEMOLITION

CONDITION		HEALTH REASONS		OTHER	X
-----------	--	----------------	--	-------	---

ALTERATION

CONDITION	X	MAINTENANCE	X	OTHER	X
-----------	---	-------------	---	-------	---

ADDITION

EXTENSION	X	CHANGED USE	X	OTHER	
-----------	---	-------------	---	-------	--

2. Motivation for proposed work (Please motivate fully – on a separate sheet if necessary)

THIS BUILDING LIES WITHIN THE HISTORICALLY SIGNIFICANT LION MATCH COMPLEX AND FORMS PART OF A LONG TERM GOAL FOR THE PARK WHICH IS TO RESTORE IT TO ITS ORIGINAL GLORY. IN ORDER TO ACHIEVE THIS LONG TERM GOAL, ARCHITECTURALLY SIGNIFICANT BUILDINGS IN NEED OF REVIVAL ARE TO RECEIVE RESTORATIVE WORK. THE PROPOSAL IS TO REVAMP IN THE FORM OF A LIGHT INTERVENTION, AND WILL HIGHLIGHT AND ACCENTUATE THE INTEGRITY OF THE EXISTING BUILDING. FURTHERMORE, THE PROJECT SHALL MAKE OVERT WHAT IS NEW AND WHAT IS OLD, AS TO NOT INTERFERE OR ATTEMPT TO MATCH THE EXISTING BUILDINGS HISTORICAL VALUE.

1. Detail the alterations/additions/restorations proposed (Briefly outline the proposal)

WE PROPOSE TO DEMOLISH THE NON-LOAD BEARING INTERNAL WALLS (INCLUDING THE TOILET BLOCK AS PREVIOUSLY INSERTED) AS THIS WILL FREE UP VALUABLE FLOOR AREA (AS WELL AS ACCENTUATE AND HIGHLIGHT THE EXISTING ROOF TRUSSES. WE PROPOSE TO ADD TWO NEW TOILET / ENTRANCE BLOCKS TO THE NORTH & SOUTH FACADES, AS WELL AS RESHEETING THE ROOF. BY LIMITING THE MAJORITY OF THE PROPOSAL TO THE EXTERIOR OF THE BUILDING, THE INTEGRITY OF THE EXISTING WILL REMAIN. WHERE POSSIBLE WINDOWS HAVE BEEN REUSED IN THE PROPOSAL. WINDOWS THAT WERE ONCE BRICKED IN ON THE EAST WILL BE REINSTATED - KEEPING WITH THE ORIGINAL DESIGN OF THE BUILDING.

E. CONTACT DETAILS

1. CONTRACTOR (the person who will do the work)

NAME		JT ROSS	
POSTAL ADDRESS		PO BOX 47174	
GREYVILLE		POST CODE	4023
TEL	031 9729700	FAX	031 3031122
CELL	0834487683	QUALIFICATIONS	N/A
REGISTRATION OF INDUSTRY REGULATORY BODY:		N/A CIDB	

2. ARCHITECT/ARCHITECTURAL TECHNOLOGIST/DESIGNER

NAME DEAN JAY ARCHITECTS	
POSTAL ADDRESS FESTNET SUITE 147, PVT BAG X504, NORTHWAY, DURBAN	
POST CODE 4065	
TEL 031 3031214	FAX 031 312 0901
CELL NIL	SACAP REG. NO. 4504
Author's Drawing Nos.	
SIGNATURE	DATE 2013.02.22

3. OWNER OF PROPERTY (Owner or delegated person to sign on the front of this form)

NAME JT ROSS PROPERTIES (PVT) LTD	
POSTAL ADDRESS PO BOX 47174, GREYVILLE, DURBAN	
POST CODE 4023	
TEL 031 372 9700	FAX 031 303 1122

4. DELEGATED AUTHORITY (The name of the person authorized to act on behalf of a company or institution – Power or Attorney/proof of authorization to be attached)

NAME JOHN ROSS	
TEL 031 372 9700	FAX 031 303 1122

F. SUBMISSION FEE: R600.00 (subject to annual increment on the 1 April)

The submission fee is payable to **Amafa aKwaZulu-Natali** by cheque or bank deposit/internet banking prior to the processing of this application.

Banking details in case of direct deposits:

ABSA BANK: Branch: ULUNDI Bank Code: 630330

Account in the name of **AMAFU AKWAZULU-NATALI**

Account No. 40-5935-6024

NB: Proof of payment to be forwarded (faxed, posted or delivered) to our office

G. PUBLIC PARTICIPATION: (Contact details of Interested and Affected Parties Consulted - written opinion to be attached to form and drawings to be signed by I & A P. See Guidelines)

Name _____
 Telephone _____ Fax _____

H. CHECKLIST OF SUPPORTING DOCUMENTATION

	YES	NO
APPLICATION FORM (COMPLETED & SIGNED BY OWNER & PLANS AUTHOR)		
MOTIVATION		
PHOTOGRAPHS		
ORIGINAL DRAWINGS		
PLANS (X2 SETS) - NUMBERED AND COLOURED		
PROOF OF PROFESSIONAL ACCREDITATION (e.g. copy of accreditation card)		
PROOF OF PUBLIC PARTICIPATION		
PAYMENT/PROOF OF PAYMENT		



ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

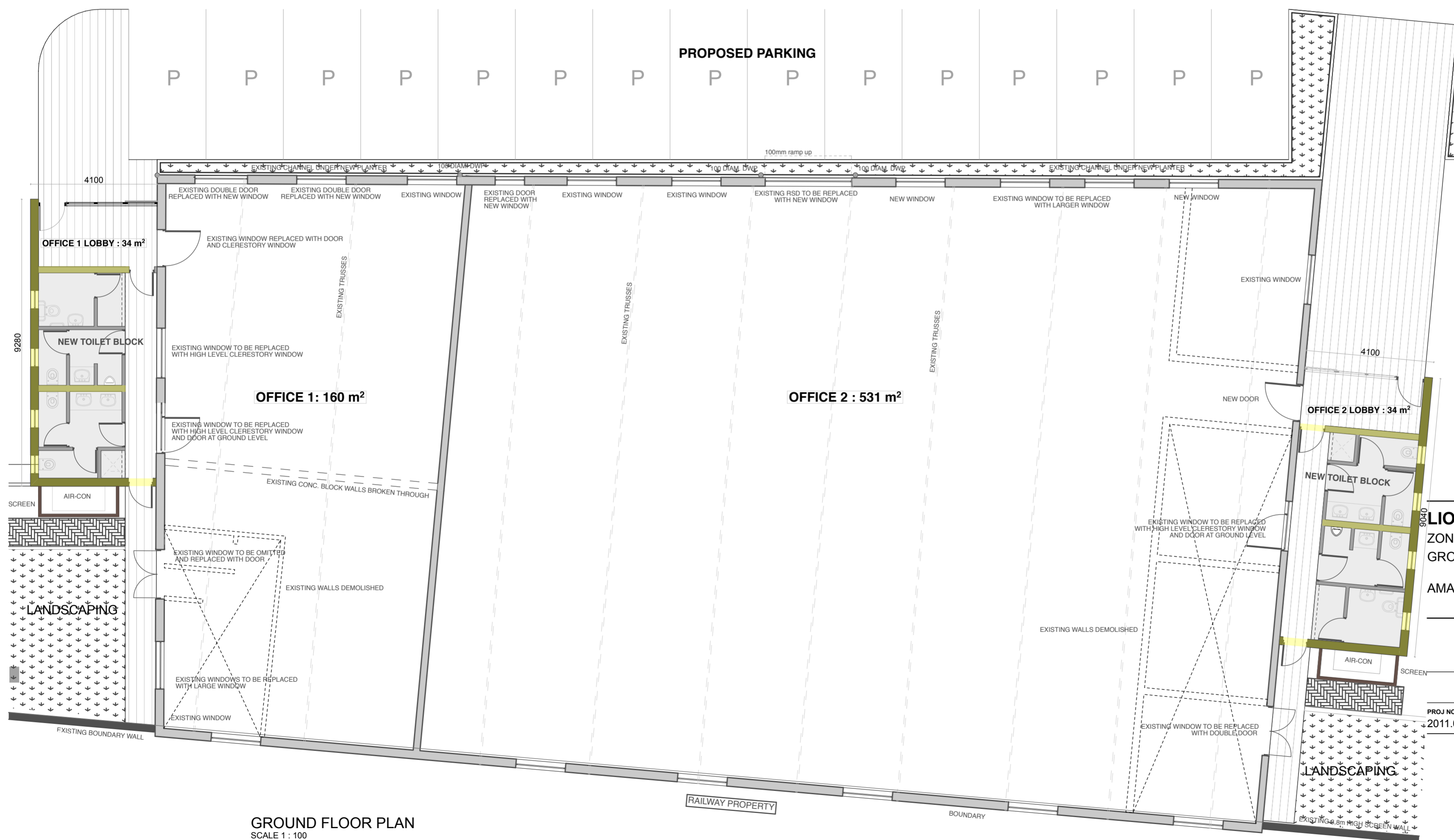
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NOTES

NO.	REVISION	DWN	DATE

TOTAL EXISTING sqm: 697 m²
 TOTAL PROPOSED sqm: 69 m²
TOTAL sqm: 766 m²



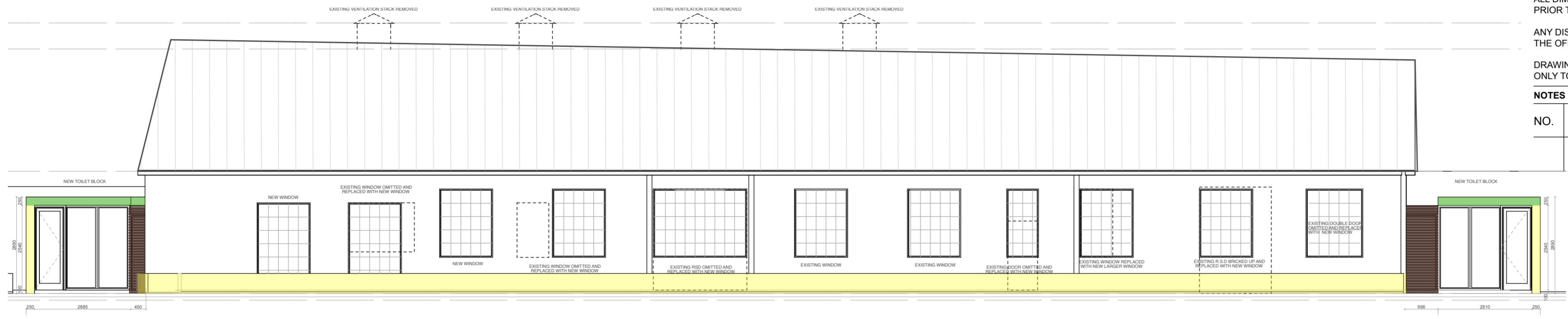
LION MATCH COMPLEX
 ZONE 4
 GROUND FLOOR PLAN
 AMAFA SUBMISSION

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011.008	4	M		101	0

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 CK 1997 / 059144 / Z3

GROUND FLOOR PLAN
 SCALE 1 : 100



WEST ELEVATION
SCALE 1 : 100

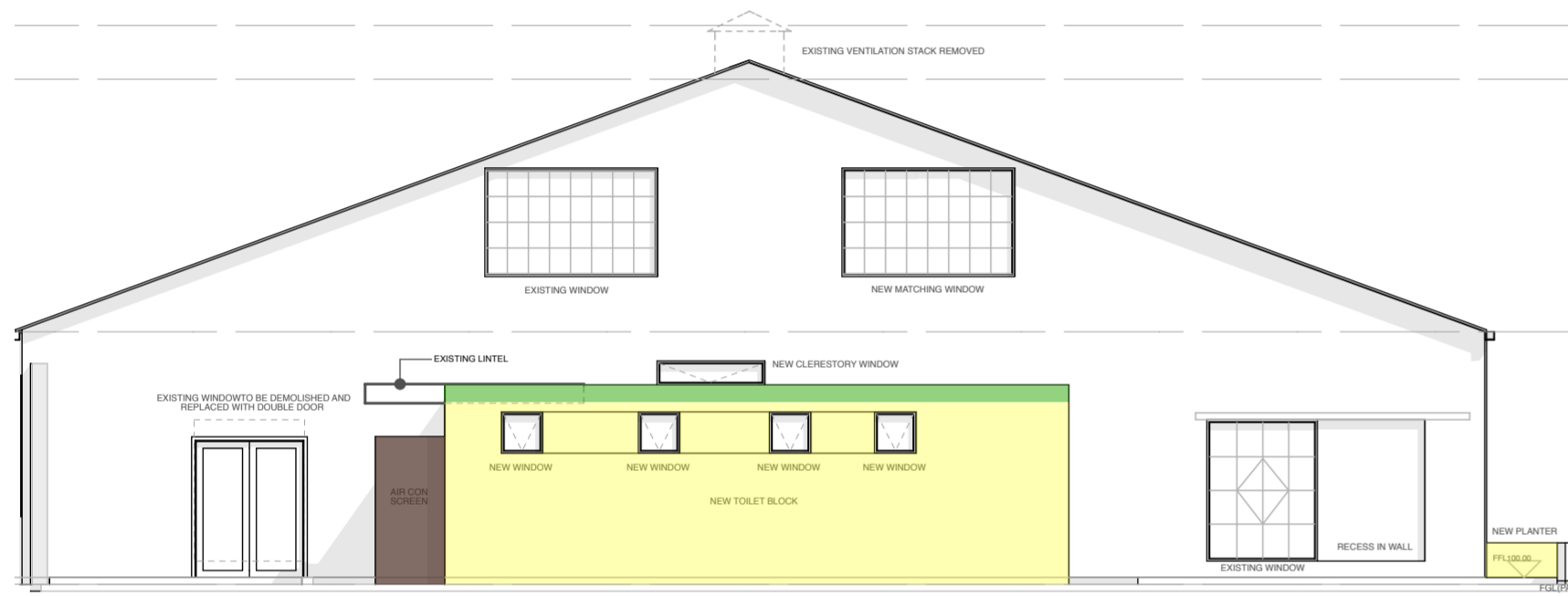
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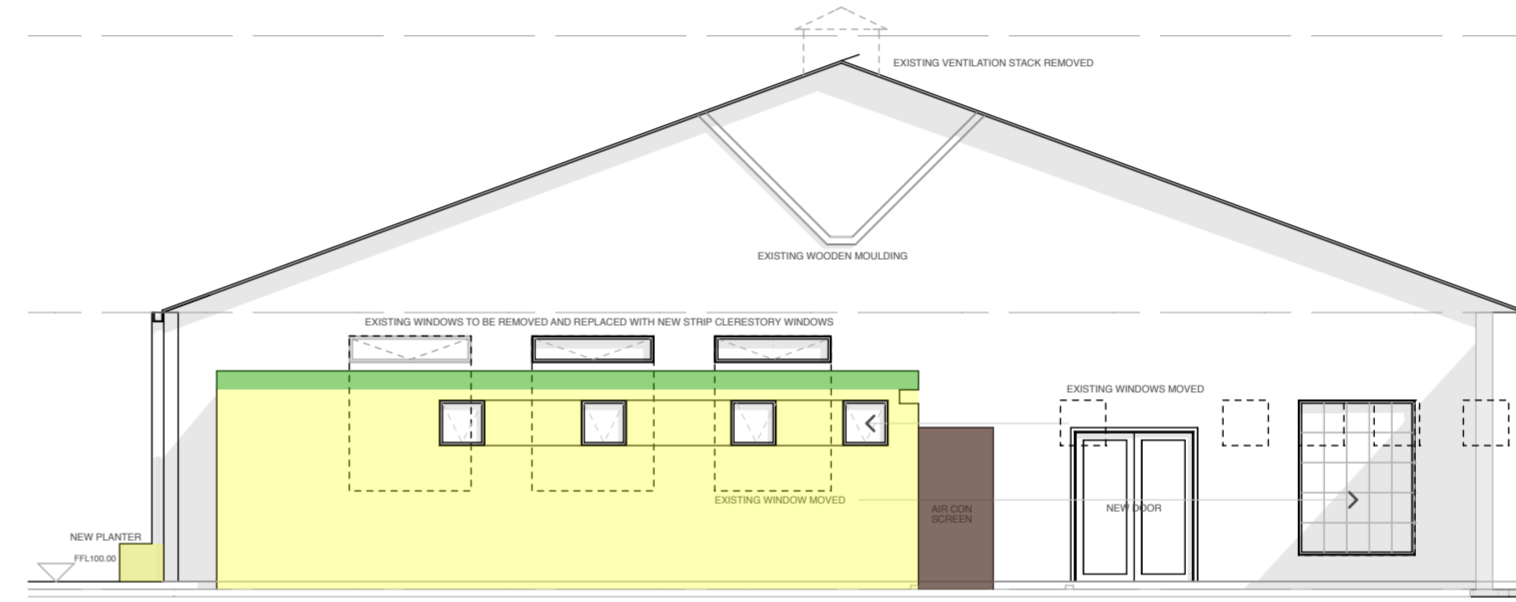
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NOTES

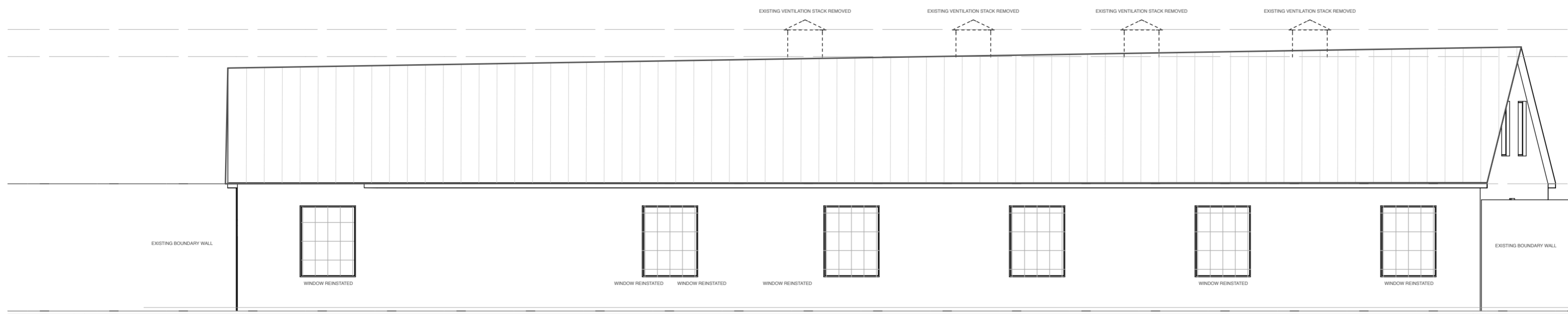
NO.	REVISION	DWN	DATE



NORTH ELEVATION
SCALE 1 : 100



SOUTH ELEVATION
SCALE 1 : 100



EAST ELEVATION
SCALE 1 : 100

LION MATCH COMPLEX
ZONE 4
ELEVATIONS
AMAFA SUBMISSION

PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV	DATE	DRAWN
2011.008	4	M		200	0	2013.02.22	CF

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Zone 04 I current drawings

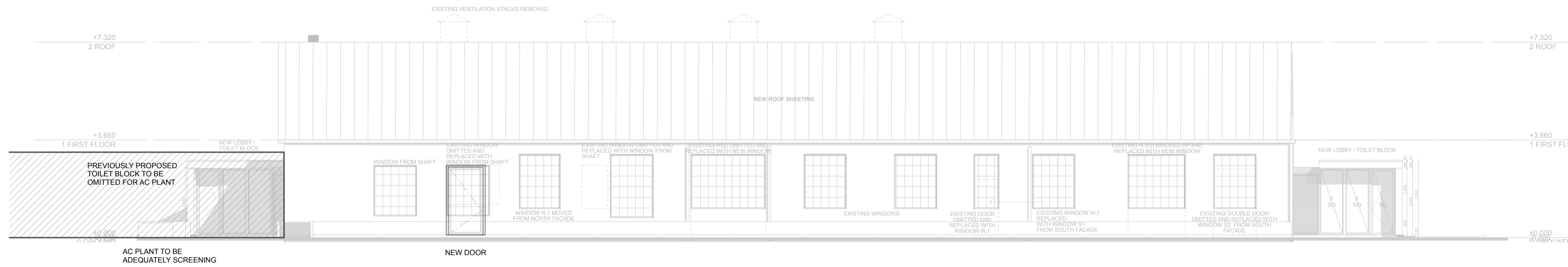
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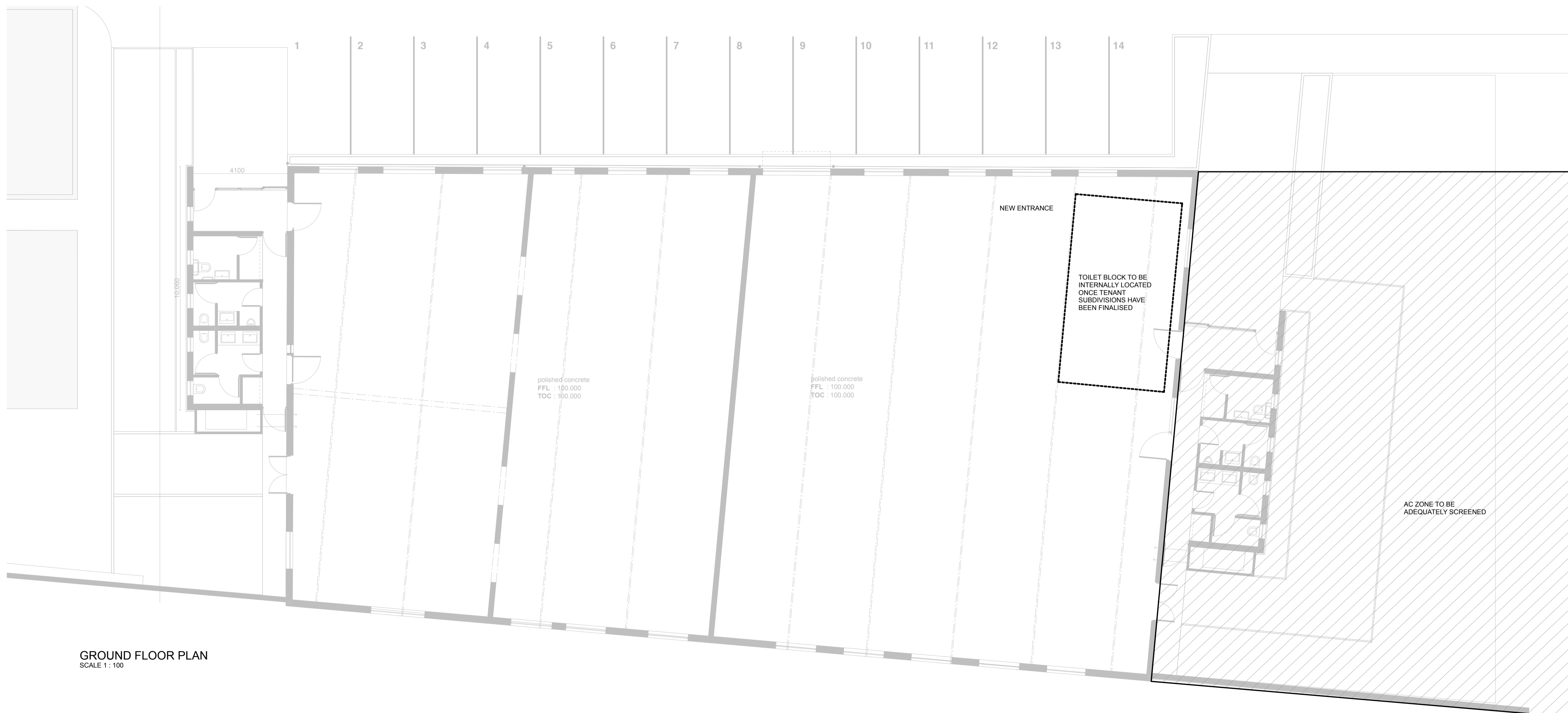
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NOTES

NO.	REVISION	DWN	DATE



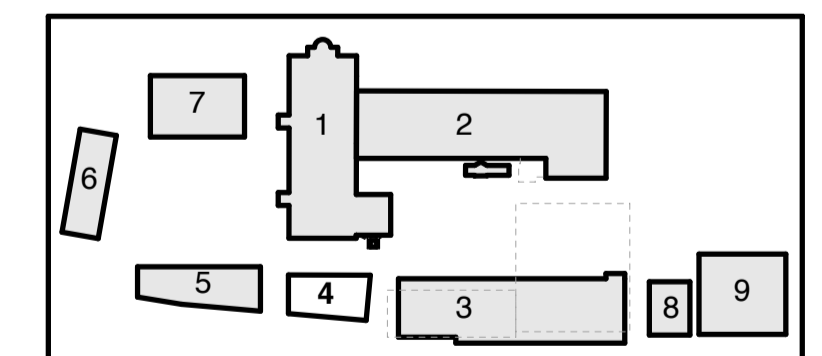
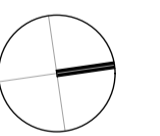
WEST ELEVATION
SCALE 1 : 100



GROUND FLOOR PLAN
SCALE 1 : 100

OWNER - GRANT SMITH FOR JT ROSS

Grant Smith



LMP | key plan

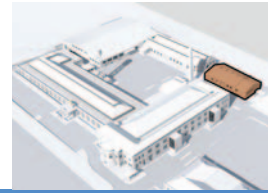
LION MATCH PARK
ZONE 4
PROPOSED

DRAWING NO.	DATE	DRAWN			
100	APR 2013	MLB			
PROJ. NO.	ZONE	STAGE	SERIES	TYPE	REV
2011.008	4	S	GA	100	01

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zone 04 I proposed



zone 04 I existing south west corner

- new planter above existing stormwater channel
- new roof sheeting
- new modern entrance / toilet box
- new windows to match
- reused windows
- existing wooden molding retained



zone 04 I proposed south west corner

Thank you