

GENERAL NOTES

The architect and author of this drawing retains the copyright of this drawing. This drawing should not be used for any other purpose other than the one for which it has been prepared. The architect does not accept any liability for errors or omissions in this drawing. All work, including mechanical and electrical, shall be in accordance with the national building regulations.

All materials and workmanship to comply with the relevant SABS codes.

This drawing should be interpreted to convey all that is consistent with good building practice, regardless of any specific conditions. This drawing is not to be scaled and all dimensions are in millimeters unless otherwise stated.

This drawing must be read in conjunction with all other relevant drawings, specifications and documents. Contractors and subcontractors are to ensure the structural stability of all components of their work, and to ascertain that structural components are capable of supporting all loads specified thereon. All doors and window openings to be in accordance with SABS and window schedules.

Foundations to extend to existing ground level (NGL) or 600mm below finished ground level, whichever is deeper. All carry walls below ground to have concrete filled cavities and brickwork walls to be in every course.

Every wall to be 200mm cavity masonry with brickwork walls to every 4 courses unless shown and specified otherwise. Interior walls to be either 200mm or 100mm solid masonry with brickwork walls to every 6 courses unless shown and specified otherwise.

Precast concrete lintels and lintel courses of brickwork rendered to match the surrounding wall. All openings shall have steel lintels and concrete sills. Suitable PVC DPCs to all walls, window sills and sills of all openings to continue to the exterior face of wall. Windows in exterior walls and above horizontal DPCs to be provided at 480/720mm centres. Trusses and wall plates to be tied to supporting structural walls by 3x20mm GMS hoop iron straps at 600mm centres.

All habitable rooms to be naturally ventilated with opening window sections equal or greater than 5% of the floor area of the room. All gable areas of the roof to be naturally ventilated with opening panels with 500mm of free air space.

All ground gases being the property of the erf boundary and within 1000mm of said boundary to be 1 hour fire rated vermin wire mesh.

All services shall be in accordance with SANS 10142-1:2012 and SANS 10142-2:2012. All services shall be in accordance with SANS 10142-1:2012 and SANS 10142-2:2012. All services shall be in accordance with SANS 10142-1:2012 and SANS 10142-2:2012.

All ceiling heights to be a minimum of 2400mm in habitable rooms (living rooms, bedrooms, kitchens, etc.) and 2100mm in non-habitable rooms (bathrooms, passages, stores, garages etc.).

All habitable rooms to have natural lighting of min. 10% of floor area of the room, to be either 0.2m square, whichever is greater.

All concrete ground slabs to be on continuous DPM to deliver drainage down.

All voids, suspended ceilings and partitions must be rodent proofed in accordance with Government rodent proofing regulations.

All RC structure work, including beams, floor and ground slabs, roof slabs, retaining walls and foundations to be designed and specified by the Engineer.

**DRAINAGE NOTES**

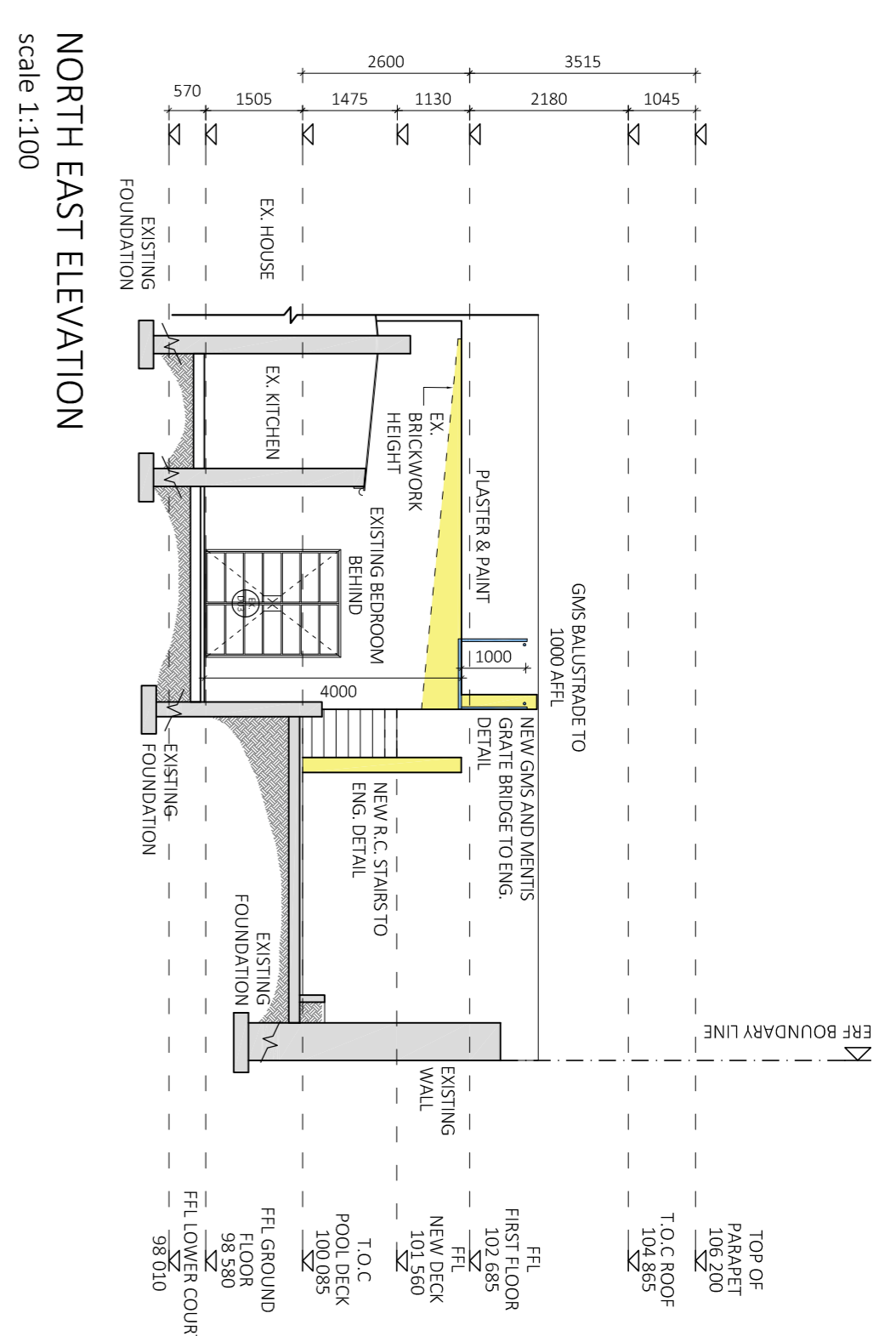
Accessions/connections are to be provided to all levels, junctions and point of change of gradient to all waste pipes.

All roofing/cladding gables to have finished covers at ground level.

Gradients of drains to be between 1:20 and 1:50.

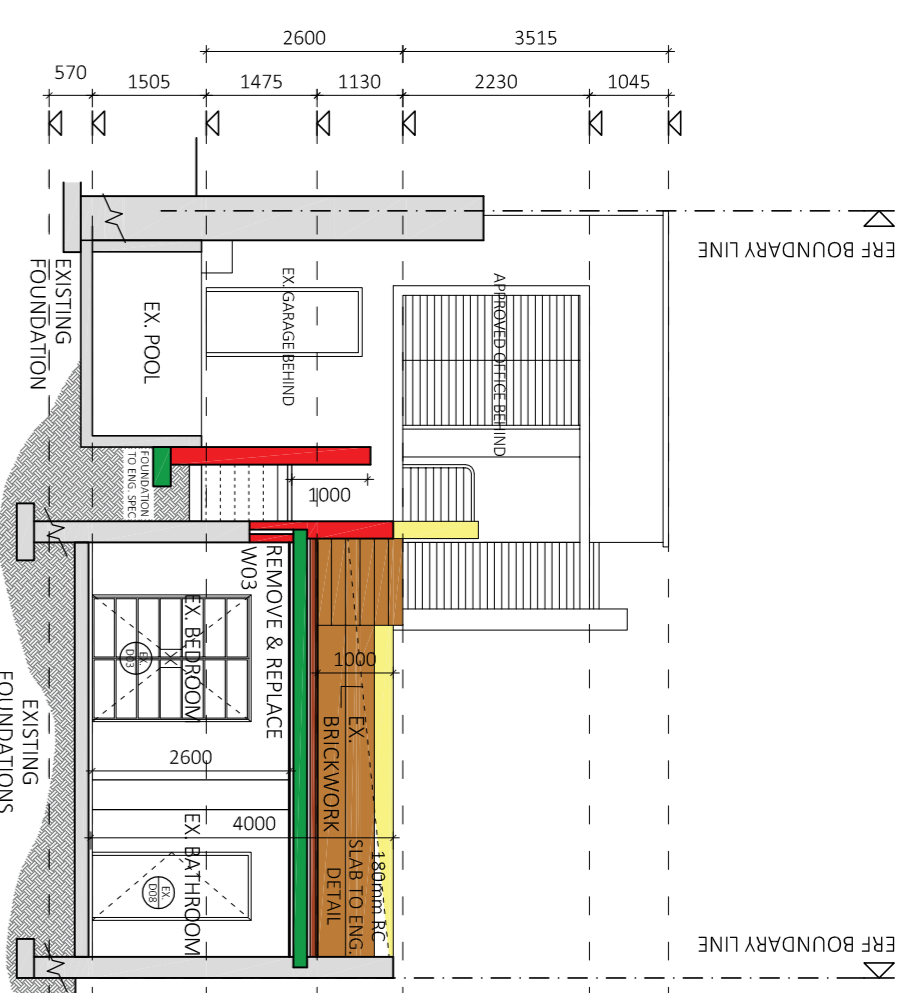
All waste pipes under buildings to be encased in min. 300mm mass concrete.

CONSTRUCTION NOTES

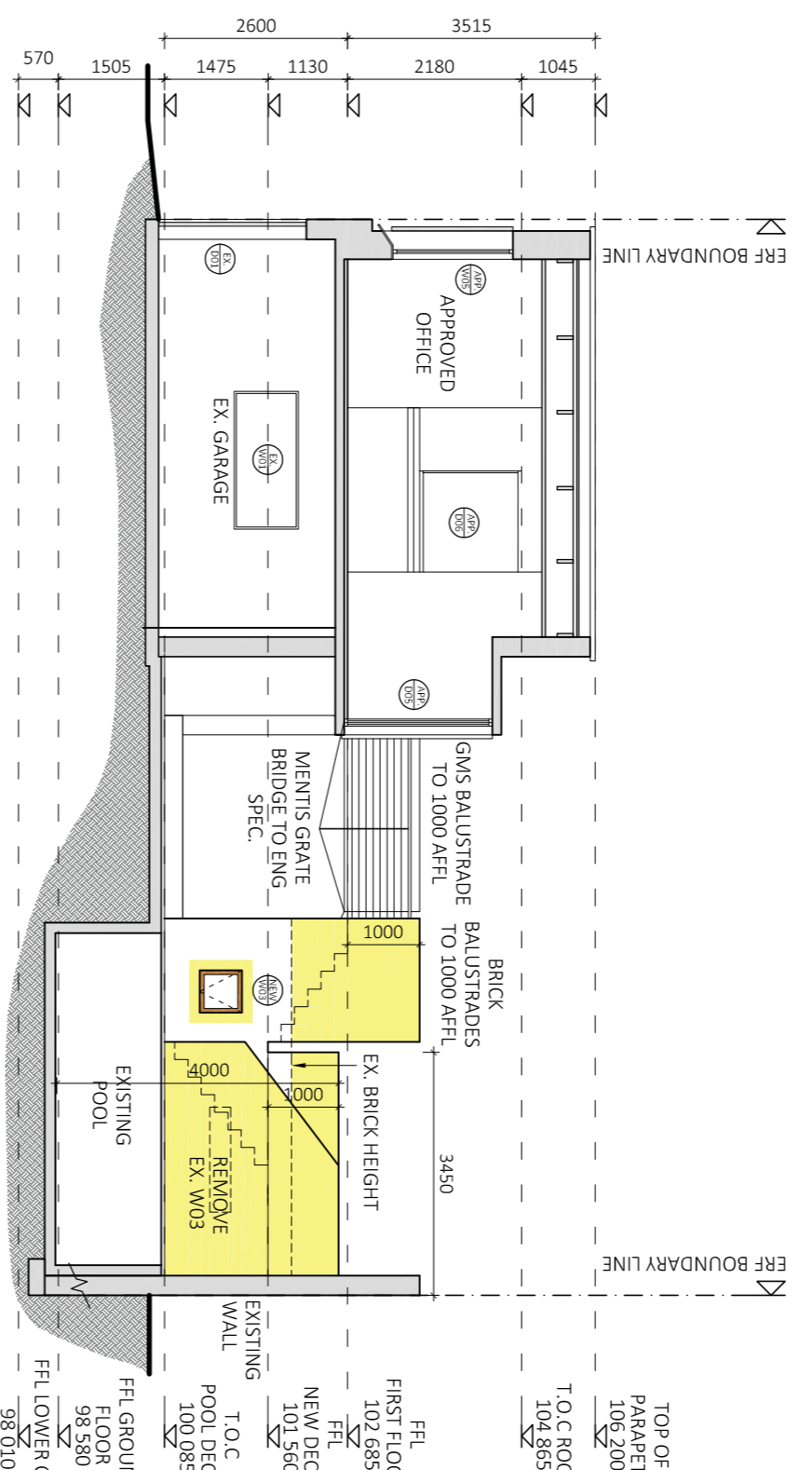


NORTH EAST ELEVATION  
scale 1:100

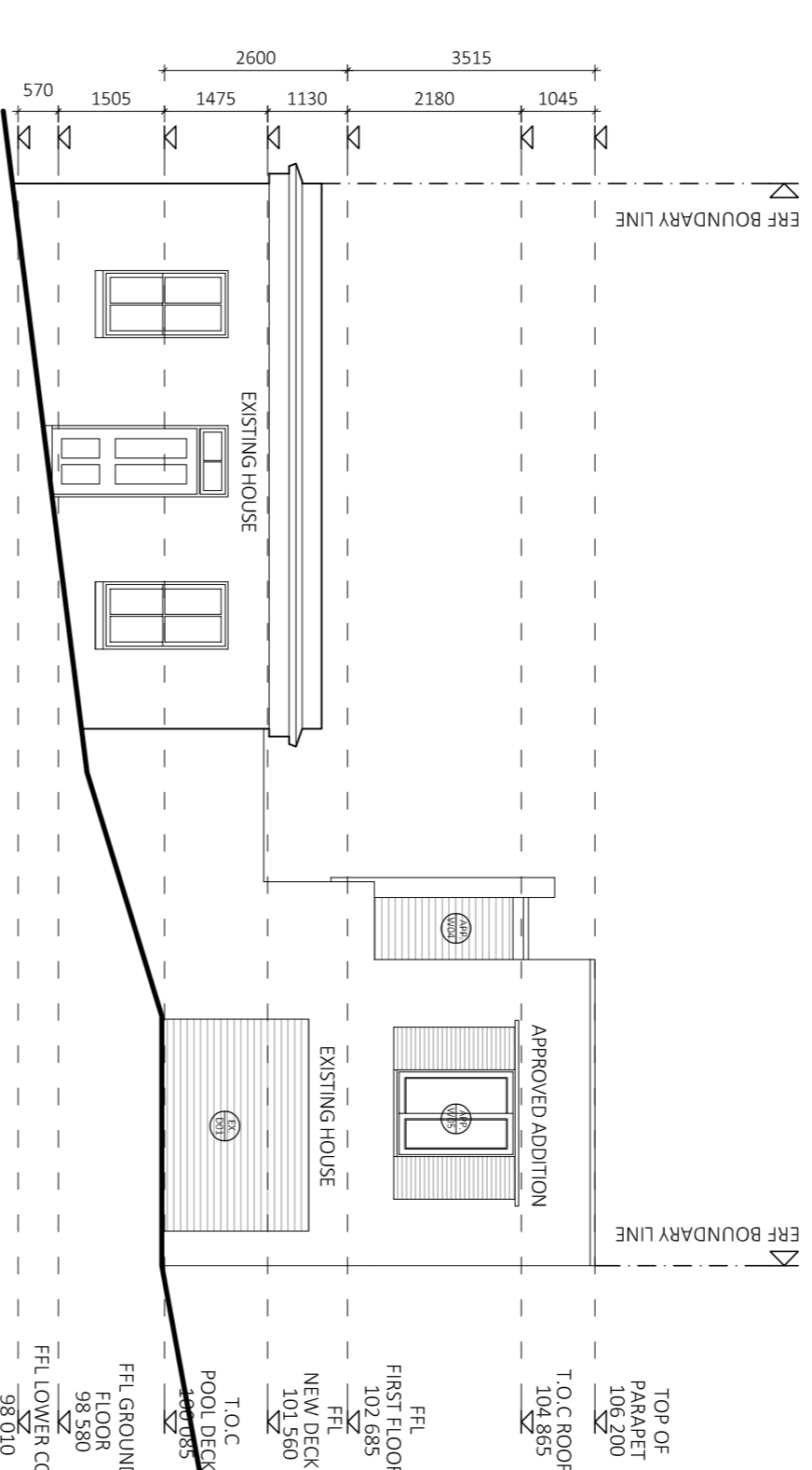
SOUTH WEST ELEVATION  
scale 1:100



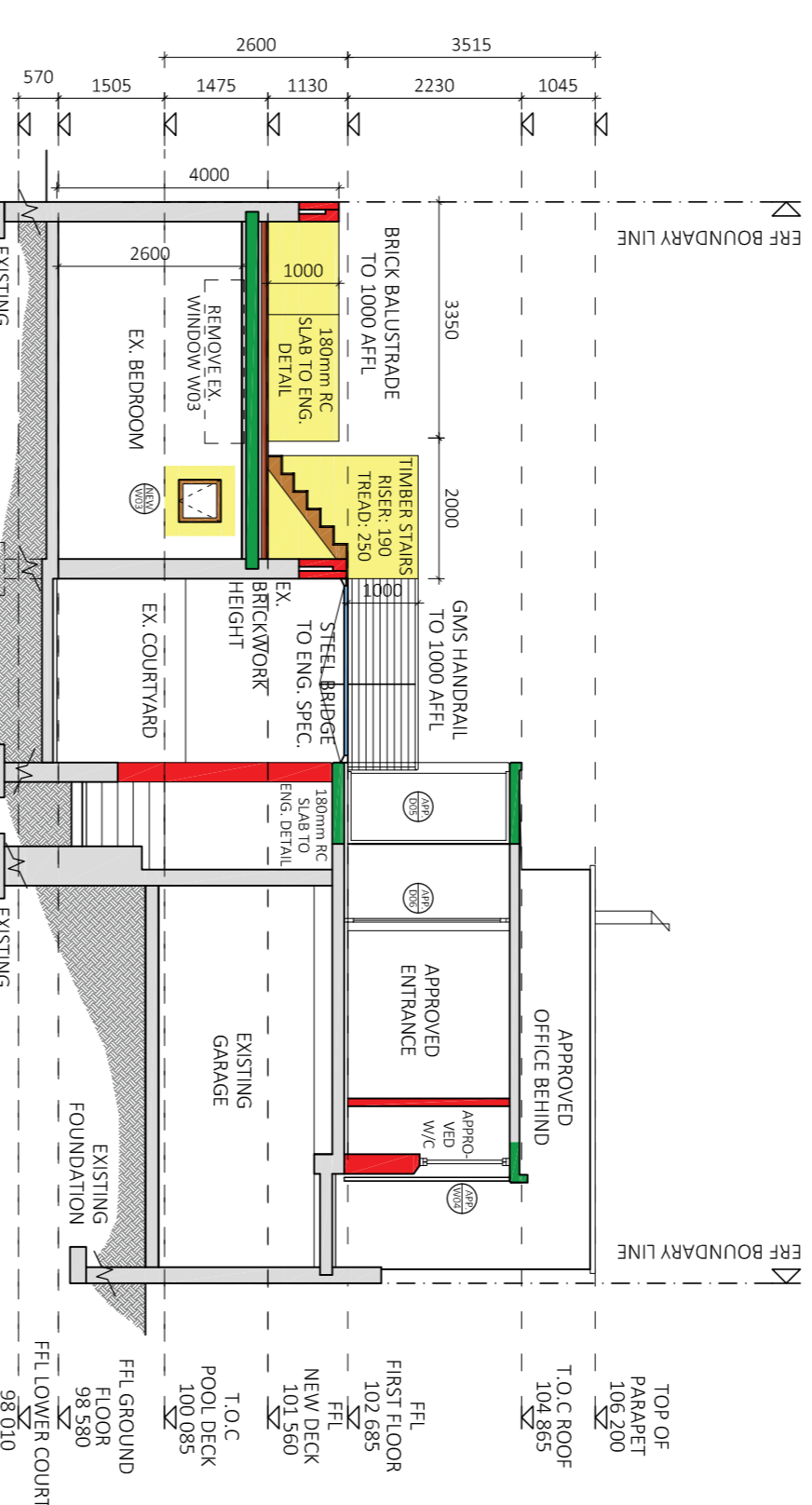
SECTION AA  
scale 1:100



SOUTH WEST ELEVATION  
scale 1:100



STREET ELEVATION  
scale 1:100



SECTION BB  
scale 1:100

AREA SCHEDULE	
TOTAL EXISTING	133.6 m <sup>2</sup>
TOTAL APPROVED	12.2 m <sup>2</sup>
TOTAL NEW PATIO	2.3 m <sup>2</sup>
TOTAL NEW	3.7 m <sup>2</sup>
SUM (NEW+EXISTING)	149.5 m <sup>2</sup>
TOTAL COVERAGE	137.3 m <sup>2</sup>
SITE AREA	211 m <sup>2</sup>
% SITE COVERAGE (NEW+EXISTING)	65%

SIGNAL STREET  
31m TO NEAREST CROSS  
ROADS (WOODS ROAD  
SIGNAL STREET)

SIGNAL STREET

SIGNAL STREET

CLIENT  
**LUDOVIC BERTHELIN**  
PROJECT  
**HOUSE BERTHELIN**  
ADDITIONS  
AND ALTERATIONS  
TO  
EXISTING DWELLING ON ERF 1024, 1  
SIGNAL STREET SCHOTSCHE KLOOF

FOR:

COUNCIL SUBMISSION

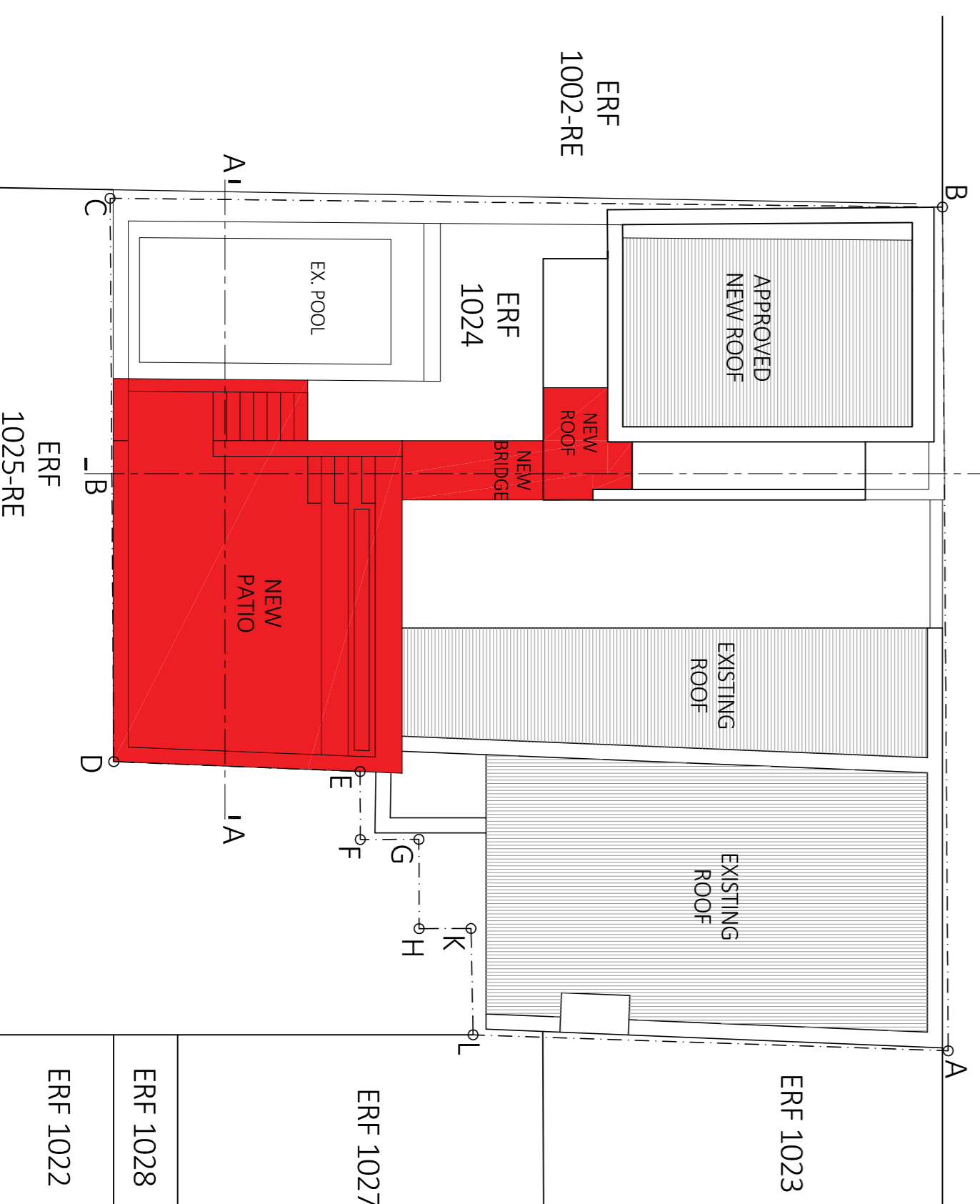
PLANS, SECTIONS, AND  
ELEVATIONS

DATE: 2017-10-18  
SCALE: 1:100  
DRAWING NO.: 1704-03-001  
PROJECT: SR NS 1704  
REV: DATE: DESCRIPTION:

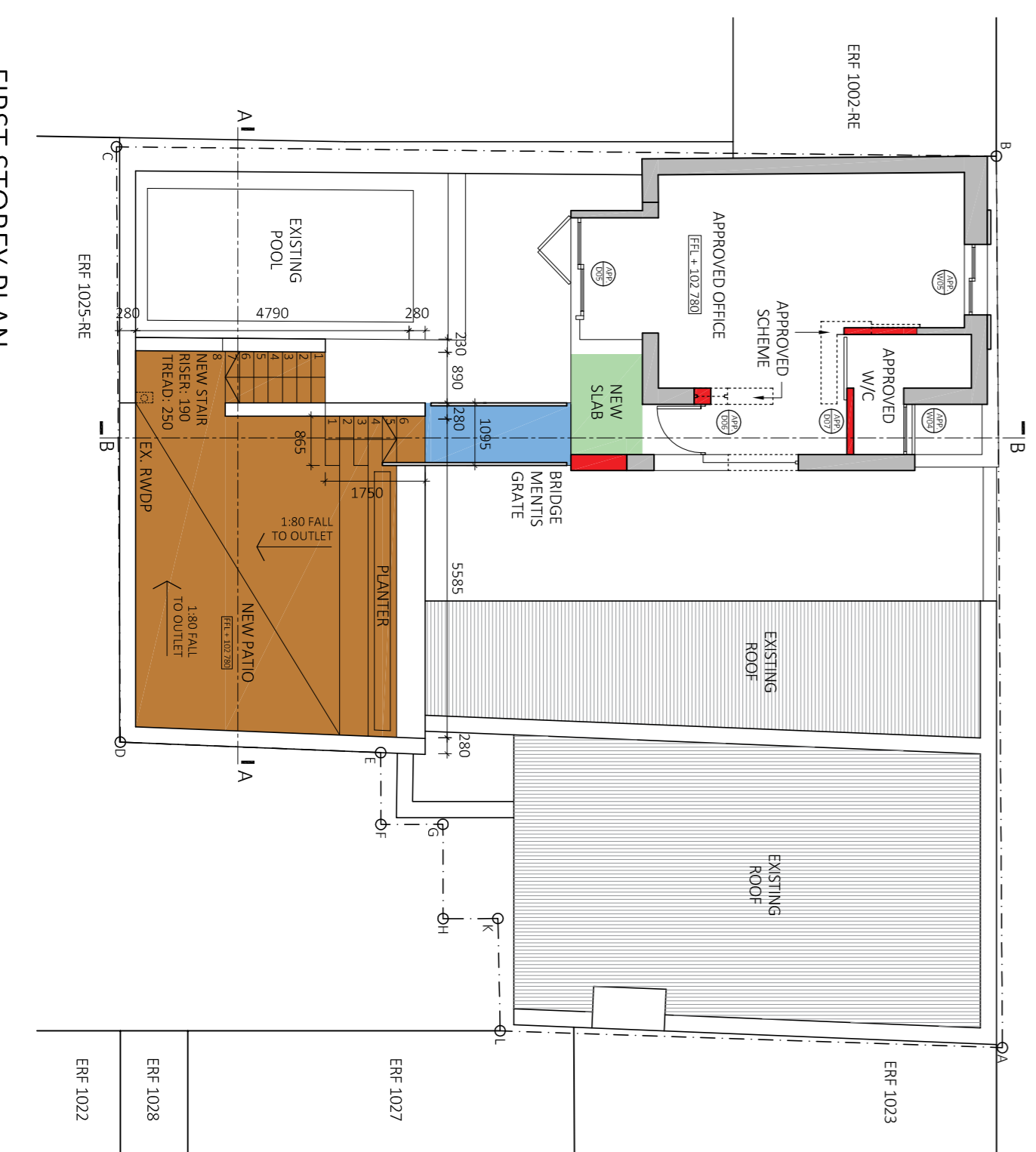
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ARCHITECTS

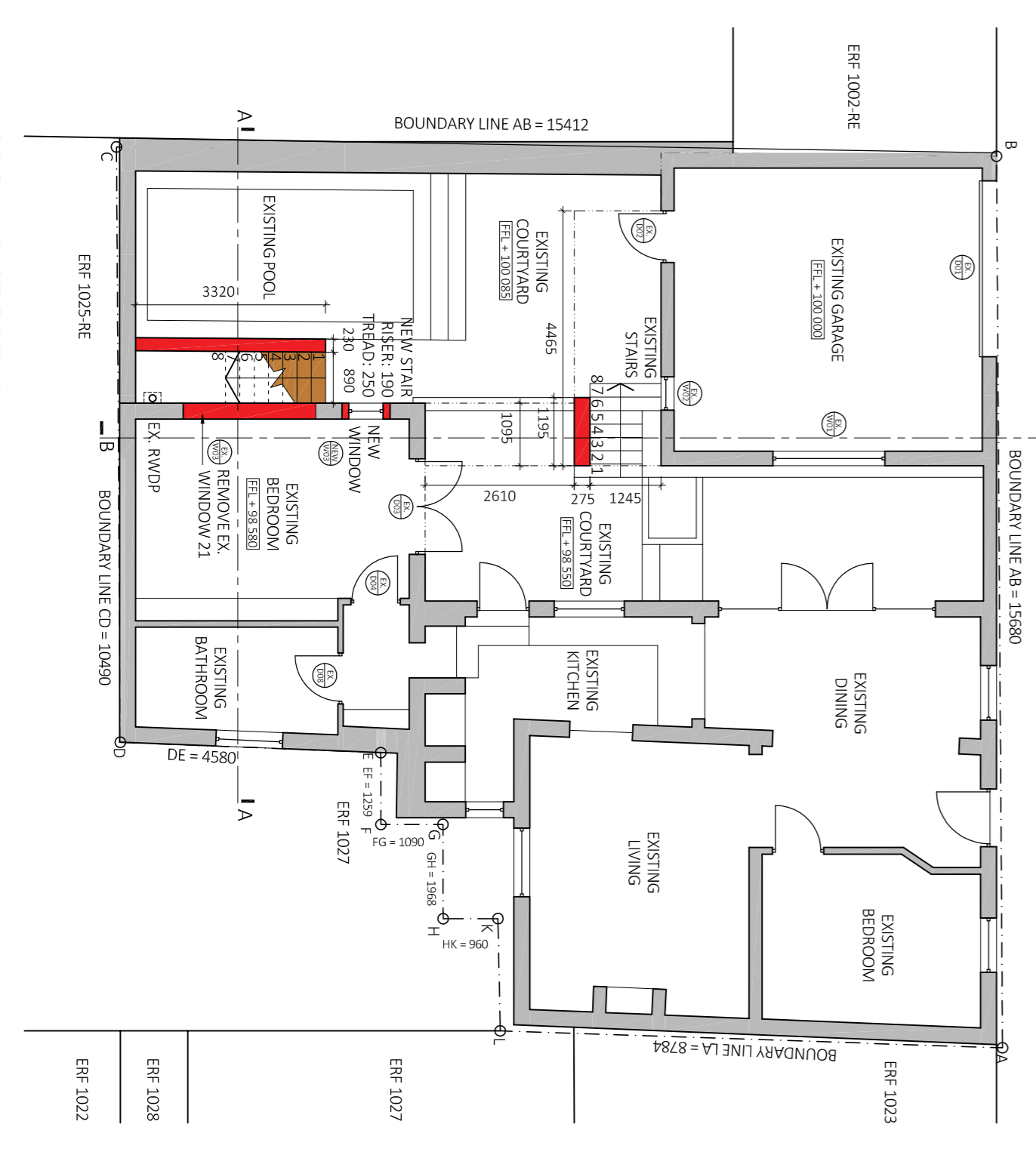
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SITE PLAN  
scale 1:100



FIRST STOREY PLAN  
scale 1:100



GROUND STOREY PLAN  
scale 1:100