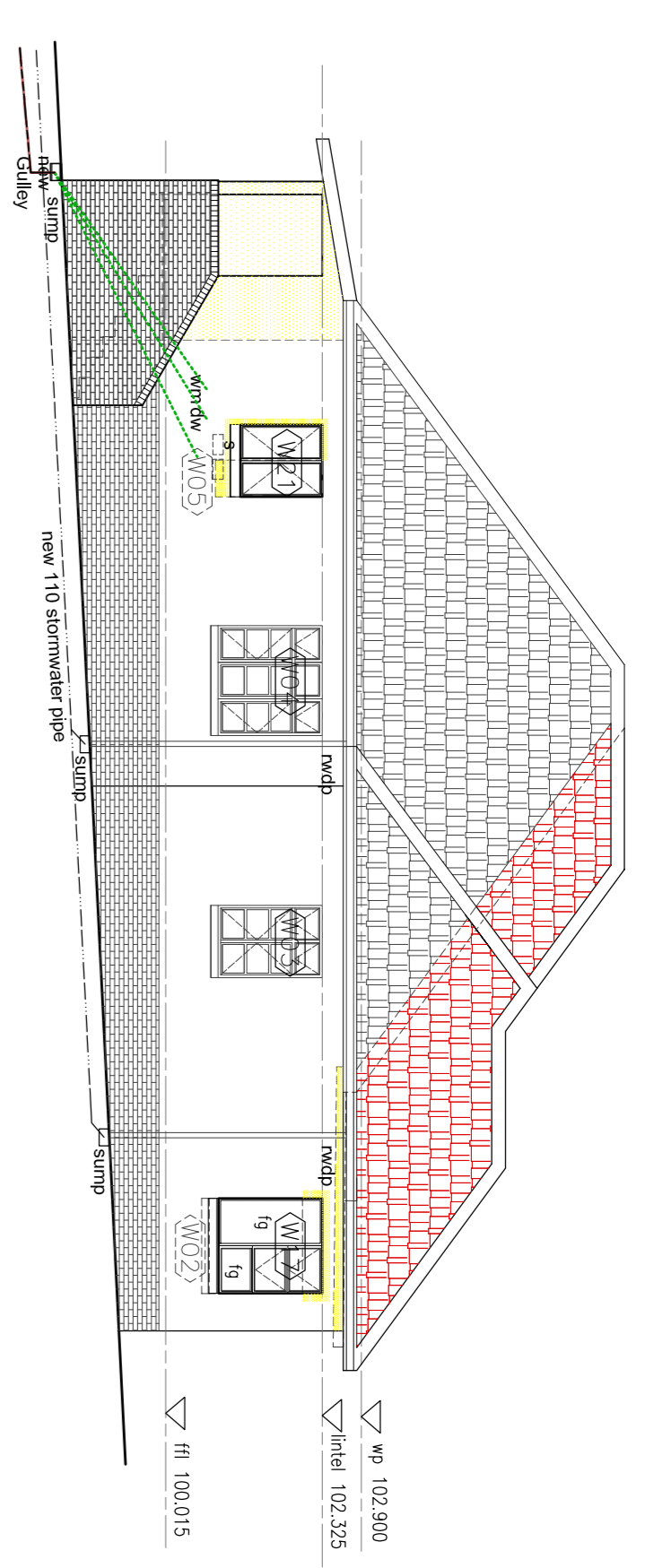
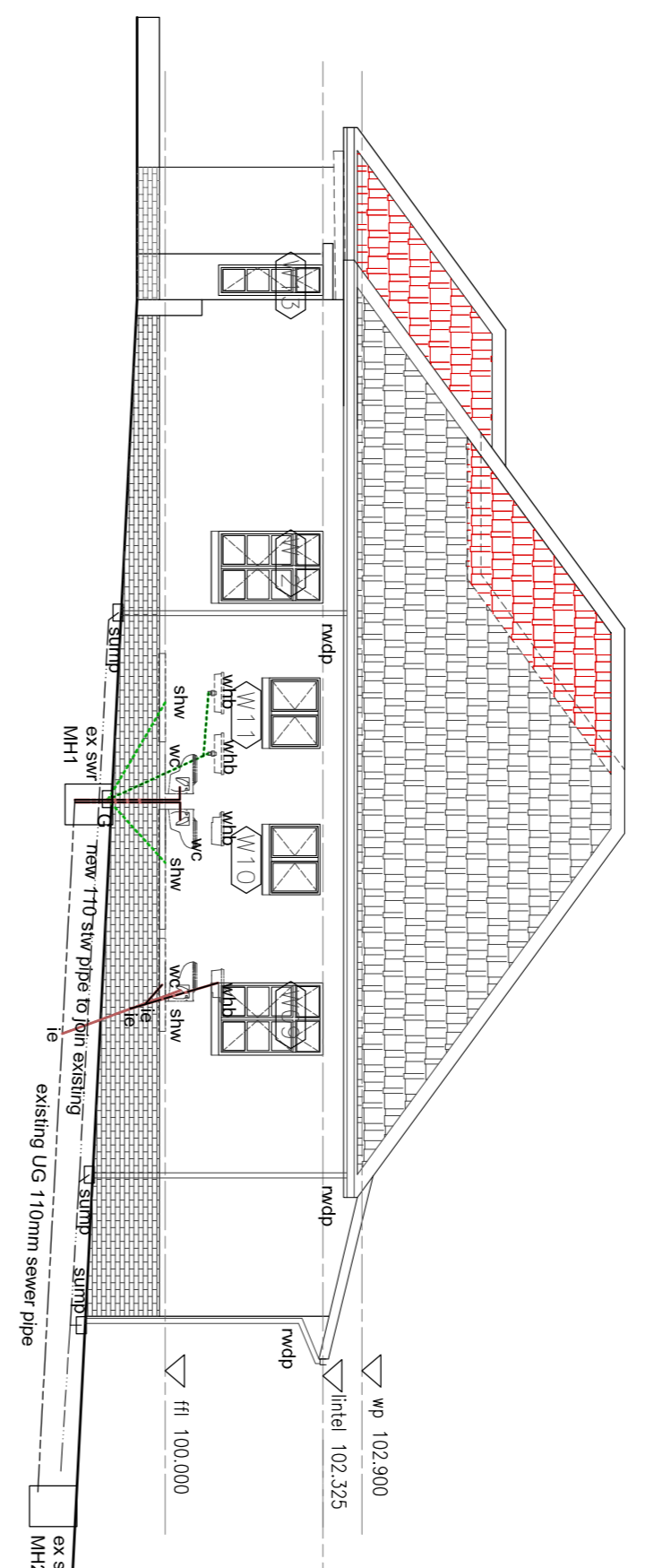


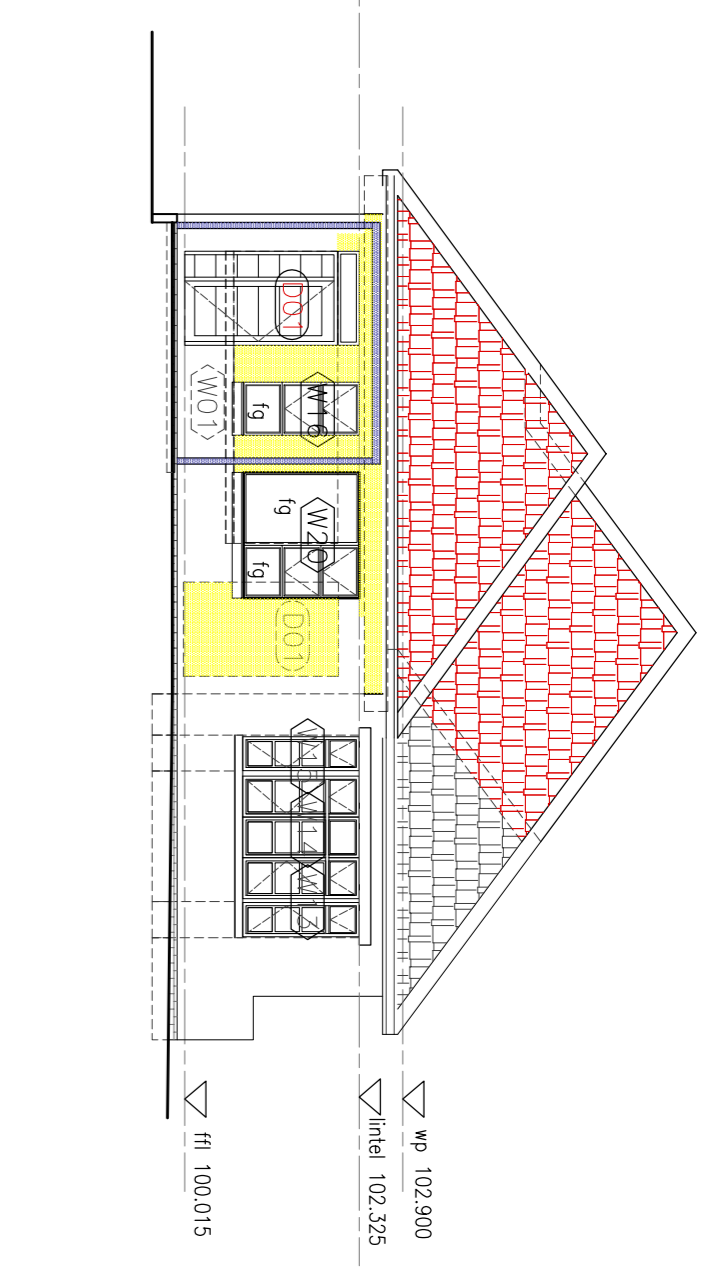
site/roof plan
Scale 1:100



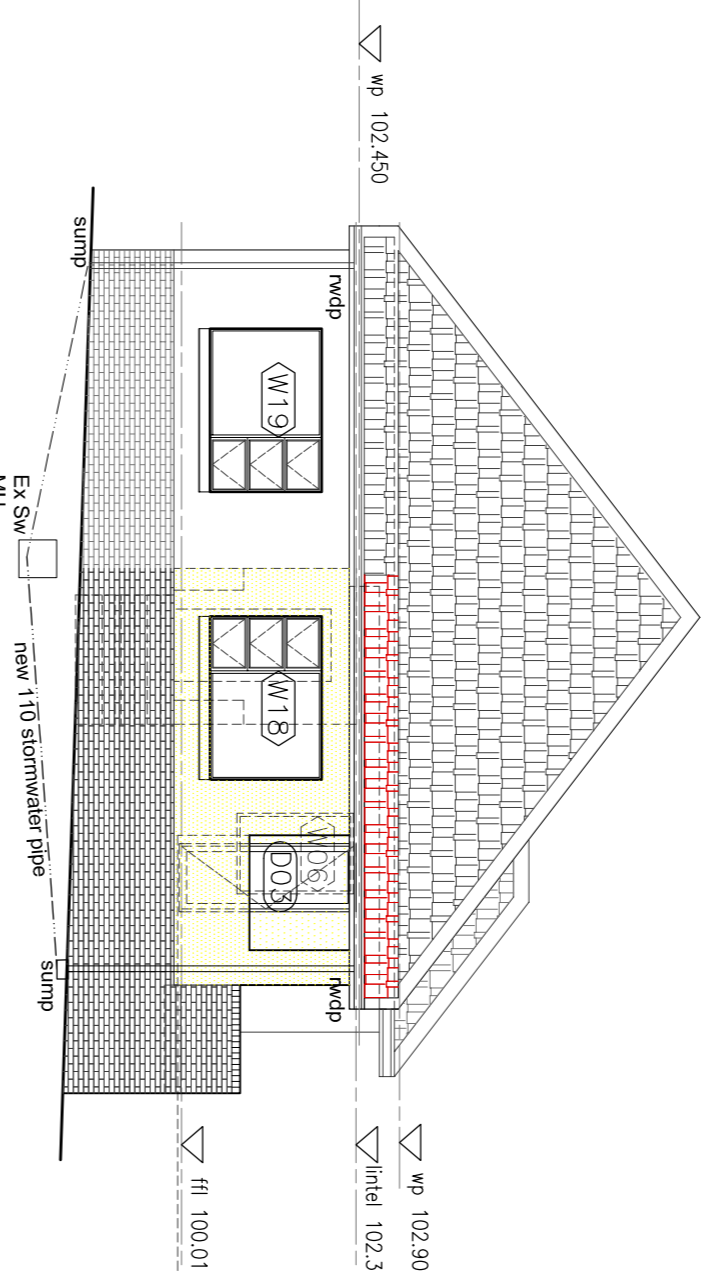
south east elevation
Scale 1:100



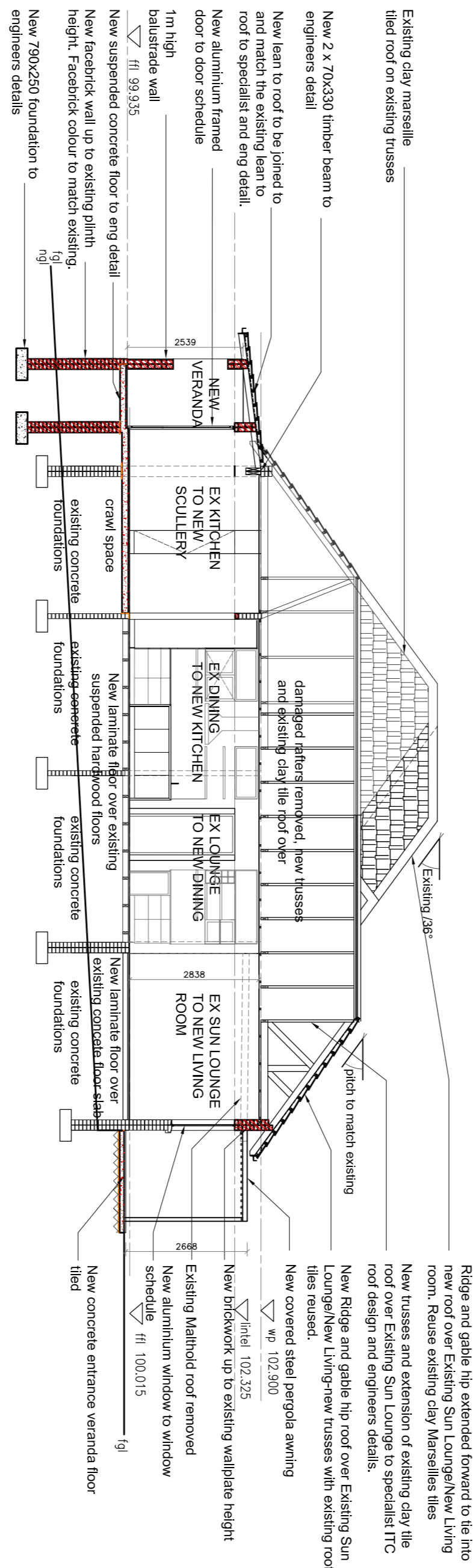
north west elevation
Scale 1:100



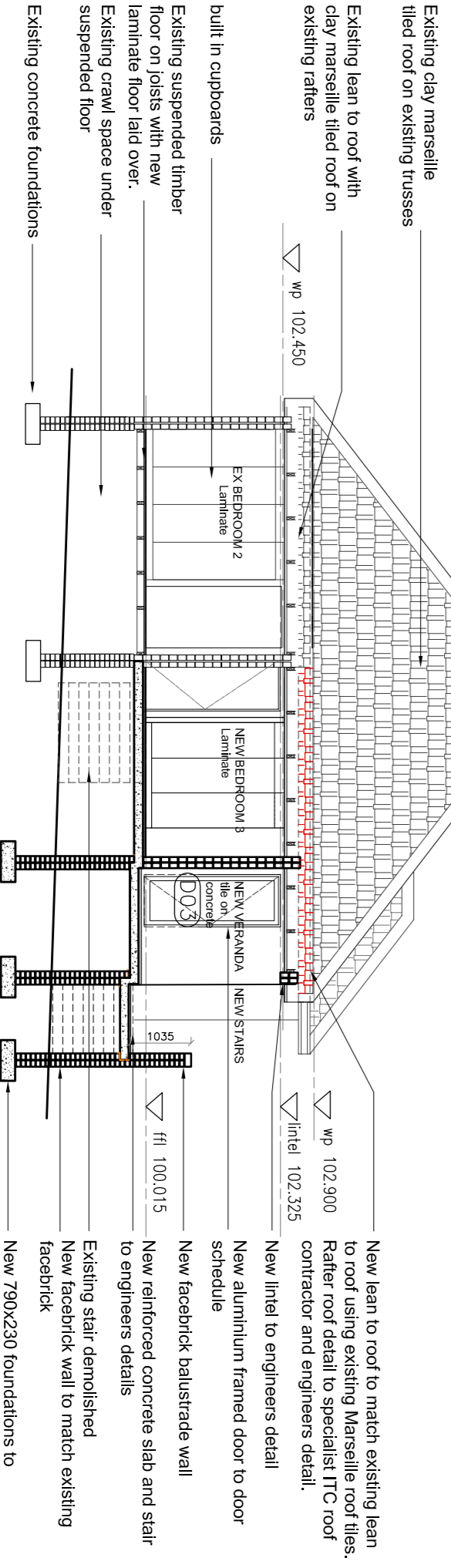
north east elevation
Scale 1:100



south west elevation
Scale 1:100



section A-A
Scale 1:100



section B-B
Scale 1:100

SCHEDULE OF AREAS	
PROPERTY DESCRIPTION	
Err / Point:	Er 5787
Township:	Glenwood, Durban
Address:	744m ² 87 Penance Road, Glenwood, Durban
ZONING INFORMATION	
Town Planning Scheme	Ethekeeni Municipality (central)
Use Zone	Special Residential 400

DEVELOPMENT CONTROL MEASURES		
Permissible	1 Storey	EXISTING
Permissible	2 Storeys	EXISTING
Permissible	50% Coverage	235.0m ² (34.2%)
Permissible	F.A.R.	212.5m ² (0.29)
Permissible	Height zone	2 Storeys
Permissible	Coverage	254.3m ² (34.2%)
Permissible	F.A.R.	225.4m ² (0.30)
EXISTING		
Main Swallowing	193.0m ²	163.3m ²
Outstanding 1 (garage)	37.1m ²	37.1m ²
Outstanding 2	24.8m ²	24.8m ²
Garage	22.5m ²	22.5m ²
Entrance Porch	235.0m ² (34.2%)	254.3m ² (34.2%)
Total FAR	212.5m ² (0.29)	225.4m ² (0.30)
Total Additional Floor Area	12.9m ²	

NOTES:
All work to be carried out strictly in accordance with National Building Regulations SABS 5400, OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS and Local Authority Regulations.
Do not scale this drawing or dimensions.
The Architect accepts no responsibility for errors resulting from the misinterpretation of the drawing.

GENERAL NOTES
ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCING WORK.
ANY DISCREPANCIES TO BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NBR RESS S.A.B.S. AND MANUFACTURERS SPECIFICATIONS.
P.C. LINTOLS MUST BE BUILT ABOVE ALL OPENINGS UNLESS OTHERWISE INDICATED.
STAIRING WALLS TO TO ENGINEERS DETAIL.
ENGINEER TO DETAIL AND SUPERSEDE ALL STRUCTURAL WORK.
ALL PLUMBING PIPE WORK IS TO BE CONCEALED.
ALL CONCRETE SURFACE BEDS TO HAVE 375 mm DAMP PROOF.
ALL WALLS TO HAVE 350 mm DAMP PROOF COURSE AT SLAB LEVEL.
ALL EXT. WALLS TO HAVE BRICK FORCE EVERY 3rd COURSE AND FOUNDATION WALLS TO HAVE BRICK FORCE EVERY 3rd COURSE AND BATHROOM ACCESSORIES FINAL POSITION TO BE AGREED ON SITE.

ENDORSEMENTS:
1- WORK TO PROFESSIONAL ENG. DETAIL.
2- GLAZING TO COMPLY WITH PART N OF NBR.
3- ALL ROOF TRUSSES TO BE FIXED USING HOOP IRON BUILT INTO 6 COURSES OF BRICKWORK.

ADDITIONS AND ALTERATIONS TO EXISTING DWELLING ON ERF 5787, DURBAN, 87 PENANCE ROAD, DURBAN FOR MR & MRS PILLAY

zoning:

signature:

contract no.:

rally adams architect

101-031-2051902
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pr. adv. : 5636

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scale : 1 : 100
date : 27.09.2021

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