

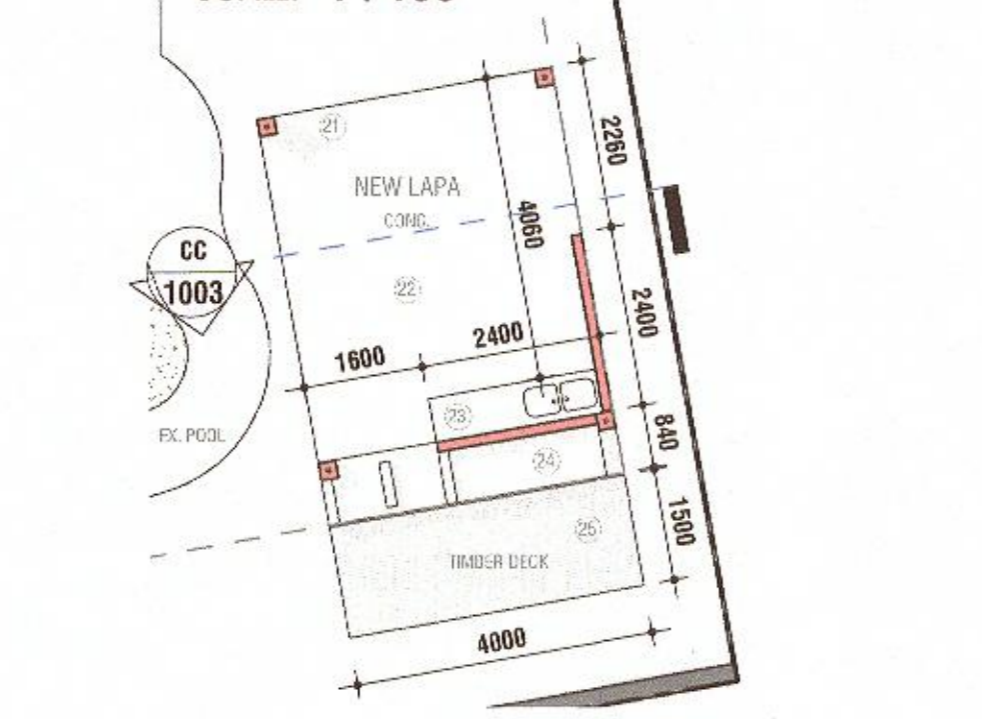
**SITE PLAN**  
SCALE: 1 : 200

| AREA SCHEDULE         | EXISTING AREA                         | NEW AREA   | TOTAL AREA                |
|-----------------------|---------------------------------------|--|---------------------------|
| GROUND STOREY (HOUSE) | 126.1m <sup>2</sup>                   | 13.4m <sup>2</sup> (22.8m <sup>2</sup> - 8.5m <sup>2</sup> ) | 141.5m <sup>2</sup>       |
| FIRST STOREY (HOUSE)  | 42.0m <sup>2</sup>                    | n/a  | 42.0m <sup>2</sup>        |
| GARAGE                | 0m <sup>2</sup> (54.4m <sup>2</sup> ) | n/a  | 0m <sup>2</sup>           |
| ANCILLARY UNIT        | 56.5m <sup>2</sup>                    | n/a  | 56.5m <sup>2</sup>        |
| OUT BUILDING          | 9.7m <sup>2</sup>                     | 3.5m <sup>2</sup>  | 13.2m <sup>2</sup>        |
| LAPA                  | n/a                                   | 0m <sup>2</sup> (19.2m <sup>2</sup> )                        | 0m <sup>2</sup>           |
| <b>TOTAL</b>          | <b>234.3m<sup>2</sup></b>             | <b>18.9m<sup>2</sup></b>                                     | <b>253.2m<sup>2</sup></b> |

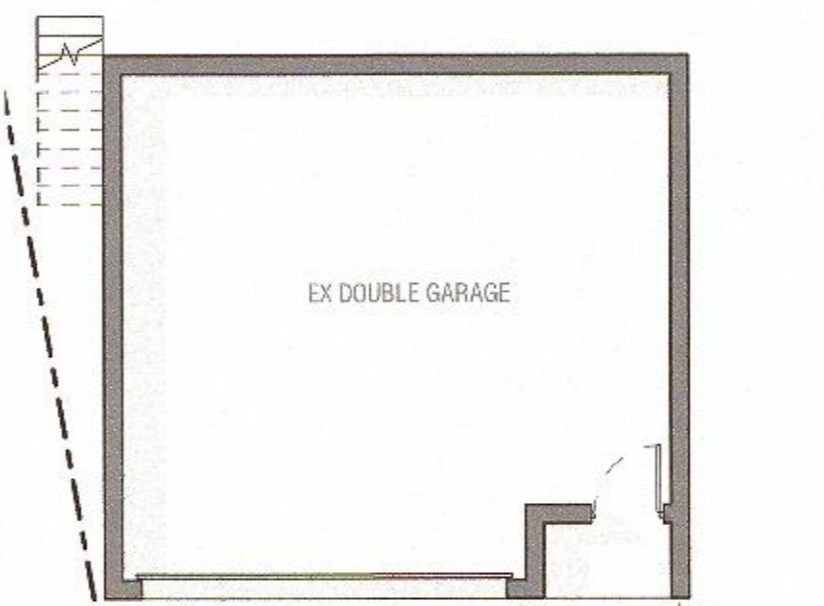
| SCHEDULE OF RIGHTS          |                           |                           |   |
|-----------------------------|---------------------------|---------------------------|---|
| <b>PROPERTY DESCRIPTION</b> |                           |                           |   |
| ERF / PORTION               | erf 26 / 3444             |                           |   |
| TOWNSHIP                    | DURBAN NORTH              |                           |   |
| SITE AREA                   | 983.00m <sup>2</sup>      |                           |   |
| STREET ADDRESS              | 14 MELROSE AVENUE         |                           |   |
| <b>ZONING INFORMATION</b>   |                           |                           |   |
| TOWN PLANNING SCHEME        | DURBAN CENTRAL            |                           |   |
| USE ZONE                    | SPECIAL RESIDENTIAL-400   |                           |   |
| <b>DEVELOPMENT CONTROLS</b> |                           |                           |   |
| FAR                         | 10%                       | 234.3m <sup>2</sup>       | 253.2m <sup>2</sup> NEW AREA - 18.9m <sup>2</sup>       |
| COVERAGE                    | 50% - 494.3m <sup>2</sup> | 19% - 192.3m <sup>2</sup> | 25% - 253.2m <sup>2</sup> NEW AREA - 57.8m <sup>2</sup> |
| HEIGHT                      | 2 STOREYS                 | 2 STOREYS                 | 2 STOREYS   |



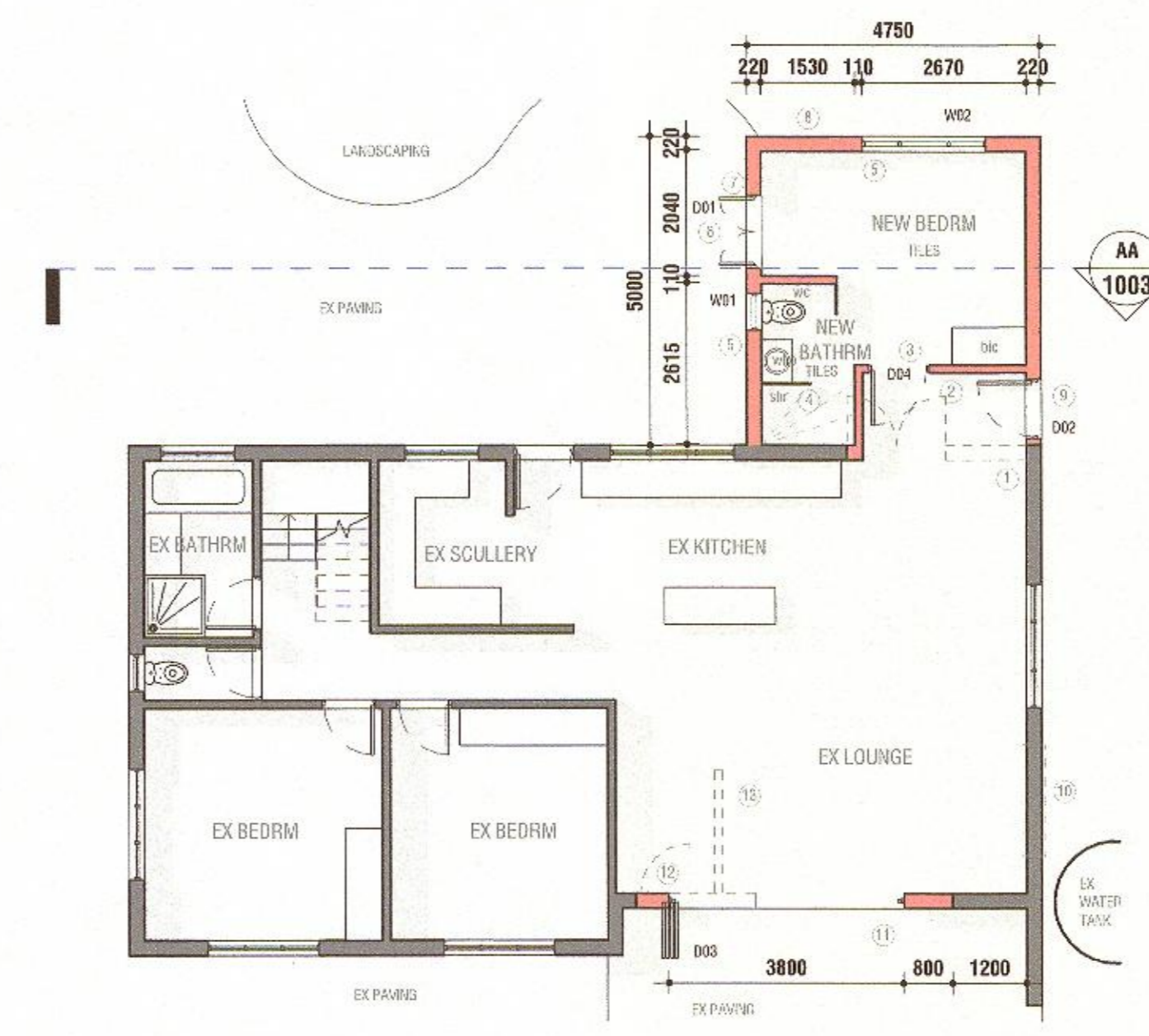
**GROUND STOREY - OUT BUILDING**  
SCALE: 1 : 100



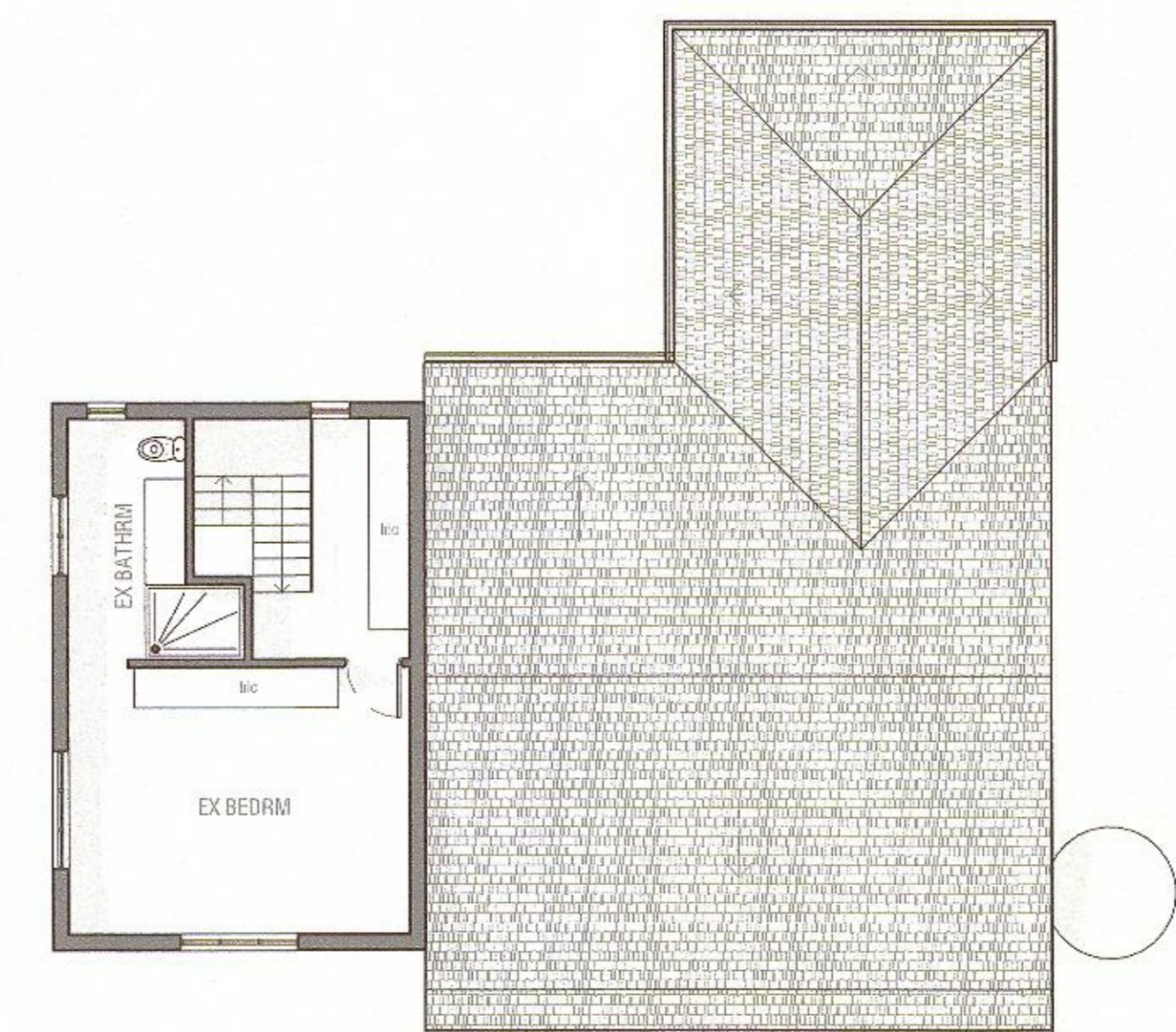
**GROUND STOREY - LAPA**  
SCALE: 1 : 100



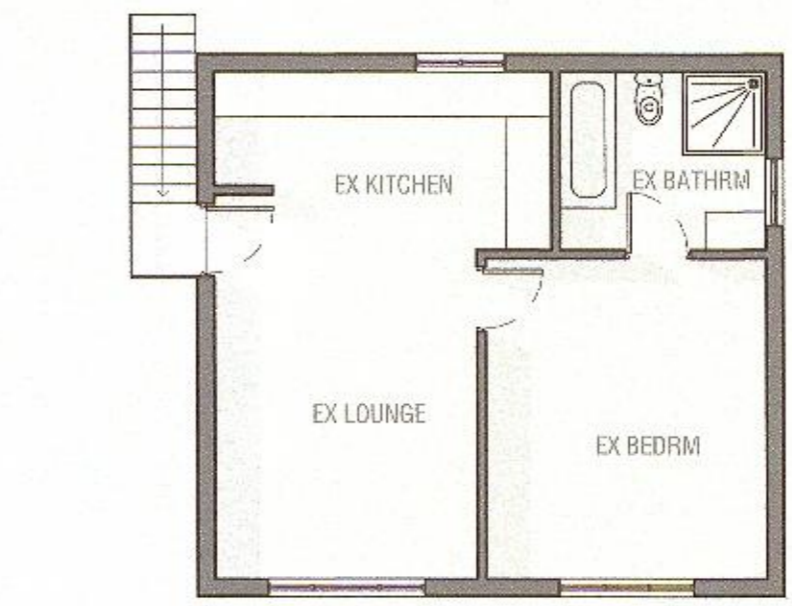
**GROUND STOREY - ANCILLARY UNIT**  
SCALE: 1 : 100



**GROUND STOREY PLAN**  
SCALE: 1 : 100



**FIRST STOREY PLAN**  
SCALE: 1 : 100



**FIRST STOREY - ANCILLARY UNIT**  
SCALE: 1 : 100

- ALTERATION NOTES**
- DEMOLISH EXISTING EXTERNAL WALL AND DOOR
  - NEW INTERNAL 110mm WALL
  - NEW INTERNAL TIMBER DOOR
  - NEW BATHROOM WITH WC, WBS AND SHOWER
  - NEW ALLU WINDOW
  - 85mm WEATHER STEP
  - NEW ALLU DOOR WITH GLAZING PANELS
  - NEW 250mm EXTERNAL BRICKWORK
  - NEW EXTERNAL TIMBER DOOR
  - REMOVE EXISTING WINDOW AND BRICK UP OPENING
  - REMOVE EX WINDOW, INSTALL NEW ALLU STACKING DOOR
  - REMOVE EXISTING DOOR AND BRICK UP OPENING
  - DEMOLISH 110mm INTERNAL WALL
  - REMOVE 2 DOORS AND DEMOLISH BRICKWORK
  - NEW 110mm AND 250mm BRICKWORK TO ENCLOSE ROOM
  - NEW WC, WBS AND SHR
  - NEW EXTERNAL CONC. SLAB, BRICKWORK AND TIMBER DOOR
  - NEW WC
  - NEW ALUMINIUM WINDOW
  - NEW ALUMINIUM DOOR AND SIDELIGHTS
  - NEW BRICK COLUMNS TO SUPPORT TIMBER ROOF STRUCTURE
  - NEW CONC. SURFACE BED
  - NEW COUNTER WITH CUBBOARDS BELOW
  - NEW BRICK BRAAI AND COUNTER WITH CUBBOARDS BELOW
  - NEW TIMBER DECK
  - NEW CONCRETE ROOF TILES ON TIMBER SUPPORT STRUCTURE

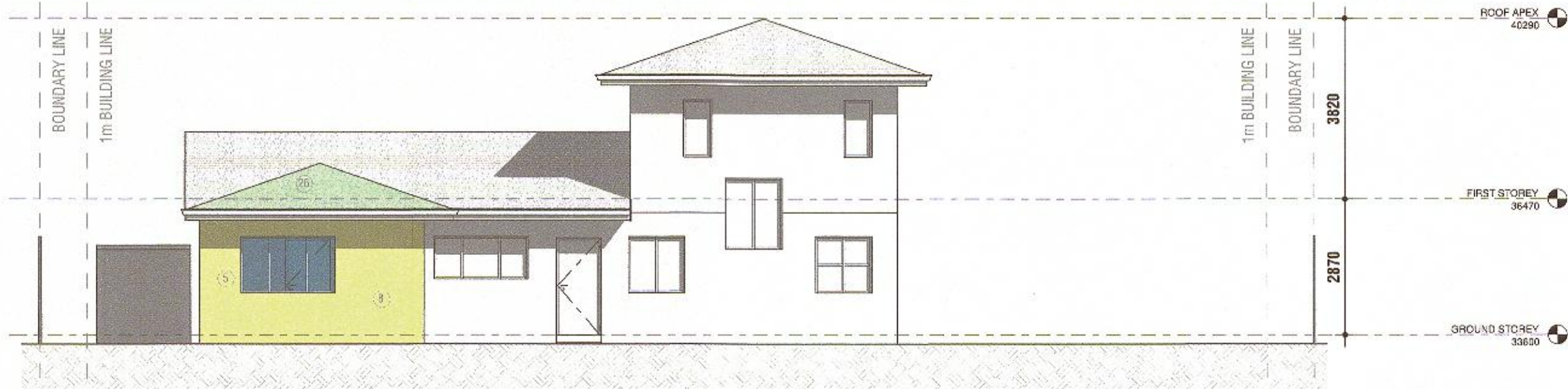
- NOTES IN RESPECT OF S A STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS, SANS 10400**
- PART A - PUBLIC SAFETY**
    - ALL REQUIREMENTS TO COMPLY WITH PART A SANS 10400.
  - PART B - STRUCTURAL DESIGN**
    - ALL STRUCTURAL DESIGN AS PER RATIONAL DESIGN BY A COMPETENT PERSON
  - PART C - DIMENSIONS**
    - ALL DIMENSIONS OF ANY ROOM OR SPACE TO COMPLY WITH THE REQUIREMENTS OF PART C SANS 10400.
  - PART D - PUBLIC SAFETY**
    - ALL BALUSTRADES TO COMPLY WITH D-4.2 & D-1 (ANNEX A)
    - PEDESTRIAN ENTRANCES TO PARKING AREAS IN BUILDINGS TO COMPLY WITH D2 (ANNEX A)
    - ALL RAMPS AND DRIVEWAYS TO COMPLY WITH D-4.3 & D-3 (ANNEX A)
  - PART F - SITE OPERATIONS**
    - ALL SITE OPERATIONS TO COMPLY WITH PART F SANS 10400.
  - PART G - EXCAVATIONS**
    - ALL EXCAVATIONS AS PER RATIONAL DESIGN BY COMPETENT PERSON
  - PART H - FOUNDATIONS**
    - ALL FOUNDATIONS AS PER RATIONAL DESIGN BY COMPETENT PERSON
  - PART J - FLOORS**
    - ALL FLOORS TO COMPLY WITH ANNEX A J.1-1
    - ALL CONCRETE SURFACE BEDS TO COMPLY WITH J.4.4
    - ALL FLOORS AS PER RATIONAL DESIGN BY COMPETENT PERSON
  - PART K - WALLS**
    - ALL MASONRY WALLS TO COMPLY WITH K-4.2 & K-1 - K-2 (ANNEX A)
    - ALL LINTELS TO COMPLY WITH K.1 (ANNEX B) OF PART K
    - ALL WATERPROOFING TO WALLS TO COMPLY WITH K-4.5 & C-1 (ANNEX C) OF PART K
    - ALL STRUCTURAL WALLS AS PER RATIONAL DESIGN BY COMPETENT PERSON
  - PART L - ROOFS**
    - ROOF AS PER RATIONAL DESIGN BY COMPETENT PERSON
  - PART N - GLAZING**
    - ALL GLAZING TO COMPLY WITH PART N OF SANS 10400 AND SANS REGULATIONS
    - GLAZING AND GLAZING STRUCTURE AS PER RATIONAL DESIGN BY COMPETENT PERSON
  - PART O - LIGHTING AND VENTILATION**
    - ALL LIGHTING AND VENTILATION TO COMPLY WITH PART O-4.1
    - ALL AREAS TO BE ARTIFICIALLY AND NATURALLY LIT IN COMPLIANCE WITH PART O-4.2 OF SANS 10400
    - ALL AREAS TO BE NATURALLY AND MECHANICALLY VENTILATED IN ACCORDANCE WITH PART O-4.3 OF SANS 10400
    - FRESH AIR TO BE SUPPLIED AT RATE OF 7.5L/SP/ & TO BE UNIFORMLY DISTRIBUTED THROUGHOUT HABITABLE AREAS.
    - LIGHTING AND VENTILATION AS PER RATIONAL DESIGN BY A COMPETENT PERSON
    - BUILDING TO COMPLY IN TERMS OF THE TOBACCO CONTROL LEGISLATION AS PER PART O-4.4
  - PART P - DRAINAGE**
    - ALL DRAINAGE AS PER RATIONAL DESIGN BY COMPETENT PERSON
    - ALL SANITARY FIXTURES TO BE PROVIDED IN ACCORDANCE WITH P4.11 AND IN ACCORDANCE WITH P4.3, P4.4 & P4.5
  - PART R - STORMWATER DISPOSAL**
    - ALL STORMWATER AS PER RATIONAL DESIGN BY COMPETENT PERSON
  - PART XA - ENERGY USAGE IN BUILDINGS**
    - ENERGY USAGE AND BUILDING ENVELOPE TO BE DESIGNED IN ACCORDANCE WITH PART XA.2, XA.3 & XA.4 OF SANS 10400
    - BUILDING DESIGN TO BE IN ACCORDANCE WITH 4.1, 4.2, 4.3 & 4.4 OF SANS 204
    - SERVICES TO BE RATIONAL DESIGN BY COMPETENT PERSON
    - ALL ENERGY USAGE AS PER RATIONAL DESIGN BY COMPETENT PERSON

CLIENT SIGNATURE: *[Signature]* 15:01:2021

ENGINEER SIGNATURE: *[Signature]*  
ARCHITECT SIGNATURE: *[Signature]*

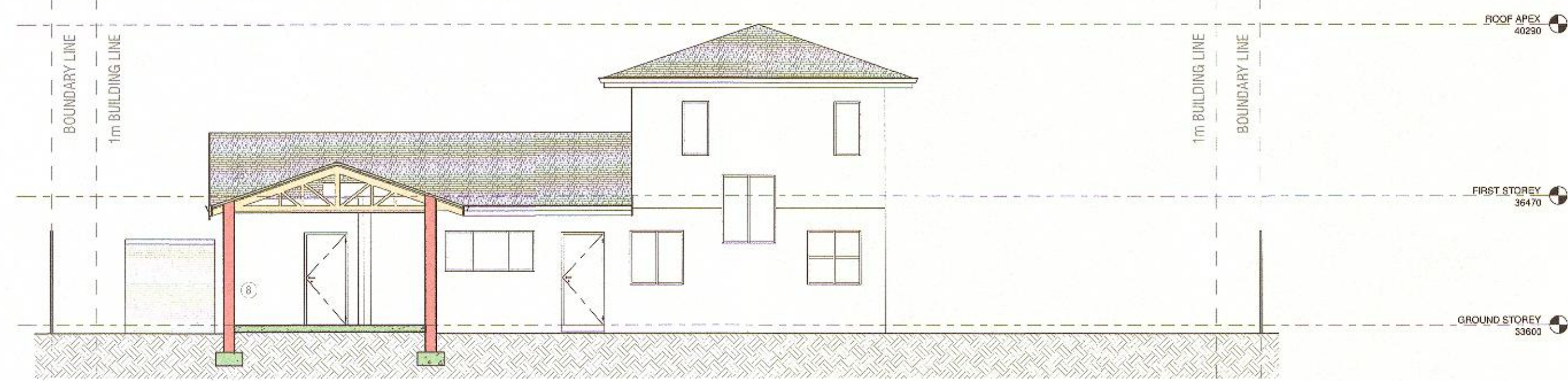
**planning solutions**  
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lance@planningsolutions.co.za  
www.planningsolutions.co.za

| PROJECT                        | DRAWING              |
|--------------------------------|----------------------|
| Alterations to House Silcock   | Municipal Submission |
| LOCATION                       | SCALE                |
| 14 Melrose Place, Durban North | As indicated         |
| CLIENT                         | DATE                 |
| Quintin Silcock                | 22/12/2020           |
| PROJECT NO.                    | CHECKED              |
| 20030 - SK - 1002              | LMB                  |
|                                | DATE                 |
|                                | 04:47:02             |
|                                | SHEET SIZE           |
|                                | A1                   |
|                                | REVISION             |
|                                |                      |



**NORTH ELEVATION**

SCALE: 1 : 100



**SECTION A-A**

SCALE: 1 : 100



**SOUTH ELEVATION**

SCALE: 1 : 100

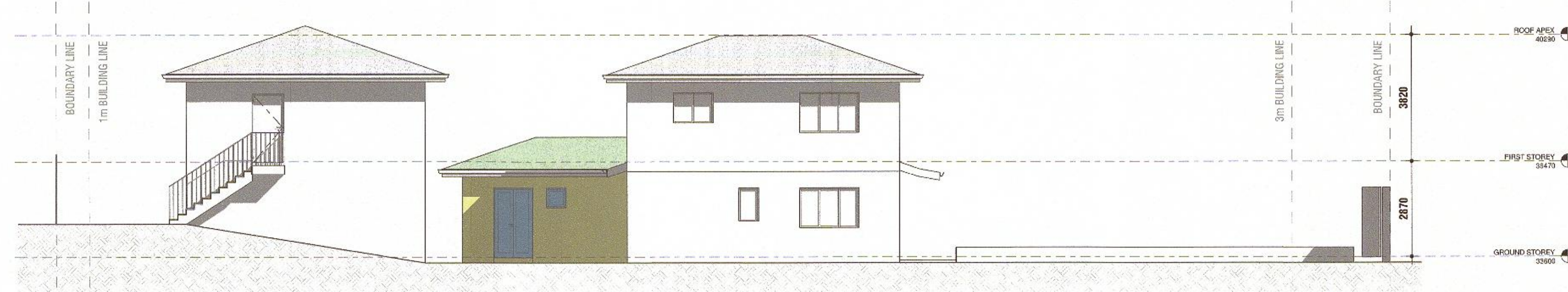
- ALTERATION NOTES**
- 1 DEMOLISH EXISTING EXTERNAL WALL AND DOOR
  - 2 NEW INTERNAL 110mm WALL
  - 3 NEW INTERNAL TIMBER DOOR
  - 4 NEW BATHROOM WITH WC, WHB AND SHOWER
  - 5 NEW ALL WINDOW
  - 6 85mm WEATHER STEP
  - 7 NEW ALU. DOOR WITH GLAZING PANELS
  - 8 NEW 230mm EXTERNAL BRICKWORK
  - 9 NEW EXTERNAL TIMBER DOOR
  - 10 REMOVE EXISTING WINDOW AND BRICK UP OPENING
  - 11 REMOVE EX WINDOW, INSTALL NEW ALU. STACKING DOOR
  - 12 REMOVE EXISTING DOOR AND BRICK UP OPENING
  - 13 DEMOLISH 110mm INTERNAL WALL
  - 14 REMOVE x2 DOORS AND DEMOLISH BRICKWORK
  - 15 NEW 110mm AND 230mm BRICKWORK TO ENCLOSE ROOM
  - 16 NEW WC, WHB AND SHR
  - 17 NEW EXTERNAL CONC. SLAB, BRICKWORK AND TIMBER DOOR
  - 18 NEW WC
  - 19 NEW ALUMINUM WINDOW
  - 20 NEW ALUMINUM DOOR AND SIDELIGHTS
  - 21 NEW BRICK COLUMNS TO SUPPORT TIMBER ROOF STRUCTURE
  - 22 NEW CONC. SURFACE BED
  - 23 NEW COUNTER WITH CUBOARDS BELOW
  - 24 NEW BRICK BRAAI AND COUNTER WITH CUBOARDS BELOW
  - 25 NEW TIMBER DECK
  - 26 NEW CONCRETE ROOF TILES ON TIMBER SUPPORT STRUCTURE

**DOOR SCHEDULE**

| DOOR  | DESCRIPTION                        | GLASS AREA | GLASS TYPE                 |
|-------|------------------------------------|------------|----------------------------|
| DT_01 | 1200 x 2100 ALU./ GLASS - DOUBLE   | 2.52m²     | 6mm TOUGHENED SAFETY GLASS |
| DT_02 | 900 x 2100 TIMBER - EXTERNAL       | 0.00m²     |                            |
| DT_03 | 3800 x 2100 ALU./ GLASS - STACKING | 7.98m²     | 6mm TOUGHENED SAFETY GLASS |
| DT_04 | 813 x 2100 TIMBER - INTERNAL       | 0.00m²     |                            |
| DT_05 | 450 x 2100 ALU./ GLASS - SINGLE    | 2.67m²     | 6mm TOUGHENED SAFETY GLASS |

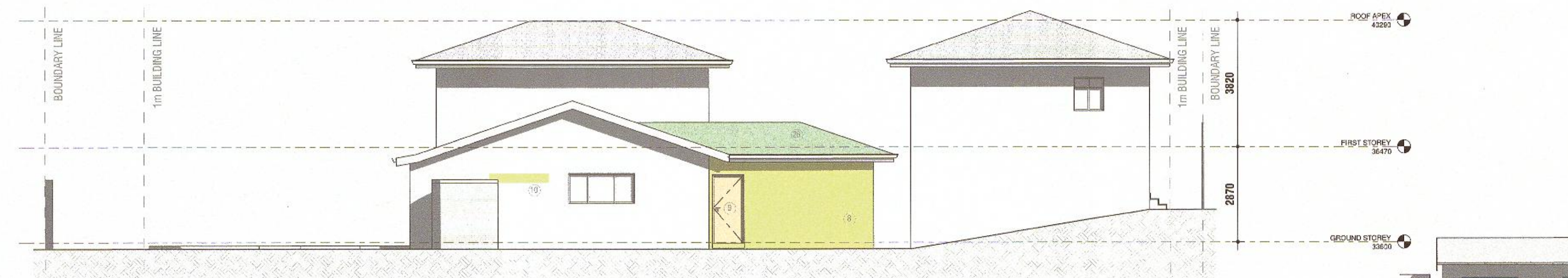
**WINDOW SCHEDULE**

| WINDOW | DESCRIPTION         | GLASS AREA | GLASS TYPE                     |
|--------|---------------------|------------|--------------------------------|
| WT_01  | 600 x 2100 W01, W03 | 0.36m²     | 4mm MULTILITHIC ANGLELED GLASS |
| WT_02  | 2000 x 2100 W02     | 2.40m²     | 4mm MULTILITHIC ANGLELED GLASS |



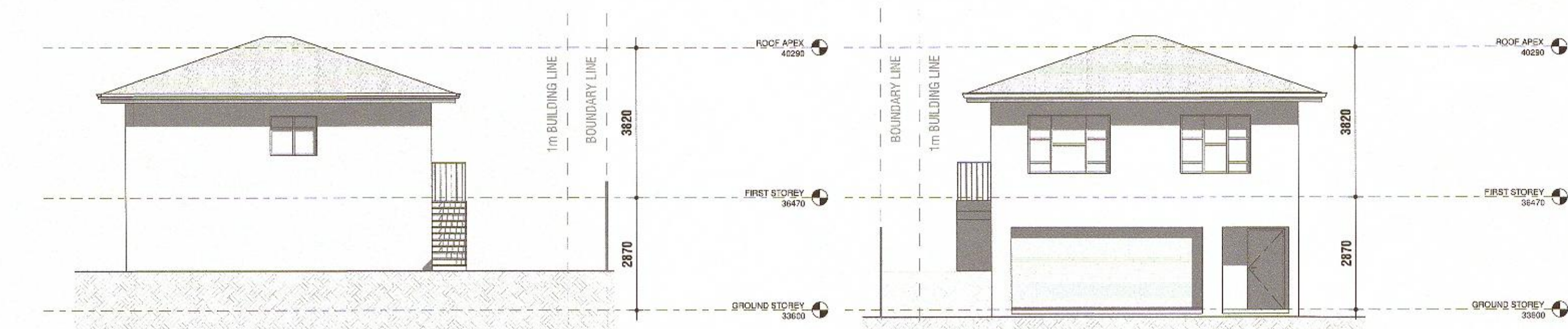
**WEST ELEVATION**

SCALE: 1 : 100



**EAST ELEVATION**

SCALE: 1 : 100



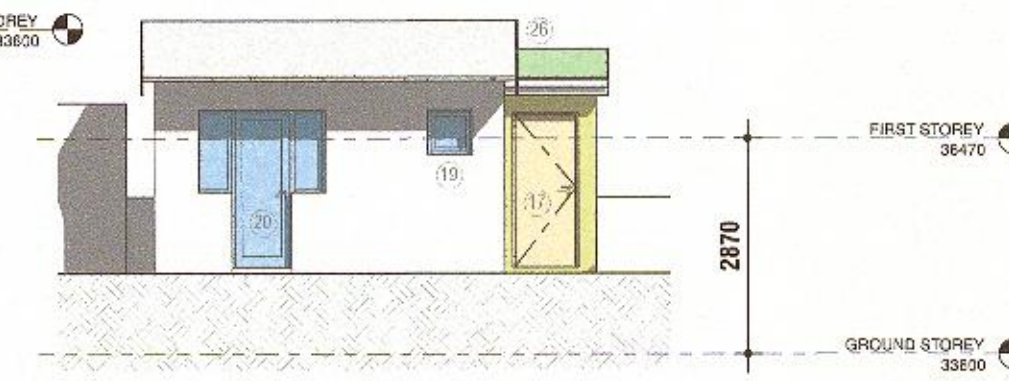
**NORTH ELEVATION - ANCILLARY UNIT**

SCALE: 1 : 100



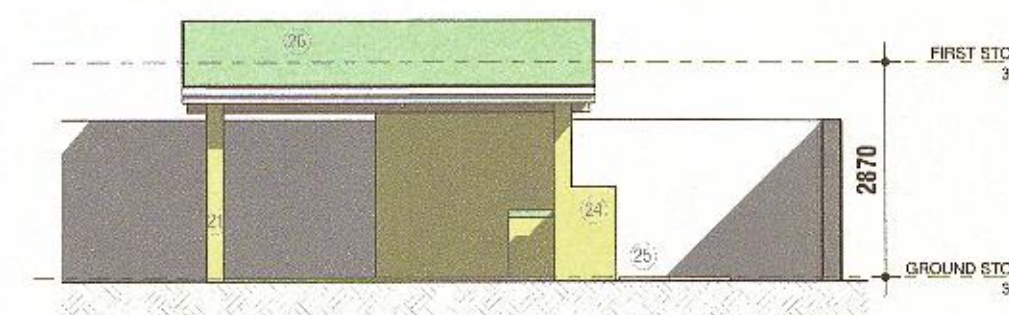
**SOUTH ELEVATION - ANCILLARY UNIT**

SCALE: 1 : 100



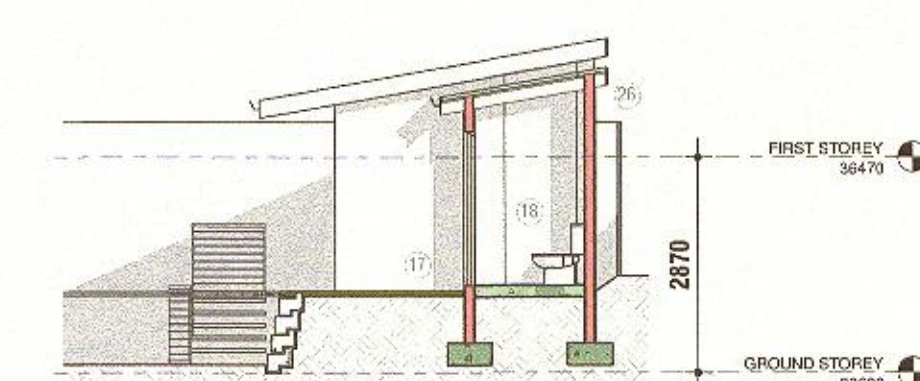
**WEST ELEVATION - OUT BUILDING**

SCALE: 1 : 100



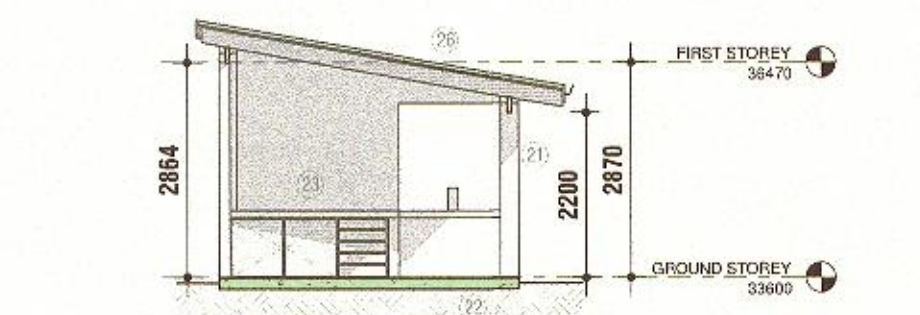
**WEST ELEVATION - LAPA**

SCALE: 1 : 100



**SECTION B-B**

SCALE: 1 : 100



**SECTION C-C**

SCALE: 1 : 100

CLIENT SIGNATURE *[Signature]* 15:01:2021

ENGINEER SIGNATURE \_\_\_\_\_

ARCHITECT SIGNATURE *[Signature]* LANCE MACBEAN PSA1 24750799

**planning solutions**

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|  |                                 |
|--|---------------------------------|
| PROJECT<br>Alterations to House Silcock    | DRAWING<br>Municipal Submission |
| LOCATION<br>14 Melrose Place, Durban North | SCALE<br>As indicated           |
| CLIENT<br>Quintin Silcock                  | DRAWN<br>LMB                    |
| PROJECT NO.<br>20030 - SK - 1003           | DATE<br>22/12/2020              |
|  | CHECKED<br>LMB                  |
|  | REVISION                        |
|  | SHEET SIZE<br>A1                |