
AFFIDAVIT

I, the undersigned,

NOEL KIRK SMITH

hereby declare as follows under oath:

1. I am an adult male of full legal capacity. I currently reside at 608A Kansanshi Golf Estate, Solwezi, Zambia.
2. The facts and allegations contained herein, save where otherwise expressly indicated to the contrary or as it appears from the context, are within my personal knowledge and/or obtained from documents and records, which I have access to and which are under my control, and are true and correct.

THE PROPERTY

3. The purchase of Erf 353 being 60-62 Tomlinson Road, Prestbury, Road, Pietermaritzburg, which is 3.5ha ["the Property"] took place on 21 September 2017. Ownership of the Property was registered with the Deeds Office on the 19 June 2018.
4. This Property was chosen and purchased by Seonaidh Smith ["my wife"] and I, for its potential to be restored to what the Property deserved. When my wife and I purchased this Property, it was in a serious state of disrepair and the structures and buildings had unfortunately been neglected, with clear structural failures and deterioration, which required urgent attention to prevent further degradation to achieve our objective of restoring the Property to its former glory. It has always been our intention to restore the Property, maintaining its current style and charm as this historic Property deserved and this remains our intention.
5. It is important to highlight that my wife and I have always and still currently reside in Zambia. As we could not manage the restoration of the Property ourselves,



we hired a Project Manager (Josh Paulo Building & Maintenance) situated in Pietermaritzburg to provide management services for the Property Project. One of the reasons we hired this Project Manager was because he was situated in Pietermaritzburg and was local to the area. Joshua Paulo ("Paulo") was a local building contractor who in addition to carrying out some of the contractual services and works himself was also paid a management fee to manage and supervise the Property Project. This ranged from preparing the Project cost estimate, preparing work schedules for the Project, contracting all contactors for the Project, and supervising and managing all third-party contractors engaged in the Project to ensure that all services were performed in a professional manner and as contracted, in line with approved Project Plans and specifications.

6. It was my expectation that as the Project Manager and a qualified building contractor, Paulo would have informed me of all building requirements, regulations, permits, approvals and the like that would have been required for any building or contractual work for the Property Project.

AMAFA

7. As AMAFA is aware, I currently have 4 (four) cases¹ pending with AMAFA, which were to be addressed at the Heritage Officer's Committee Meeting ("the Meeting") on 5 October 2022. I attended the Meeting. The Committee asked me to answer and address the following questions:

"Why had we started development without any permit approvals?"

"To check whether an environmental impact assessment ("EIA") was required because the proposed pond is close to an existing stream and based on the size of the Property (>10,000m²)".

¹ Proposed Additions & Alterations on Erf 353 being at 60-62 Tomlinson Road, Prestbury, Pietermaritzburg, s37 - Case number: SAH22/19336 & 22/161; Unauthorized Additions & Alterations on Erf 353 being at 60-62 Tomlinson Road, Prestbury, Pietermaritzburg, s37 - Case number: SAH22/19336 & 22/218; Unauthorized Additions & Alterations on Erf 353 being at 60-62 Tomlinson Road, Prestbury, Pietermaritzburg, s37 - Case number: SAH22/19336 & 22/219; Proposed Development on Erf 353 being at 60-62 Tomlinson Road, Prestbury, Pietermaritzburg, S41 - Case number: SAH22/19336

8. In the Meeting, I explained that as soon as we became aware of the existence of AMAFA any proposed works in the Project plan on the existing buildings were placed on hold until the required approvals were obtained. I also explained that I was unsure why applications had not been received by AMAFA up until now, as Chris Chetty was submitting the applications and sending updates on the progress. This however stopped over COVID as we were told that this could not happen due to the offices of AMAFA being closed. In the Meeting, Ros Deveroux ("Deveroux") of AMAFA commented that this did not explain why we had commenced work without approval and that COVID could not be used as an excuse.
9. In a letter addressed by AMAFA following this meeting, I was requested to, *inter alia*, address the following: -
- 9.1. To provide a sworn statement (affidavit) stating why the work was undertaken on site and on the structure that is 60 years old without approval from AMAFA.
- 9.2. It was noted that as the proposed plan is to dig up on the wetland (existing pond) for the construction of a proposed Chinese Pagoda and there is a stream nearby the entrance gate of the site where there is a proposed development, this may trigger an EIA, we are required to check with Environmental Affairs if an Environmental Impact Assessment is required or not. A written report or response from the Environment Department must be submitted.

STATEMENT ADDRESSING THE QUESTION WHY WORK WAS UNDERTAKEN ON SITE AND ON THE STRUCTURE THAT IS 60 YEARS OLD WITHOUT APPROVAL FROM AMAFA

10. My wife and I were made aware of the existence of AMAFA by Paulo on 17 August 2018, when Paulo informed us in a report that he had met Deveroux from AMAFA on 17 August 2018 to introduce himself and to discuss the proposed plans for the Property. An extract from this Project management email update is annexed as "NS1".

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11. We were informed in this report, as can be gleaned from the annexure "NS1" itself, that the meeting had gone well and that Deveroux was happy to discuss aspects of the Project that would fall under AMAFA's jurisdiction. We were informed of the following by Paulo in this update: -

"... Ros explained that although not listed the house is over sixty years old and any design changes (conservatory etc.) would need to be authorized by them before municipality will approve. I took elements from phase 1 and asked what the boundaries were to get a feel for how constricting AMAFA really are....basically anything that changes the appearance or design of the structure needs to be approved by them before the drawings can be submitted for approval by the municipality.....but that essential maintenance can be carried out in the interim. I'm not sure if this clears things up at all. Perhaps the best thing to do is to wait for Ryan's drawings and for him to submit to AMAFA before we start doing any work?"

Ros recalled all of what I was referring to (rotten outbuilding doors, horrible wire balustrade, driveway etc. etc.) and seemed very open minded and agreeable to your plans. Basically, she is aware that the property requires a lot of TLC and I didn't once get the impression that you have proposed any ideas that wouldn't meet with approval from them. Ros took an interest because of her personal connection, and I think this will make the whole submission to AMAFA that much easier. Fingers crossed!" (Our Emphasis)

12. A further project update from Paulo in email exchanges between us from 27 August 2018 to 28 August 2018 is attached, marked "NS2". In the content of my email dated 27 August 2018, I stated as follows "I'd like to hear from AMAFA about what parts of phase 1 we can proceed with before doing anything". In the response from Paulo, dated 28 August 2018, I was told that AMAFA had said that essential maintenance may be carried out in the meantime as follows:

"Ryan [McFie] said that he should have floor plan ready some time this week but that elevations will take longer. AMAFA said that essential maintenance may be carried out in the meantime. A prime example is the coffee roastery [Northern outbuildings]. Here the following could be done without seeking approval: -

- Replace roof + Leanto structure to rear*
- Repair square brick patterns along top.*
- Re-point bricks to rear and bag wash + prime (to match rest of building)*
- Remove fig tree and repair brickwork (we have already removed fig).*
- Replace doors + frames (where required) and prime ready for paint.*
- Scrape off whitewash from all exterior walls + renew plaster/bagwash where necessary and prime ready for paint.*
- repairs to internal walls, floors etc*

Ros Deveroux said that where roof sheeting is to be replaced, they recommend installing galvanised sheeting that can be primed and painted rather than pre coated sheeting like Chromodek or Colorplus which only comes in selected colours. This is so that the end colour can meet their standards. We have scraped the whitewash off the back of the building already and cleaned the rubbish away that was piled up and opened up drainage to allow rainwater to flow away freely."

The adjacent building (servants and security) could be knocked down and rebuild exactly the same but what AMAFA guidelines suggest is that where any demolition

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of anything over 60yrs takes place it will need to be met with their approval. In short even though the building can be knocked down and rebuilt to look exactly the same it will need their approval before being done. With design changes here it won't be worth undertaking any work on this building until AMAFA and municipality agree. Same for the house and flat."

Fencing of the Property

13. One of the first tasks in the Project Plan carried out on the Property was to fence the Property due to the high theft rate and the presence of poachers. The Property needed to be fenced as a priority to deter the theft of all external copper piping on the existing house and buildings and other materials which were on site. The lack of fencing further resulted in the Property being used as a thoroughfare for thieves and poachers to gain unrestricted access to the hillside neighborhood. No work was carried out on the house or buildings while we continued with the drawings for the proposed new buildings and the site layout plans, while the fencing of the property continued.

Repair of the outbuilding

14. Based on the contents of annexure "NS2" repairs to this outbuilding were undertaken between September 2018 and December 2018. The building has been restored to its original appearance, and all structural defects (Brick re-pointing, lean-to and replacement, and door repairs) repaired to ensure structural soundness.

Repair of the balcony

15. In light of the guidance, we had been given on essential maintenance², the balcony on the front of the main house was repaired owing to the severe water damage from non-functioning house gutters and rusted roof sheets. The structure posed a safety hazard, and any loss of the balcony would result in structural damage to the house roof that relies on this structure for support.
16. We received feedback from Ryan McFie on 16 January 2019, that he plans to have everything ready to submit to AMAFA by the end of April 2019 and that he

² See "NS2".

was then hoping to have plans submitted for municipal approval by the end of May or mid-June 2019.

Repair of the bridge and culvert

17. Owing to the severe damage to the culvert over the small stream that originates on the western side of the Property, essential maintenance was required to ensure access to the Property. The culvert was re-built and main gate pillars erected for the attachment of the gate, since the fencing installation was now complete.
18. At this stage, my wife and I had no knowledge of any regulation pertaining to the development works on property sizes of 5,000m² or greater, nor of that pertaining to property sizes of 10,000m² or greater.

Landscaping works [nursery and installation of rain queen water tank]

19. Since we had not received confirmation of the submission to AMAFA, and not having any approvals yet, our focus shifted to conducting landscaping works by employing Simon Clements to draw up plans for the Property so that works could at least keep moving.
20. In a Project progress report from Paulo dated 8 September 2019, which is attached as annexure "NS3", I was advised as follows: -
"I have spoken to Chris (the Chris that is walking plans through AMAFA and municipality) and he has already been to meet with Ros Devereux. I sent him pics of the old building in PMB with a lovely new roof which he has forwarded to Ros and he is waiting for Ros's stamp of approval to go with that colour ('Thunderstorm'). Hopefully we should hear back this week but he said that he didn't think they would take issue to using that colour as long as it matched in profile (corrugated).
21. In addition, based on recommendations from Ryan McFie in September 2019 that a Civil Engineer should be consulted for the Storm Water Management Plan, we enlisted the services of Mike de Marillac from Demco Projects to draw up plans for storm water management and sewage in anticipation of municipal submissions.

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22. In a Project progress report from Paulo dated 4 December 2019, which is attached as annexure "NS4", I was informed of the following: -

"The drawings are now with Chris [Chetty] who is in the process of colouring them in for AMAFA approval, they then go back to Ryan McFie to be signed off and then back to Chris to submit to AMAFA. Quite a procedure!

Chris does not require storm water management plan for AMAFA approval and said that although it is not necessary to submit to municipality with the storm water management plan, it would speed the process up to have it ready."

23. Paulo communicated to me a project update in an email on 22 January 2020, which is attached as annexure "NS5", that confirmation was received that "Thunderstorm" (Colorplus) had been agreed to by AMAFA based on a quote by Wilcote's submitted to AMAFA in November 2018.

24. In a Project progress report from Paulo dated 5 February 2020, which is attached as annexure "NS6" I was advised as follows: -

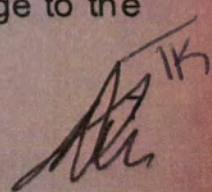
"I also spoke to Chris again today and have arranged to go around to all of the neighbors houses on Sunday afternoon to gain their approval. Fingers crossed they all think having an awesome boutique hotel next door is the best idea ever. He is going to take proposal to AMAFA the following week."

25. Work started on the English Nursery (Based on Simon Clement's plan) around the start of Covid-19 to ensure that the live-in employees could grow their own food.

26. At this stage, we still had no knowledge of any regulation pertaining to the development works on property sizes of 5,000m² or greater, nor of that pertaining to property sizes of 10,000m² or greater. By now, we have had an Architect, Civil Engineers, a well-known Landscaper who has been involved in property developments (private and state-owned), throughout KZN, and Chris Chetty with knowledge of AMAFA submissions, who had not alerted us to the two regulations.

Replacement of the roof

27. Essential maintenance work on the main house roof commenced in October 2020, with the approved colour of the roof sheets. The repaired balcony was starting to be badly affected by water damage from the non-functioning gutters and rusted roof sheets. There were leaks in the house causing damage to the



ceilings and this work needed to be conducted prior to the next rainy season due to start.

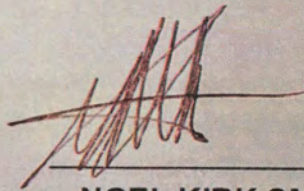
Installation of sewer lines to main gate

28. The only work conducted on the Property during 2021 (which was during the COVID pandemic) was the installation of the sewer lines which did not affect any of the "Existing Structures".
29. Owing to the deterioration of the driveway and the increasing difficulty of accessing the main house without a high wheelbase vehicle, the driveway and parking area work was conducted in mid-2022.
30. Feedback on our AMAFA submission from Chris Chetty was not taking place and my wife and I started investigating appointing someone different to speed things up for us to be able to start work on the main house.

Underpinning of the Annex

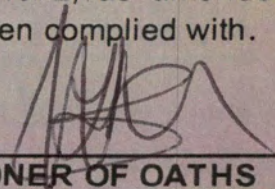
31. We appointed Capital Management to assess the deterioration of the existing buildings and the cracks to determine whether essential maintenance work could be carried out to safeguard the Property and our investment in the Property. Under-pinning of the southern side of the Annex was recommended which is what is currently under-way to stop any further deterioration of the building.
32. Chris Chetty finally realized that the submission was to be submitted electronically on the SAHRA website, which was finally done on 19 August 2022 and reviewed by the HOC hearing attended by me and my wife on the 22 September 2022.
33. I enclose attached a document with a description of the works carried out at 60 Tomlinson and the reason necessitating the work together with photographs of before and after for this essential maintenance, marked as annexure "NS7". At all times based on the above Project updates I had understood that the essential maintenance work carried out was in fact permitted and we had not been aware what was being done would fall foul of the requirements of AMAFA.

34. I declare that every effort has been made through this entire time from my wife and I to ensure that we adhered to all regulations that we were aware of at the time. Any work carried out so far has been in terms of what we had understood was permissible, such as the essential maintenance and ensuring the structural integrity of the structures.
35. I relied on the expertise and information of the above-mentioned contactors to guide my wife and I accordingly and until recently I was not aware that some of the works carried out were considered to be in contravention of the requirements of AMAFA and any such regulations.
36. It has always been our intention and it remains our intention to ensure that all building requirements, regulations, permits, approvals, and the like are obtained for any building or contractual work for the Property Project from AMAFA. My wife and I sincerely apologize for any non-compliance in carrying out the essential maintenance and works that are considered to not have been met by AMAFA.



NOEL KIRK SMITH

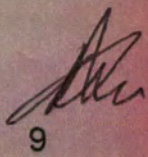
I certify that the deponent has acknowledged that he knows and understands the contents of this affidavit which was signed and sworn before me at Johannesburg on the 31st day of October 2022, the regulations contained in Government Notice R1258 dated 21 July 1972, as amended and Government Notice No. 1648 of 19 August 1977, having been complied with.



COMMISSIONER OF OATHS

Full names:
Business Address:
Designation:
Area/Office:

COMMISSIONER OF OATHS (RSA)
Thato Keofentse Matloko
Attorney at Law
Member No.: 50140
Beneke Gantley Inc, Suite 8B, First Floor,
3 Melrose Boulevard, Melrose Arch,
Johannesburg, Gauteng



ANNEXURE: NS1

From: joshua paulo <Joshpaulo@hotmail.com>
Date: 17 August 2018 at 16:55:12 SAST
To: "noelkirksmith@gmail.com" <noelkirksmith@gmail.com>, Seonaidh Holt <Seonaidh.Holt@fqml.com>
Subject: RE: Visit to AMAFA PMB

Hi Noel and Seonaidh

I met with Ros Deveroux at AMAFA in PMB today to introduce myself and to have a discussion with her about your proposed plans for the property.

The meeting went well and she was happy to discuss aspects of the project that would fall under AMAFA's jurisdiction. Ros explained that although not listed the house is over sixty years old and any design changes (conservatory etc) would need to be authorised by them before municipality will approve. I took elements from phase 1 and asked what the boundaries were to get a feel for how constricting AMAFA really are.....basically anything that changes the appearance or design of the structure needs to be approved by them before the drawings can be submitted for approval by the municipality.....but that essential maintenance can be carried out in the interim. I'm not sure if this clears things up at all. Perhaps the best thing to do is to wait for Ryan's drawings and for him to submit to AMAFA before we start doing any work?

Ros recalled all of what I was referring to (rotten outbuilding doors, horrible wire bullustrade, driveway etc etc) and seemed very open minded and agreeable to your plans. Basically she is aware that the property requires a lot of TLC and I didn't once get the impression that you have proposed any ideas that wouldn't meet with approval from them. Ros took an interest because of her personal connection and I think this will make the whole submission to AMAFA that much easier. Fingers crossed!

Sabrina has been trying (to no avail!!!) to contact somebody at municipality to discuss the two electricity meters and to find out about bills etc....She will go into their offices sometime next week.

I will try to get some better pics of fencing for you tomorrow morning.

Regards

Josh and Sabrina



Josh Paulo
BUILDING & MAINTENANCE
(083) 576 2562

ANNEXURE: NS2

From: joshua paulo <Joshpaulo@hotmail.com>
Date: 28 August 2018 at 13:00:08 SAST
To: noel smith <noelkirksmith@gmail.com>, seonaidgh.holt@fqml.com
Subject: Re: 60 Tomlinson Road

Good afternoon Noel and Seonaidgh

I'm waiting in a queue at the labour dept so thought now would be a good time to respond.

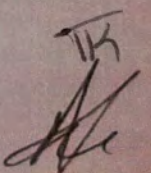
We will ask around and approach companies in PMB to ask for quotations for borehole + JoJo. The three companies I have in mind are Midlands Pumps, Irrigation Services and McBeans pumps....all reputable firms here in PMB. The whole of Hillside is experiencing a massive drop in water pressure (this must be a municipality fault). This means that the water makes it to the first tap as you go up the hill towards the house but not enough pressure to push all the way up. Other hillside residents are experiencing the same problem.

Ryan said that he should have floor plan ready some time this week but that elevations will take longer. AMAFA said that essential maintenance may be carried out in the meantime. A prime example is the coffee roastery. Here the following could be done without seeking approval:-

- Replace roof + Leanto structure to rear
- Repair square brick patterns along top.
- Re-point bricks to rear and bag wash + prime (to match rest of building)
- Remove fig tree and repair brickwork (we have already removed fig).
- Replace doors + frames (where required) and prime ready for paint.
- Scrape off whitewash from all exterior walls + renew plaster/bagwash where necessary and prime ready for paint.
- repairs to internal walls, floors etc

Ros Deveroux said that where roof sheeting is to be replaced they recommend installing galvanised sheeting that can be primed and painted rather than pre coated sheeting like Chromodek or Colorplus which only comes in selected colours. This is so that the end colour can meet their standards. We have scraped the whitewash off the back of the building already and cleaned the rubbish away that was piled up and opened up drainage to allow rain water to flow away freely.

The adjacent building (servants and security) could be knocked down and rebuild exactly the same but what AMAFA guidelines suggest is that where any demolition of anything over 60yrs takes place it will need to be met with their approval. In short: even though the building can be knocked down and rebuilt to look exactly the same it will need their approval before being done. With design changes here it won't be worth undertaking any work on this building until AMAFA and municipality agree. Same for the house and flat.



Darryl Brighton said that he is able to get the names and contact details for the people who own the adjacent land. Would you like us to see if we can get them from him for Carey?

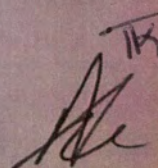
Fencing to carry on from tomorrow. I was conscious of the fact that we have so much to clear before they can fence continuous sections so. Clearing all up to speed now so that fencing will be able to continue undisturbed.

Have a great afternoon

Regards

Josh

Sent from my iPhone

A handwritten signature in black ink, appearing to be 'AJ' with a flourish, located in the bottom right corner of the page.

ANNEXURE: NS3

From: joshua paulo <Joshpaulo@hotmail.com>

Date: 08 September 2019 at 17:45:08 SAST

To: "noelkirksmith@gmail.com" <noelkirksmith@gmail.com>, "Seonaidgh.Holt@fqml.com" <Seonaidgh.Holt@fqml.com>, "sabrina.helgeson@me.com" <sabrina.helgeson@me.com>

Subject: Fwd: Prestbury Nursery Layout

Hi Noel and Seona

I hope you guys are both good? It is beginning to warm up down here now and we had a couple of wet days last week. Uh-oh!

Friday's meeting with Chris and Ryan:-

We decided that it would be best to work from Ryan's site plan and for landscapers to use this as a reference to plan landscaping. Chris had pegged out the nursery area at the top to your plan but couldn't quite get it to fit into the space and Ryan made the point that there were lots of considerations to be made from a practical standpoint: for example how would a vehicle gain access to the tree house and water storage etc. You will find attached a new design for nursery area that was discussed on site and then drawn by Chris and works from both a landscaping and an architectural point of view. Please let me know if you are happy with new layout and I will confirm with Chris and Ryan.

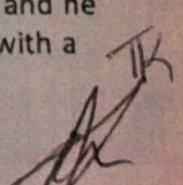
You will notice on the new layout that the chicken shed has been moved to the far side of the nursery. Chris wants to use the area you originally chose for chickens to plant straight rows of orchards next to the conservatory and thinks that it makes sense to keep the chickens up on the nursery where they can easily be watched over/tended to. Also, Chris would like one shed (3x4) instead of two smaller ones and Ryan would like to know if he should draw the greenhouse as per your plan for nursery area (brick skirt with timber and glass above)?

Ryan would like to keep outhouse next to coffee roastery because then day visitors enjoying the gardens will have somewhere to go to the loo and so will redesign and keep on site plan. It is obviously quite a scruffy little loo and will need to be tidied up for public use but at least there is already a septic tank.

Ryan reminded me of the need for a civil engineer and said that without an engineer's design for storm water management the municipality won't even consider the submission. He also said that for new buildings an engineer will need to design but that this will only be required after submissions and when building actually starts.

Parking: Ryan has included the minimum required number of parking spaces in the site plan. It seems like a lot of parking but for the number of buildings etc but this is what will be required.

I have spoken to Chris (the Chris that is walking plans through AMAFA and municipality) and he has already been to meet with Ros Deveroux. I sent him pics of the old building in PMB with a



lovely new roof which he has forwarded to Ros and he is waiting for Ros's stamp of approval to go with that colour ('Thunderstorm'). Hopefully we should hear back this week but he said that he didn't think they would take issue to using that colour as long as it matched in profile (corrugated).

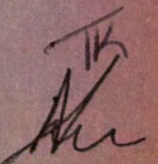
The deposit for fencing around the entrance has been paid and Ryan (Hilton Fencing) expects a start some time this week. I will send pics as it goes up. One issue there will be is that there is still a lot of filling required to bring earth up to correct level on bridge and new fence will have to be set in such a way that it allows for filling beneath but I will discuss this before they start to make sure this is done correctly. I have also asked Ryan to quote on making up a sliding rail for big barn doors which should work out less than what you would pay 'off the shelf'.

Other than all of the above the guys would like two more plastic rakes which I have said I will pick up for them.

Please can you get back to me with any instruction re all of the above.

Regards

Josh

A handwritten signature in black ink, appearing to be 'Josh', located in the bottom right corner of the page.

ANNEXURE: NS4

From: joshua paulo <Joshpaulo@hotmail.com>
Date: 04 December 2019 at 19:41:17 SAST
To: noel smith <noelkirksmith@gmail.com>, "Seonaidgh.Holt@fqml.com" <Seonaidgh.Holt@fqml.com>
Subject: Invoice & Expenses

Hi Noel & Seonaidgh

I hope you are well?

The drawings are now with Chris who is in the process of colouring them in for AMAFA approval, they then go back to Ryan Mcfie to be signed off and then back to Chris to submit to AMAFA. Quite a procedure!

Chris does not require storm water management plan for AMAFA approval and said that although it is not necessary to submit to municipality with the storm water management plan, it would speed the process up to have it ready.

On the invoice this month there is an amount stating ADT refund, this money we never charged you when they replaced the beams. For some reason they couldn't take the cost of the old beams & brackets and deduct it from the new beams so we paid thinking they'll refund our card back, they then refunded back to your account instead of Josh's card. (I hope this makes sense!)

With regards to the roofing, are you happy to start this in the new year, Josh and his team will be back there from Monday.

Please could you send me the following for Mike:

- Physical address of Property Owner/Company
- Postal address of Property Owner/Company

Please let me know if there is anything you are unsure about.

Kind Regards,
Sabrina



Josh Paulo
BUILDING & MAINTENANCE
(083) 576 2562

ANNEXURE: NS5

From: joshua paulo <Joshpaulo@hotmail.com>
Date: 22 January 2020 at 20:56:19 SAST
To: noel smith <noelkirksmith@gmail.com>
Subject: Re: Grace Roofing - QUOTE - Prestbury

Yes, of course

Sent from my iPhone

On 22 Jan 2020, at 20:47, noel smith <noelkirksmith@gmail.com> wrote:

Can we confirm the color with both suppliers please?

On Wed, 22 Jan 2020, 8:45 PM joshua paulo <joshpaulo@hotmail.com> wrote:
Forgot to mention: thunderstorm is the agreed colour....this is a Safintra (Colorplus) colour and comes in .50 or .58. The .50 is probably a tad bit too light for this of roof because of purlin spacing. I have not heard of Colourbond before (Wilcote's specs) and am not sure how close their grey would be to Thunderstorm (Wilcote's quote came before any decision on the colour.

Regards

Josh

Sent from my iPhone

On 22 Jan 2020, at 20:30, noel smith <noelkirksmith@gmail.com> wrote:

Thanks Josh.
That would be good and then we can make a call.

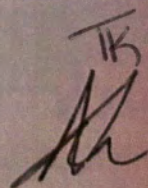
On Wed, 22 Jan 2020, 8:15 PM joshua paulo <joshpaulo@hotmail.com> wrote:
Hi Noel

Yes, only Wilcote's quote was put forward in Nov 2018 and there may have been some increases since then. Doubt it would add up to 18k though. I must get Wilcote to update their quotation and send through.

Regards

Josh

Sent from my iPhone



On 22 Jan 2020, at 15:29, noel smith <noelkirksmith@gmail.com> wrote:

Looks like Wilcote are about R18,940 cheaper for the main house roofing.
Do both these quotes include the agreed upon colour by AMAFA?

Regards
Noel

On Wed, Jan 22, 2020 at 1:47 PM joshua paulo <joshpaulo@hotmail.com> wrote:
Haven't looked at it yet.....this is just for the main house and upstairs extension.

Regards

Josh

Sent from my iPhone

Begin forwarded message:

From: <cliff@graceroofing.co.za>
Date: 22 January 2020 at 11:04:21 GMT+2
To: <joshpaulo@hotmail.com>
Subject: Grace Roofing - QUOTE - Prestbury

Hi Josh,

Thanks for your enquiry.

Find attached our quote for the main house Roof.

Give me a call if you need to discuss.

Duration allow 2 weeks

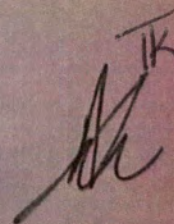
Regards,

Cliff Owen

Tel: 082 669 2554

Email: cliff@graceroofing.co.za

Website: www.graceroofing.co.za



ANNEXURE: NS6

From: joshua paulo <Joshpaulo@hotmail.com>
Date: 05 February 2020 at 20:41:23 SAST
To: noel smith <noelkirksmith@gmail.com>, "Seonaidgh.Holt@fqml.com" <Seonaidgh.Holt@fqml.com>, "sabrina.helgeson@me.com" <sabrina.helgeson@me.com>
Subject: Re: Taps and electrics for Nursery area

Hi Noel

Thanks for the feedback, I will pass on to Chris. He has yet to run it by Simon and Sara so I am sure they will provide more feedback soon.

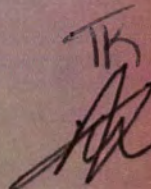
I agree that running a cable under structures isn't ideal so will let him know to change that.

I agree with you about taps too, I don't think that running a hose pipe from fewer taps is going to pose any problems so will ask that they go with your suggestion. If number of taps becomes an extreme problem later on down the line (which I don't think it will!) then it can be put forward to you then and more can be added if deemed necessary.

Great meeting with Mike. He really does live out in the sticks!

Mike had his Autocad map of the property showing up to date contour lines from Trevor's survey. He has drawn dam in as focus of the SWMP and all water will feed into dam (perm water level at 1.5m and a manhole to pipe water through the wall above that (when it rains a lot!). V drain to follow contour around new units below road to units which will discharge down into a berm that will channel water into dam where the big jacaranda is (or thereabouts). Water from nursery area to flow directly down fenceline and into dam via another berm and all water from parking area, coffee Roastery etc to be guided to the top of the bank and to wash naturally down into dam.

Mike is arranging a meeting with KJ Mather on Friday morning to discuss the proposed SWMP and hopefully to get the nod from him. He has asked me to attend in order to feed back to you. Mike has said that if asked about the discharge point (stream servitude down to Darryl's) that we should stand firm in the fact that this has always been the discharge point for the property's storm water and that there are no viable municipal manholes and pipes that are below our level that we could possibly tie into (this is completely true). He said that Mather is a stickler for discharge points and worst case will mean upgrading the stream servitude down to Darryl's and into the Dorpspruit (we would really like to avoid having to upgrade this 'open drain!'). Dam proposed surface area is 283.5 square meters of surface area at normal level. That equates to roughly 123000 cubic meters of water. Mike said that due to the steepness of bank the only way to make dam bigger would be to dig back towards where the stream surfaces and that can be decided on site. The main aim for now is to get KJ Mather to agree on principal.



Mike stressed that the construction design of dam itself does not fall under his current scope of work but that he is able to design dam and oversee construction. He said that due to the shale nature of the ground there it will probably need to be lined. He also said that to provide maximum stability that instead of a dam wall that tapers on both sides he would recommend all of the excavated earth be pushed right up against the bridge if possible.

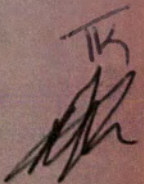
I will feed back after Friday's meeting.

I also spoke to Chris again today and have arranged to go around to all of the neighbours houses on Sun afternoon to gain their approval. Fingers crossed they all think having an awesome boutique hotel next door is the best idea ever. He is going to take proposal to AMAFA the following week.

I'll keep you guys in the loop as things develop.

Regards

Josh

A handwritten signature in the bottom right corner of the page, appearing to be the name 'Josh' written in a stylized, cursive script.

ANNEXURE: NS7

Work carried out at 60 Tomlinson and reason necessitating the work

Discussions with Ros Devereux were held by Josh Paulo (Project Manager for the property) in early 2019 regarding what works can be carried out while we wait for our application to be approved. We were told that critical repairs that would avoid any structural failure or further deterioration can be carried out.

1. Fencing of the property

Due to the high theft rate in Prestbury and the presence of poachers, the property needed to be fenced as a priority

2. Repair of the bridge and culvert

The bridge and culvert at the entrance to the property was in a very bad state with walls that had already collapsed, and the entrance had been significantly narrowed. This was the only access to the property and a new culvert pipe had to be installed across the stream and from gates were installed on completion of the fencing. We have maintained the old Victorian style as much as possible while still being functional



TK
AK

3. Repair of the balcony

The wood of the balcony on the main house was severely warped and rotten and the balcony was not safe to walk on anymore and needed to be replaced. We have maintained the old Victorian style as much as possible while still being functional.

BEFORE



AFTER



TH
Mc

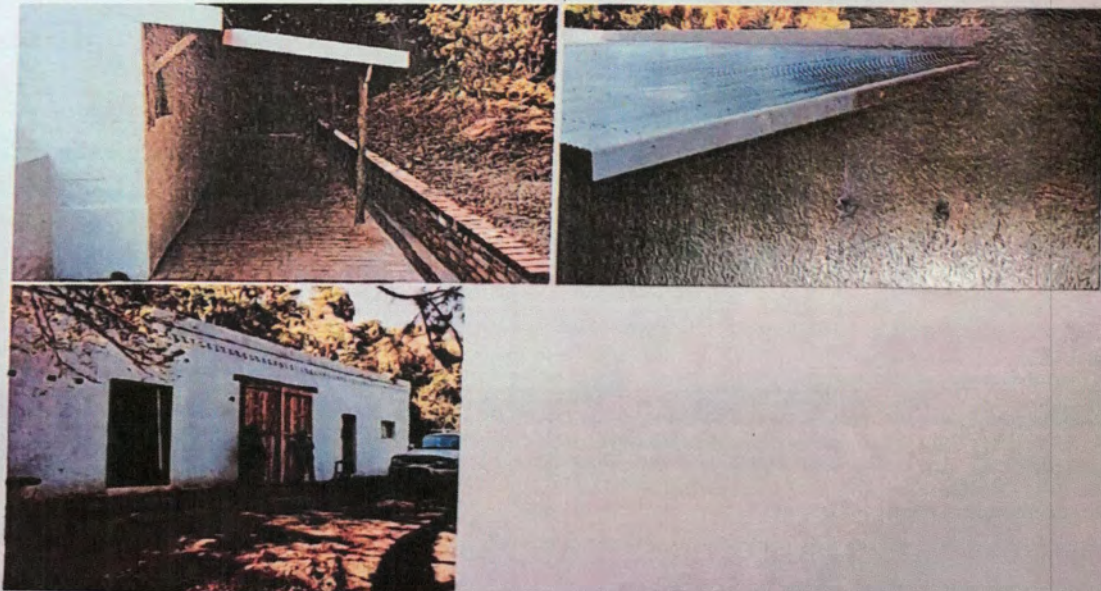
4. Repair of the outbuildings

The outbuilding brickwork was found to be deteriorated with barely any plaster holding the bricks together. The lean-to behind the building was in a shocking state and not useable. The roof of the building was seriously rusted and the building leaked. The building was renovated by addition of plaster between current bricks and the building bag-washed to restore to the original look. All the doors were repaired.

BEFORE



AFTER



TK
All

5. Construction of the nursery and installation of rain queen water tank

While still waiting on the AMAFA approval throughout the whole of 2019 and the closure during covid in 2020 and 2021, work started on building the English nursery to begin growing food crops. A rain queen water tank was installed, that was filled with borehole water, and allowed gravity feed of water for the gardens, as there is no municipal water pressure around the house. This allowed the employees living on site to keep busy during Covid and be able to grow their own food.



[Handwritten signature]

6. Replacement of the roof

The roof on the main house was rusted and the house was leaking. The rusted roof edges and gutters resulted in water making its way to the balcony and causing damage to the new balcony floor. The deteriorated chimneys were also repaired. The roof colour was discussed with Ross during the discussions with Josh



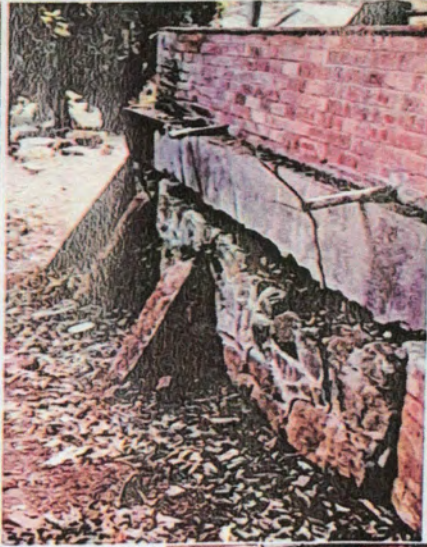
7. Installation of sewer lines to main gate

The house is relying on outdated septic tank systems. Sewer lines were design by Mike de Marillac from DEMCO Projects. Installation has been completed up to the main gate. The final connection to the main municipal sewer line is waiting for the AMAFA approval and then only can the plans be issued to the municipality. This is the major bottle-neck for the house.

TK
Aber

8. Under-pinning of the Annex

There are some serious cracks in the annex building. There is currently no indication that they are moving. Under-pinning work is being carried out to ensure these do not develop any further.



TH
A

UNDER-PINNING WORK



Handwritten signature or initials