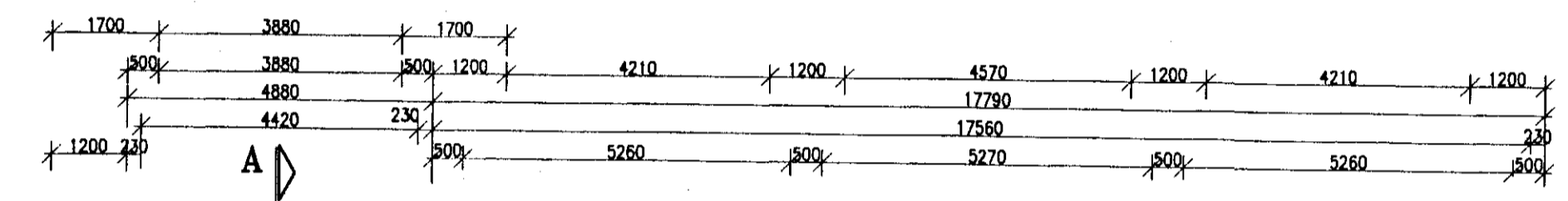
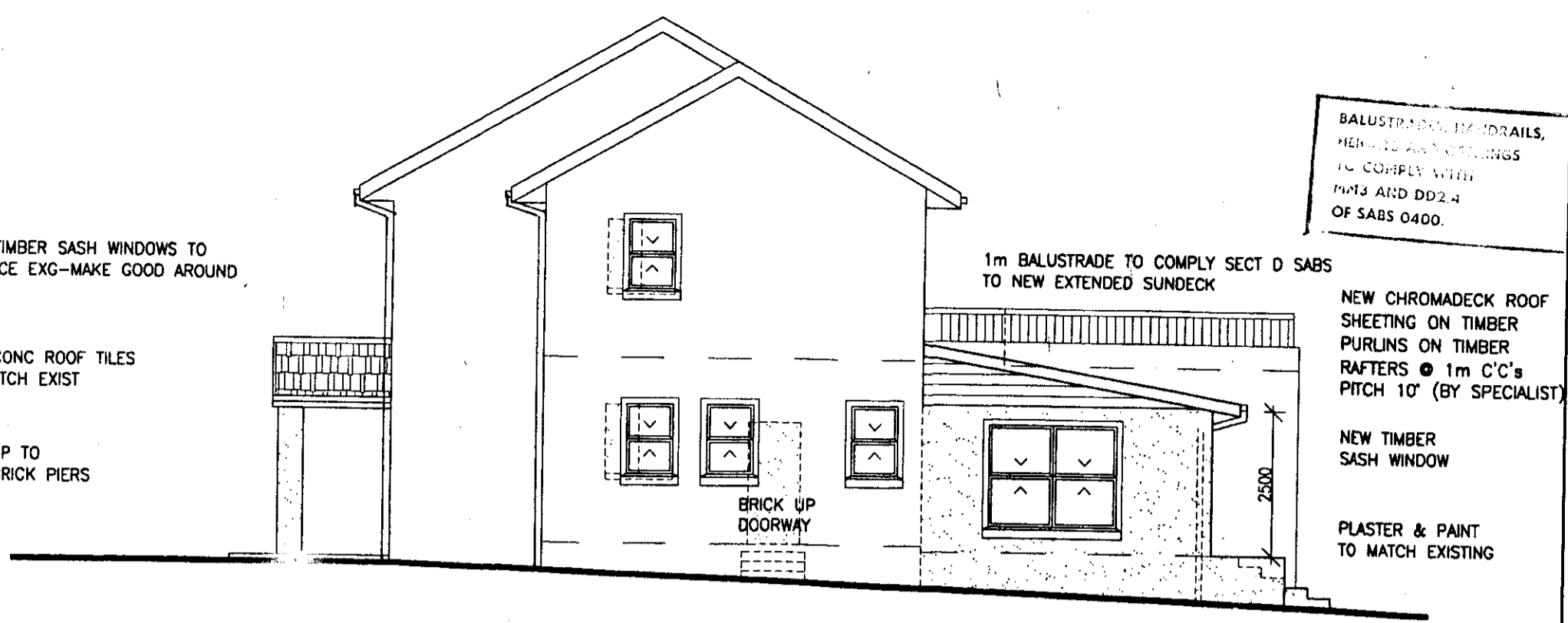


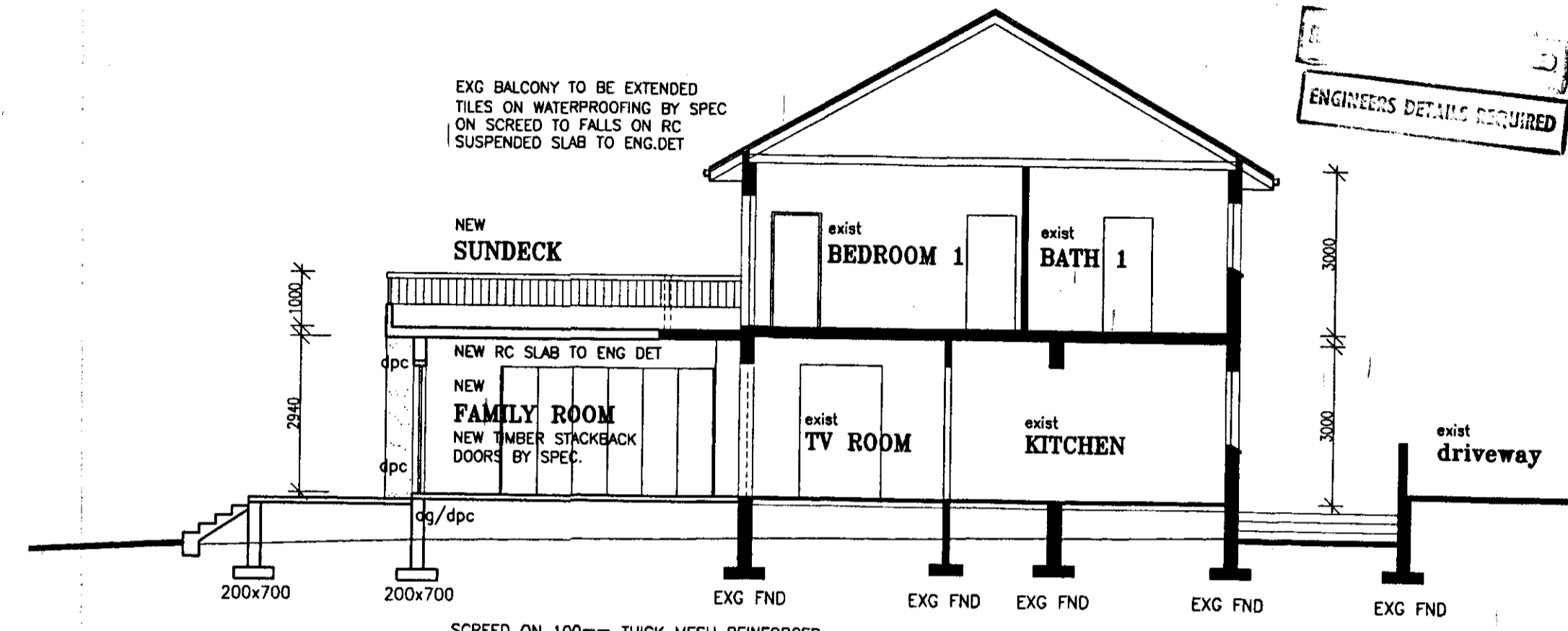
FIRST FLOOR PLAN



NEW TIMBER SASH WINDOWS TO REPLACE EXG-MAKE GOOD AROUND  
 NEW CONC ROOF TILES TO MATCH EXIST  
 PL & P TO NEW BRICK PIERS



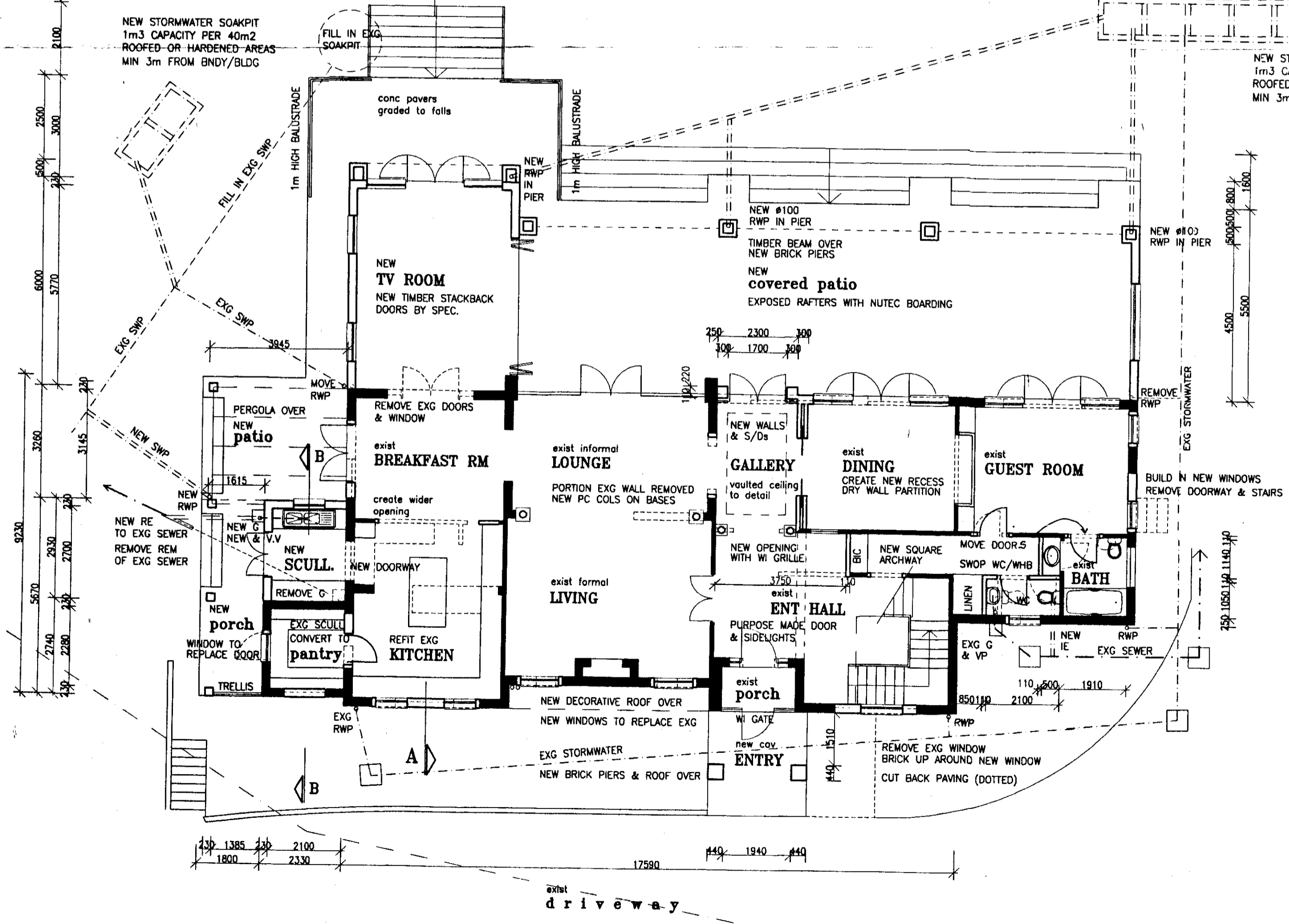
SOUTH WEST ELEVATION



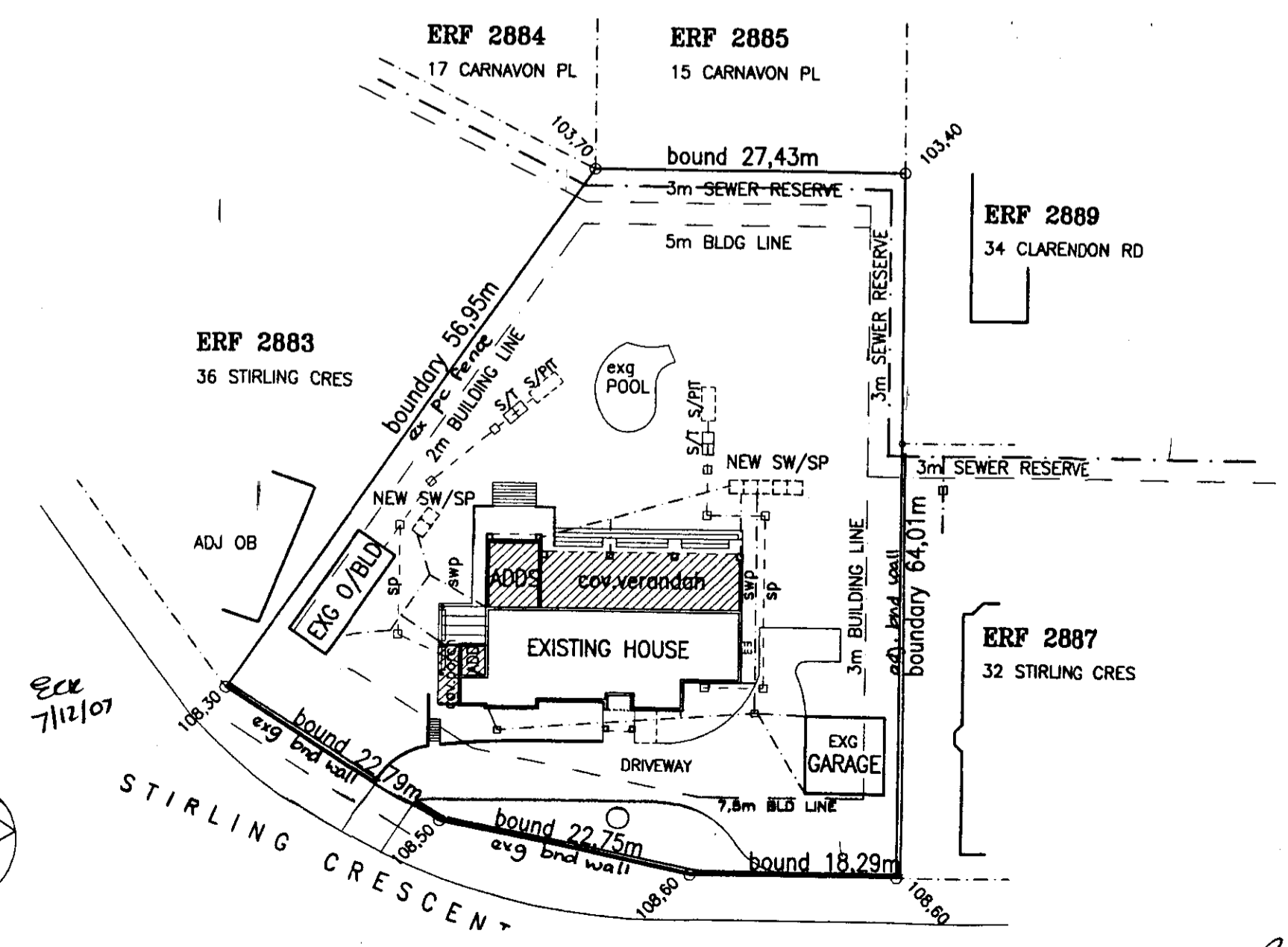
SECTION A - A

AREAS -

SITE AREA	2790,00 m <sup>2</sup>
EXIST GROUND FLOOR	194,42 m <sup>2</sup>
EXIST FIRST FLOOR	181,26 m <sup>2</sup>
EXIST PORCH	2,90 m <sup>2</sup>
EXIST SUNDECK	7,32 m <sup>2</sup>
EXIST GARAGE	49,00 m <sup>2</sup>
EXIST OUTBUILDING	40,00 m <sup>2</sup>
TOTAL EXIST (far)	415,68 m <sup>2</sup>
TOTAL EXIST (cov.)	293,64 m <sup>2</sup>
NEW GROUND FLOOR	36,10 m <sup>2</sup>
NEW COV VERANDAH	88,95 m <sup>2</sup>
NEW COV ENTRY	5,49 m <sup>2</sup>
NEW PORCH	9,15 m <sup>2</sup>
SUNDECK EXTENSION	24,40 m <sup>2</sup>
TOTAL NEW (far)	36,10 m <sup>2</sup>
TOTAL NEW (cov.)	139,69 m <sup>2</sup>
TOTAL EXIST & NEW (far)	451,78 m <sup>2</sup>



GROUND FLOOR PLAN



1 : 500 SITE PLAN

SHEET 2/2 COPY

**ETHEKWINI MUNICIPALITY**  
 34 CENTRAL 07  
 Plan No. 100/2007/07  
 APPROVED IN TERMS OF THE METRO MUNICIPAL REGULATIONS AND BUILDING STANDARDS ACT (NUMBER 103 OF 1977)  
 - 1 FEB 2007  
 This Plan is approved on the basis of the information shown thereon. Attention is drawn to the fact that the Municipality does not accept any liability for the accuracy of the information shown thereon.

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

**BOUNDARY BEACONS**  
 FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

FOUNDATIONS TO BE A MINIMUM OF 100mm F200 D.C. SERVICES AND TOP OF FOUNDATION LEVEL WITH INVERT OF D.C. SERVICES.

SOAKPITS TO BE 1m<sup>3</sup> FOR EVERY 40m<sup>2</sup> OF ROOFED AND HARDENED AREA

FOUNDATIONS TO BE A MINIMUM OF 100mm F200 D.C. SERVICES AND TOP OF FOUNDATION LEVEL WITH INVERT OF D.C. SERVICES.

**ELECTRICITY SERVICES**  
 Any person undertaking construction of a structure/sign in accordance with this plan is to ensure that:  
 1) The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142-1987, as amended, and the Occupational Health and Safety Act 85/1983.  
 2) Indicate of Compliance and Application for permission to Connect to the DME prior to electrical connection to the supply source.  
 3) Adequate earthing to the satisfaction of the Director, Transmission, DME is provided.

**ELECTRICITY SERVICES**  
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Metro Electricity, the location of any electrical services and servitudes in the vicinity of the proposed works.  
 1) The location of any electrical services and servitudes in the vicinity of the proposed works.  
 2) DME requirements regarding Substation, Meter rooms, and Cable ducts.

OWNERS SIGNATURE: *[Signature]* (TRUSTEE)

**SUBMISSION DRAWING**  
 PROJECT: ALTERATIONS & ADDITIONS TO EXISTING HOUSE

OWNER: ASHTON PROPERTY TRUST  
 SHERYL ALPORT (TRUSTEE) ID No- 5912280085086  
 TEL No - 031 5633368 (082 889 1965)

SITE DESCRIPTION:  
**34 STIRLING CRESCENT**  
**ERF 2886 DURBAN NORTH**  
 RATE NUMBER - 83285732008

DRAWN BY: E C ROBINSON REG No.T0768  
 25 BERA HEIGHTS  
 706 CURRIE ROAD, MORNINGSIDE  
 DURBAN 4001  
 TEL - 031 312 1774 Fax - 312 0413

DATE: APRIL 2007 JOB No. DRG.No.  
 SCALE: 1:100 2007/03/10 01  
 DRAWN: E C R