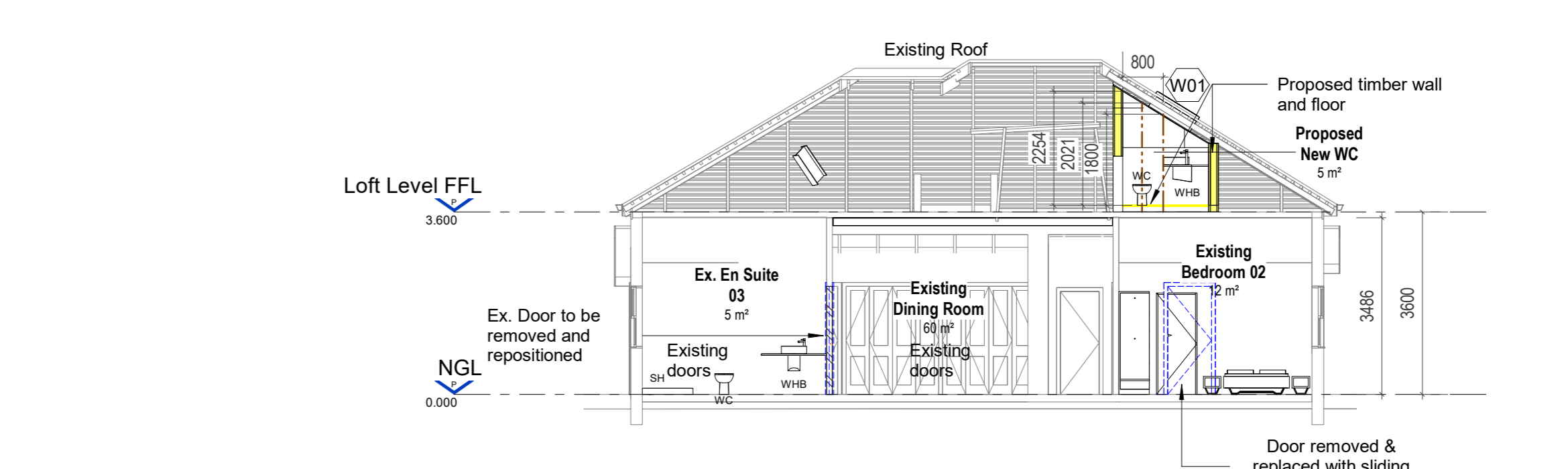
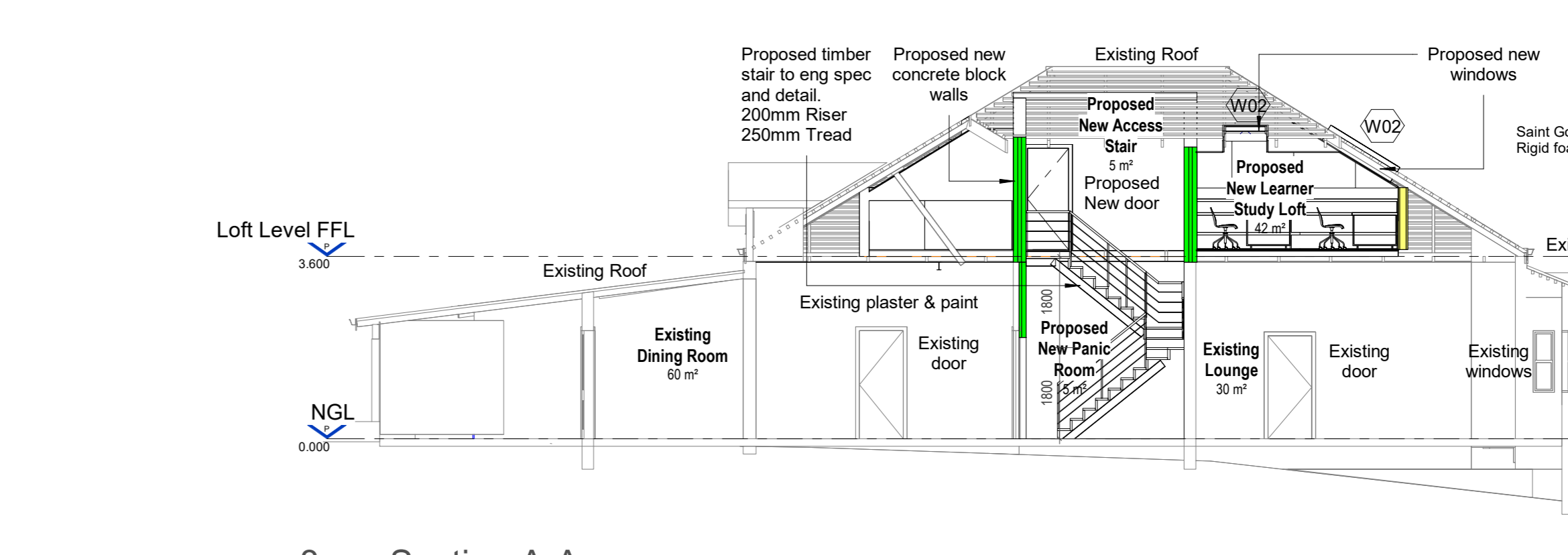
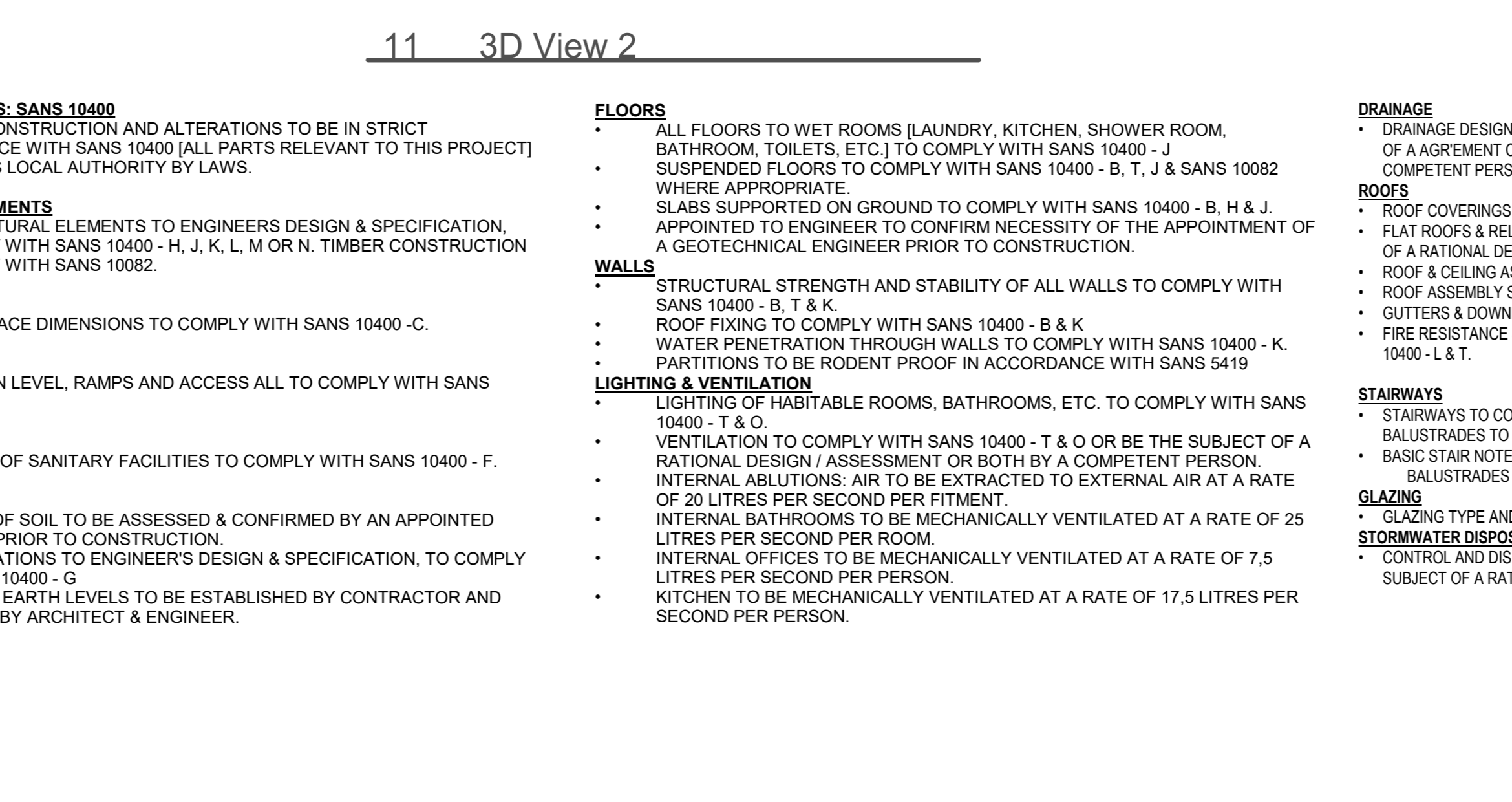
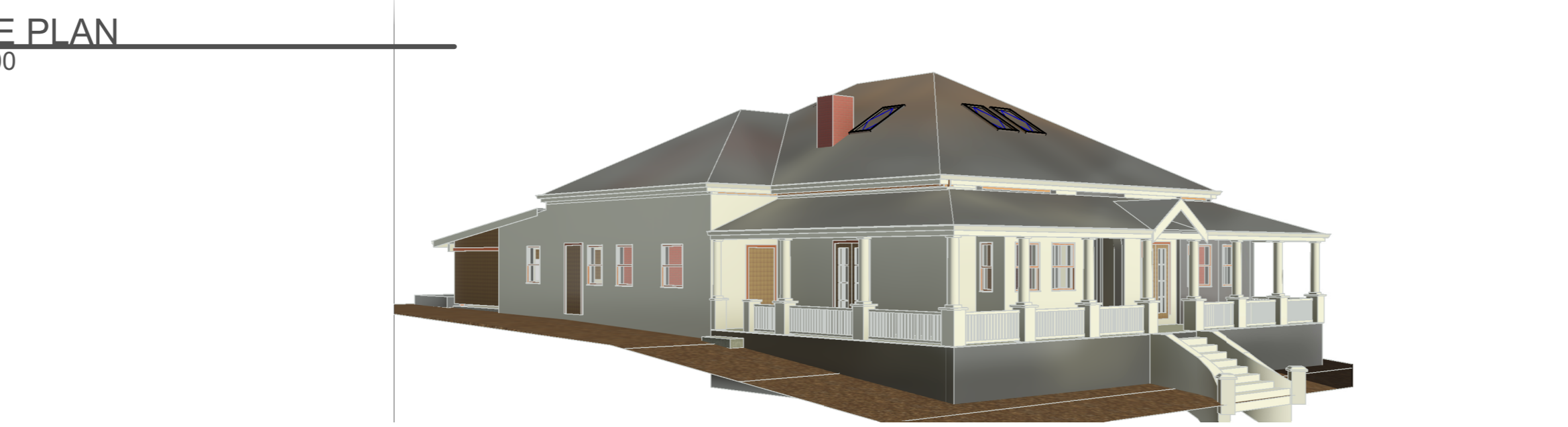


WINDOW SCHEDULE											
Type Mark	Description	Glazing	Count	Type Mark	Description	Glazing	Count	Type Mark	Description	Glazing	Count
W01	780 x 980mm Velux Centre Pivot top operated roof windows. Pine frame to be painted to match existing slate roof tiles. As per manufacturers min specs. All to Architects approval.	Clear toughened safety glass. Exposure: External. All to be AAAMSA & SAGCA performance approved	1	W02	900 x 1600mm Velux Centre Pivot top operated roof windows. Pine frame to be painted to match existing slate roof tiles. As per manufacturers min specs. All to Architects approval.	Clear toughened safety glass. Exposure: External. All to be AAAMSA & SAGCA performance approved	3	W03	581 X 1220mm Sash Window to match existing timber frame painted to match existing As per manufacturers min specs. All to Architects approval.	Clear toughened safety glass. Exposure: External. All to be AAAMSA & SAGCA performance approved	2

Room Schedule					
Number	Name	Area	Floor Finish Description	Wall Finish Description	Natural Light & Ventilation Calculations
2	Existing Bedroom 04	12 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
3	Bathroom	7 m²	Existing Finish to be maintained	Existing Finish to be maintained	20% Natural light, 10% Natural Ventilation
4	Proposed New Guest Bathroom	5 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
5	Existing Bedroom 03	11 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
6	Existing Bedroom 02	12 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
7	Existing En Suite	16 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
8	Existing Bedroom 01	26 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
9	Existing Walk-in Closet	11 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
11	Existing Passage	13 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
12	Existing Dining Room	60 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
13	Existing Playroom	16 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
15	Existing Kitchen	14 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
16	Existing Lounge	30 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
17	Proposed New Panic Room	5 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
18	Ex. En Suite 03	5 m²	Existing Finish to be maintained	Existing Finish to be maintained	N/A
Ground Level FFL: 15					
1	Proposed New Learner Study Loft	42 m²	Timber Floor	Timber Cladding	10% Natural light & Natural Ventilation
19	Proposed New Access Stair	5 m²	Polished Concrete	Off-shutter Concrete	N/A
20	Proposed New WC	5 m²	Timber Floor	Timber Cladding	15% Natural light & Natural Ventilation
Loft Level FFL: 3					



Plumbing Fixture Schedule					
Type Mark	Description	Count			
SH	PROPOSED SHOWER	3			
WHB	PROPOSED WASH HAND BASIN	4			
WC	PROPOSED WALL MOUNTED WC	4			

INTERNAL ALTERATIONS	
ZONE: SPECIAL RESIDENTIAL 1200	
SCHEDULE OF AREAS	
SITE AREA	2360.00 m²
EXISTING HOUSE	261.72 m²
EXG OUTBUILDING	30.45 m²
EXISTING GARAGES	75.00 m²
TOTAL EXISTING	367.17 m²
PROPOSED LOFT	42 m²
PROPOSED WC	5 m²
TOTAL PROPOSED	47 m²
TOTAL FLOOR AREA	414.17 m²
FAR	0.17
ALLOWABLE FAR	0 m²
EXISTING COVERAGE	430 m²
PROPOSED COVERAGE	0 m²
TOTAL COVERAGE	18%
ALLOWABLE COVERAGE	40%



GENERAL NOTES:

- ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE VERIFIED WITH THE ARCHITECT IMMEDIATELY. PRIOR TO COMMENCEMENT OF WORK.
- ALL WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- COPYRIGHT, PATENTS AND ALL INDUSTRIAL RIGHTS RESERVED. ALL NECESSARY FITTINGS, SEALS AND FIXTURES TO BE PROVIDED FOR, TO ENSURE QUALITY OF OPERATION.
- ALL SLABS, SCREED REINFORCED MESH, BEAMS, COLUMNS, FOUNDATIONS, STRUCTURAL STEEL, STRUCTURAL WALLS, RETAINING WALLS INCLUDING ANY OTHER STRUCTURAL ELEMENTS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN, DETAIL AND SPECIFICATION AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SCHEDULES AND SPECIFICATIONS RELATED TO THIS PROJECT INCLUDING STRUCTURAL, FACADE AND CIVIL ENGINEERS DRAWINGS.
- ALL WATERPROOFING ELEMENTS TO BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION.
- WATERPROOFING SYSTEMS TO BE APPROVED BY CONTRACTOR'S SPECIALIST FOR ASSESSMENT GENERAL ARRANGEMENT AND APPROVED BY ARCHITECT.
- THE PREMISES MUST COMPLY WITH THE TOCOCARD PRODUCTS CONTROL ACT, NO. 83 OF 1993 (AS AMENDED).
- ALL APARTMENT FRONT DOORS TO BE 40mm HARDWOOD (30mm FIRE RATING).
- ALL DIVIDING WALLS BETWEEN UNITS TO BE 60mm FIRE WALLS.
- ALL REFUSE AND ELECTRICAL DUCT ROOM DOORS TO BE 40mm HARDWOOD DOOR CLASS E FIRE RATED DOORS (30mm FIRE RATING).

UNLESS OTHERWISE STATED ANY PRODUCTS SPECIFIED BY TRADE NAME ARE TO BE INSTALLED STRICTLY IN ACCORDANCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.

QUALITY OF MATERIALS & WORKMANSHIP TO COMPLY WITH RELEVANT SANS & BSS SPECIFICATIONS. ALL WORK TO CONFORM TO THE MINIMUM STANDARDS AS SPECIFIED IN THE PRELIMINARIES IN THE E.O.O. CONTRACTOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF BUILDING'S EXTERNAL & INTERNAL WALLS, WITH PARTICULAR REFERENCE TO REINFORCING AND BUILDING LINES.

CONTRACTOR TO LOCATE & IDENTIFY EXISTING SERVICES AND TO PROTECT THESE FROM DAMAGE FOR THE DURATION OF THE WORK.

ALL QUERIES/DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT/ENGINEER FOR CLARIFICATION BEFORE THE WORK IS PUT TO HAND.

ENGINEER'S CERTIFICATE OF STABILITY TO BE PROVIDED UPON COMPLETION.

ALL BEACONS TO BE EXPOSED & DEMARCATED ON COMMENCEMENT (WHERE NECESSARY).

STORMWATER: NEW HARD SURFACES AROUND BUILDING TO BE LAID TO FALLS TO CIVIL ENGINEER'S DETAILS. RAIN WATER/DOWNPIPES FROM BUILDING TO BE CONNECTED TO EXISTING NEW STORMWATER PIPES TO CIVIL ENGINEER'S DETAILS.

THIS RECORD DRAWING/SPECIFICATION HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS.

WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS RECORD DRAWING/SPECIFICATION OR FOR ANY ERRORS OR OMISSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCORRECT INFORMATION PROVIDED TO THE ARCHITECT.

THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY.

STATUTORY NOTES: SANS 10400

- ALL NEW CONSTRUCTION AND ALTERATIONS TO BE IN STRICT ACCORDANCE WITH SANS 10400 (ALL PARTS RELEVANT TO THIS PROJECT) AS WELL AS LOCAL AUTHORITY BY LAWS.

STRUCTURAL ELEMENTS

- ALL STRUCTURAL ELEMENTS TO ENGINEERS DESIGN & SPECIFICATION, TO COMPLY WITH SANS 10400 - H, J, K, L, M OR N. TIMBER CONSTRUCTION TO COMPLY WITH SANS 10082.

DIMENSIONS

- ROOM & SPACE DIMENSIONS TO COMPLY WITH SANS 10400 - C.

PUBLIC SAFETY

- CHANGES IN LEVEL, RAMPS AND ACCESS ALL TO COMPLY WITH SANS 10400 - C.

SITE OPERATIONS

- PROVISION OF SANITARY FACILITIES TO COMPLY WITH SANS 10400 - F.

EXCAVATIONS

- STABILITY OF SOIL TO BE ASSESSED & CONFIRMED BY AN APPOINTED ENGINEER PRIOR TO CONSTRUCTION.
- ALL EXCAVATIONS TO ENGINEERS DESIGN & SPECIFICATION, TO COMPLY WITH SANS 10400 - G.
- FINAL BULK EARTH LEVELS TO BE ESTABLISHED BY CONTRACTOR AND APPROVED BY ARCHITECT & ENGINEER.

FLOORS

- ALL FLOORS TO WET ROOMS (LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM, TOILETS, ETC.) TO COMPLY WITH SANS 10400 - J.
- SUSPENDED FLOORS TO COMPLY WITH SANS 10400 - B, T, J & SANS 10082 WHERE APPROPRIATE.
- SLABS SUPPORTED ON GROUND TO COMPLY WITH SANS 10400 - B, H & J.
- APPOINTED TO ENGINEER TO CONFIRM NECESSITY OF THE APPOINTMENT OF A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.

WALLS

- STRUCTURAL STRENGTH AND STABILITY OF ALL WALLS TO COMPLY WITH SANS 10400 - T & O.
- ROOF FIXING TO COMPLY WITH SANS 10400 - B & K.
- WATER PENETRATION THROUGH WALLS TO COMPLY WITH SANS 10400 - K.
- PARTITIONS TO BE RODENT PROOF IN ACCORDANCE WITH SANS 5419.

LIGHTING & VENTILATION

- LIGHTING OF HABITABLE ROOMS, BATHROOMS, ETC. TO COMPLY WITH SANS 10400 - T & O.
- VENTILATION TO COMPLY WITH SANS 10400 - T & O OR BE THE SUBJECT OF A RATIONAL DESIGN / ASSESSMENT OR BOTH BY A COMPETENT PERSON.
- INTERNAL ABLUCTIONS: AIR TO BE EXTRACTED TO EXTERNAL AIR AT A RATE OF 20 LITRES PER SECOND PER FITMENT.
- INTERNAL BATHROOMS TO BE MECHANICALLY VENTILATED AT A RATE OF 25 LITRES PER SECOND PER ROOM.
- INTERNAL OFFICES TO BE MECHANICALLY VENTILATED AT A RATE OF 7.5 LITRES PER SECOND PER PERSON.
- KITCHEN TO BE MECHANICALLY VENTILATED AT A RATE OF 17.5 LITRES PER SECOND PER PERSON.

DRAINAGE

- DRAINAGE DESIGN & INSTALLATION TO COMPLY WITH SANS 10400 - P OR BE THE SUBJECT OF AN AGREEMENT CERTIFIED RATIONAL DESIGN / ASSESSMENT OR BOTH BY A COMPETENT PERSON.

ROOFS

- ROOF COVERINGS A WATERPROOFING TO COMPLY WITH SANS 10400 - L.
- FLAT ROOFS & RELATED GUTTERS TO COMPLY WITH SANS 10400 - L OR BE THE SUBJECT OF A RATIONAL DESIGN / ASSESSMENT OR BOTH BY A COMPETENT PERSON.
- ROOF & CEILING ASSEMBLY TO COMPLY WITH SANS 10400 - C & L.
- ROOF ASSEMBLY SUPPORTING WALLS TO COMPLY WITH SANS 10400 - K, B & L.
- GUTTERS & DOWNPIPES SIZING TO COMPLY WITH SANS 10400 - R.
- FIRE RESISTANCE & COMBUSTIBILITY OF THE ROOF ASSEMBLY TO COMPLY WITH SANS 10400 - L & T.

STARWAYS

- STARWAYS TO COMPLY WITH SANS 10400 - B, T & M. WALLS, SCREENS, RAILINGS OR BALUSTRADES TO STARWAYS & RAMPS TO COMPLY WITH SANS 10400 - B, T, & K.
- BASIC STAR NOTES: 100mm RISER MIN 300mm TREAD.
- BALUSTRADES 1.0m HIGH WITH NO GAP MORE THAN 100mm.

GLAZING

- GLAZING TYPE AND FIXING TO COMPLY WITH SANS 10400 - B & N.

STORMWATER DISPOSAL

- CONTROL AND DISPOSAL OF STORMWATER TO COMPLY WITH SANS 10400 - R OR BE THE SUBJECT OF A RATIONAL DESIGN / ASSESSMENT BY A COMPETENT PERSON.

MOBILITY IMPAIRED PERSONS

- FACILITIES PROVIDED FOR MIP & TO COMPLY WITH SANS 10400 - S.
- EGRESS PROVIDED FOR MIP & TO COMPLY WITH SANS 10400 - T.

FIRE PROTECTION


- FIRE PROTECTION TO COMPLY WITH SANS 10400 - T. OR BE THE SUBJECT OF A RATIONAL DESIGN / ASSESSMENT BY A SPECIALIST.

FIRE INSTALLATION


- ALL FIRE INSTALLATIONS TO COMPLY WITH SANS 10400 - W.
- WATER SUPPLY FOR FIRE RETICULATION TO COMPLY WITH SANS 10400 - W, OR BE THE SUBJECT OF A RATIONAL DESIGN / ASSESSMENT BY A SPECIALIST.

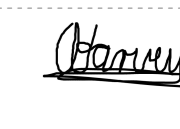
ENVIRONMENTAL SUSTAINABILITY

- THE BUILDING IS TO BE DESIGNED AND CONSTRUCTED WITH ORIENTATION, SHADING, SERVICES & BUILDING ENVELOPE TO COMPLY WITH SANS 10400 - XA, OR BE THE SUBJECT OF A RATIONAL DESIGN / ASSESSMENT BY A COMPETENT PERSON.




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ARCHITECT  AYLA HARVEY

FOR AND ON BEHALF OF:
RUBEN REDDY ARCHITECTS
(PTY) LTD

ARCH SACAP No. PrArch43540973

ENGINEER  Andrew Scott
Pr Eng 20170220



ALTERATIONS TO INNES ROAD HOUSE & ADDITION OF STUDY LOFT FOR 15 YEAR OLD TRIPLETS

260 INNES ROAD, MORNINGSIDE, BEREA, DURBAN
PORTION 1 OF ERF 669

SUBMISSION PLAN

TIME STAMP: 18/01/2023 16:11:10 As indicated @ A0

INFORMATION	LA SUBMISSION	TENDER	CONSTRUCTION
PROJECT NUMBER	ZONE	STAGE	ISSUE DATE
2022_G412	A00	LA	2023-01-18
DRAWING NUMBER	REVISION		
2022_G412-RRR-A00-XX-DR-A-01.12.000	A		

FOR APPROVAL